

# SUSAN A. BERNSTEIN, Attorney at Law

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November 6, 2019

Boston Conservation Commission  
Boston City Hall  
1 City Hall Square  
Room 709  
Boston, MA 02201-2031  
Attention: Amelia Croteau and Nicholas Moreno

RE: **UNION WHARF: Notice of Intent Application**

Dear Members of the Boston Conservation Commission:

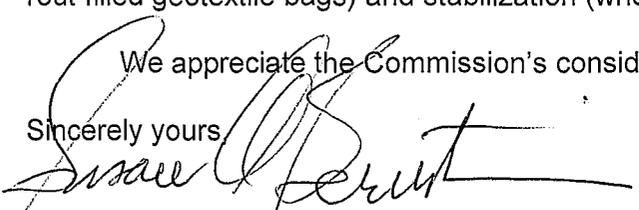
This office represents Union Wharf Condominium Trust ("Union"), which is submitting the attached Notice of Intent to the Commission for its review and approval. The Notice of Intent is for proposed maintenance and repair work along the areas of the property that are adjacent to Boston Harbor. These include: periodic maintenance, repair, and stabilization of the seawall and granite blocks surrounding the property, including the Granite Building and the foundations and decks of the townhouse structures.

Given the location of Union's property on Boston Harbor, it is necessary for Union to maintain the exterior of the property, including the marina which serves the Trust's unit owners as well as docking space to the public.

No new activities are proposed, rather as shown on the attached plan, the Trust intends to continue its annual seawall maintenance and stabilization operations conducted along the granite block seawall along the perimeter of the property that encloses Union Wharf. As described by our engineer, Michael J. Atwood, P.E. of Haley & Aldrich, Inc., the work is inclusive to the entirety of the seawall and includes: visual inspection, routine maintenance (e.g., filling voids identified between adjacent granite blocks along the exposed face of the seawall using rout-filled geotextile bags) and stabilization (where needed).

We appreciate the Commission's consideration of this NOI.

Sincerely yours,

  
Susan A. Bernstein

Attachment: WPA Form 3

cc: Mr. Michael J. Atwood, P.E., Haley & Aldrich  
Union Wharf Condominium Trust



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>343 Commercial Street</u>	<u>Boston</u>	<u>02109</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>-</u>	<u>42-21'-56"N</u>	<u>71-3'4"W</u>
	d. Latitude	e. Longitude
<u>-</u>	<u>-</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Union Wharf Condominium Trust</u>		
a. First Name	b. Last Name	
<u>-</u>		
c. Organization		
<u>343 Commercial Street</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02109</u>
e. City/Town	f. State	g. Zip Code
<u>-</u>	<u>-</u>	<u>-</u>
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

<u>Same as Above</u>		
a. First Name	b. Last Name	
<u>-</u>		
c. Organization		
<u>-</u>		
d. Street Address		
<u>-</u>	<u>-</u>	<u>-</u>
e. City/Town	f. State	g. Zip Code
<u>-</u>	<u>-</u>	<u>-</u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Susan</u>	<u>Bernstein</u>	
a. First Name	b. Last Name	
<u>Susan A. Bernstein, Attorney at Law</u>		
c. Company		
<u>200 Highland Avenue, Suite 306</u>		
d. Street Address		
<u>Needham</u>	<u>MA</u>	<u>02494-3035</u>
e. City/Town	f. State	g. Zip Code
<u>781-290-5858</u>	<u>781-247-4266</u>	<u>susan@sabernlaw.com</u>
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>-</u>	<u>-</u>	<u>-</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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## A. General Information (continued)

6. General Project Description:

Conduct ongoing maintenance and stabilization operations to the granite block seawall that encloses Union Wharf, townhouse building foundations, and other related exterior improvements. See attached narrative.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1.  Yes  No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

-

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk

a. County

9116

c. Book

-

b. Certificate # (if registered land)

578

d. Page Number

## B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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Bureau of Resource Protection - Wetlands

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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
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5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands

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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	
	_____	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input checked="" type="checkbox"/> Coastal Banks	1,400 lf of seawall (maintenance/ stabilization)	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	
	_____	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	_____	
	1. cubic yards dredged	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	5,600	
	_____	
	1. square feet	

4.  Restoration/Enhancement  
 If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

\_\_\_\_\_ a. square feet of BVW \_\_\_\_\_ b. square feet of Salt Marsh

5.  Project Involves Stream Crossings

\_\_\_\_\_ a. number of new stream crossings \_\_\_\_\_ b. number of replacement stream crossings



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## C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

- 2017 \_\_\_\_\_  
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:
  - (a) within wetland Resource Area \_\_\_\_\_ percentage/acreage
  - (b) outside Resource Area \_\_\_\_\_ percentage/acreage

2.  Assessor's Map or right-of-way plan of site

2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*
  - (a)  Project description (including description of impacts outside of wetland resource area & buffer zone)
  - (b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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## C. Other Applicable Standards and Requirements (cont'd)

(c)  MESA filing fee (fee information available at [http://www.mass.gov/dfwele/dfw/nhosp/regulatory\\_review/mesa/mesa\\_fee\\_schedule.htm](http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_fee_schedule.htm)).  
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

(d)  Vegetation cover type map of site

(e)  Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, [http://www.mass.gov/dfwele/dfw/nhosp/regulatory\\_review/mesa/mesa\\_exemptions.htm](http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_exemptions.htm); the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3.  Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [DMF.EnvReview-South@state.ma.us](mailto:DMF.EnvReview-South@state.ma.us)

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [DMF.EnvReview-North@state.ma.us](mailto:DMF.EnvReview-North@state.ma.us)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

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**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

**C. Other Applicable Standards and Requirements (cont'd)**

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
 a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
 a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
 a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
 a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:  
 1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)  
 2.  A portion of the site constitutes redevelopment  
 3.  Proprietary BMPs are included in the Stormwater Management System.  
 b.  No. Check why the project is exempt:  
 1.  Single-family house  
 2.  Emergency road repair  
 3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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Bureau of Resource Protection - Wetlands

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## D. Additional Information (cont'd)

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

Attachment A - Project Narrative; Figure 1 - Project Locus, Figure 2 - Limits of Seawall Maintenance, Figure 3 - FIRM Map

Haley & Aldrich, Inc.

Michael J. Atwood, P.E.

b. Prepared By

c. Signed and Stamped by

August 2019

1 inch = 60 feet

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

## E. Fees

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



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## F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

<u>Daniel Flaherty AUTHORIZED AGENT OF U.W.</u>	<u>11/5/2019</u>
1. Signature of Applicant	2. Date
<u>Samuel A. Ernst Attorney At Law</u>	<u>11-6-19</u>
3. Signature of Property Owner (if different)	4. Date
5. Signature of Representative (if any)	6. Date

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

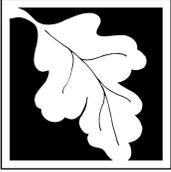
### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

### Other:

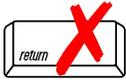
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

343 Commercial Street Boston  
 a. Street Address b. City/Town  
 \_\_\_\_\_  
 c. Check number d. Fee amount  
 \_\_\_\_\_

2. Applicant Mailing Address:

c/o Susan Bernstein  
 a. First Name b. Last Name  
 Susan A. Bernstein, Attorney at Law  
 c. Organization  
 200 Highland Ave., Suite 306  
 d. Mailing Address  
 Needham MA 02494-3035  
 e. City/Town f. State g. Zip Code  
 781-290-5858 781-247-4266 susan@sabernlaw.com  
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

Same as Above  
 a. First Name b. Last Name  
 \_\_\_\_\_  
 c. Organization  
 \_\_\_\_\_  
 d. Mailing Address  
 \_\_\_\_\_  
 e. City/Town f. State g. Zip Code  
 \_\_\_\_\_  
 h. Phone Number i. Fax Number j. Email Address  
 \_\_\_\_\_

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



## Fee Explanation \*

The proposed work is classified as work on piers or revetments (coastal in this case) and is therefore Category 5. The Category 5 pricing is based on the linear feet of the seawall. The price per foot is \$4.00 or a maximum fee of \$2,000.00. The seawall is about 1,400 lineal feet; therefore, the total project fee is \$2,000. Since the City of Boston does not accept the Municipal portion of the fee, the State will receive the total project fee of \$2,000.

The City of Boston requires the following fees:

- \$25 for projects that cost \$1,000 or less
- \$50 for projects that cost between \$1,000 - \$50,000
- \$75 for projects that cost between \$50,000 - \$100,000, and
- .075% of the cost for projects that are more than \$100,000. The most we will charge you is \$1,500.

The expected cost of the proposed maintenance is \$40,000 per year. The Order of Conditions is valid for three-years; therefore, the total project is valued at \$120,000, and 0.075% of this is \$90.00. The fee payable to the City of Boston is \$90.00

DATE:09/26/2019 CK#:995 TOTAL:\$90.00\*\*\*\*\* BANK:Union Wharf Condo Tr(62ap2)  
PAYEE:City of Boston(v0003469) MEMO: Union Wharf NOI Filing Fee

Property Address - Code	Invoice - Date	Description	Amount
Union Wharf - 62	62-092019 - 09/20/2019	Union Wharf NOI Filing Fee	90.00
			<hr/> 90.00

THE FACE OF THIS CHECK IS PRINTED BLUE - THE BACK CONTAINS A SIMULATED WATERMARK

**Union Wharf Condo Trust**

Operating Account  
7 Wells Avenue  
Suite 11  
Newton, MA 02459-3212

Bank United  
136 East 57th Street  
New York, NY 10022

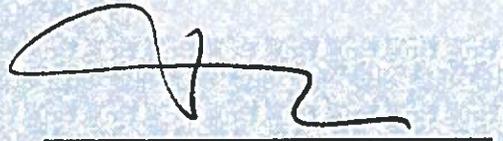
995

09/26/2019

\$90.00\*\*\*\*\*

PAY: \*\*\*\* NINETY AND 00/100 DOLLARS

PAY TO THE  
ORDER OF City of Boston  
Conservation Commission  
One City Hall Square  
Boston, MA 02201



MEMO: Union Wharf NOI Filing Fee

⑈00995⑈ ⑆026014588⑆ 9854258450⑈

DATE:09/26/2019 CK#:993 TOTAL:\$2,000.00\*\*\* BANK:Union Wharf Condo Tr(62ap2)  
PAYEE:Commonwealth of Massachusetts(v0000054) MEMO: Union Wharf NOI Filing Fee

Property Address - Code	Invoice - Date	Description	Amount
Union Wharf - 62	62-092019A - 09/20/2019	Union Wharf NOI Filing Fee	2,000.00
			<hr/> 2,000.00

THE FACE OF THIS CHECK IS PRINTED BLUE - THE BACK CONTAINS A SIMULATED WATERMARK

**Union Wharf Condo Trust**

Operating Account  
7 Wells Avenue  
Suite 11  
Newton, MA 02459-3212

Bank United  
136 East 57th Street  
New York, NY 10022

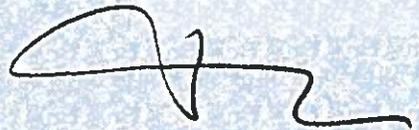
993

09/26/2019

\$2,000.00\*\*\*

PAY: \*\*\*\* TWO THOUSAND AND 00/100 DOLLARS

PAY TO THE ORDER OF Commonwealth of Massachusetts  
Dept of Environmental Protection  
P.O. Box 3982  
Boston, MA 02241-3982



MEMO: Union Wharf NOI Filing Fee

⑈00993⑈ ⑆026014588⑆ 9854258450⑈



# Checklist for Stormwater Report

## A. Introduction

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.<sup>1</sup> This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8<sup>2</sup>
- Operation and Maintenance Plan required by Standard 9

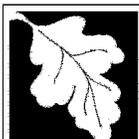
In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

<sup>1</sup> The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

<sup>2</sup> For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



# Checklist for Stormwater Report

## B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

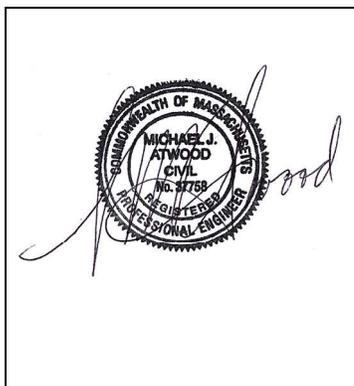
*Note:* Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

### Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



**SITE IS EXISTING DEVELOPED PROPERTY.  
NO CHANGES TO CURRENT SITE FEATURES  
WILL BE UNDERTAKEN THAT REQUIRE  
CHANGES/ MODIFICATIONS TO CURRENT  
STORMWATER MANAGEMENT PROCEDURES.**

Signature and Date

## Checklist

**Project Type:** Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment

**SITE IS EXISTING  
DEVELOPED PROPERTY**



# Checklist for Stormwater Report

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## Checklist (continued)

**LID Measures:** Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
  - Credit 1
  - Credit 2
  - Credit 3
- Use of “country drainage” versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): \_\_\_\_\_

**SITE IS EXISTING DEVELOPED PROPERTY.  
NO CHANGES TO CURRENT SITE FEATURES  
WILL BE UNDERTAKEN THAT REQUIRE  
CHANGES/ MODIFICATIONS TO CURRENT  
STORMWATER MANAGEMENT PROCEDURES.**

### Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 2: Peak Rate Attenuation

**NOT APPLICABLE**

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

### Standard 3: Recharge

**NOT APPLICABLE**

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
  - Static
  - Simple Dynamic
  - Dynamic Field<sup>1</sup>
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
  - Site is comprised solely of C and D soils and/or bedrock at the land surface
  - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
  - Solid Waste Landfill pursuant to 310 CMR 19.000
  - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

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<sup>1</sup> 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

### Standard 4: Water Quality **NOT APPLICABLE**

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
  - Provisions for storing materials and waste products inside or under cover;
  - Vehicle washing controls;
  - Requirements for routine inspections and maintenance of stormwater BMPs;
  - Spill prevention and response plans;
  - Provisions for maintenance of lawns, gardens, and other landscaped areas;
  - Requirements for storage and use of fertilizers, herbicides, and pesticides;
  - Pet waste management provisions;
  - Provisions for operation and management of septic systems;
  - Provisions for solid waste management;
  - Snow disposal and plowing plans relative to Wetland Resource Areas;
  - Winter Road Salt and/or Sand Use and Storage restrictions;
  - Street sweeping schedules;
  - Provisions for prevention of illicit discharges to the stormwater management system;
  - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
  - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
  - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
  - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
    - is within the Zone II or Interim Wellhead Protection Area
    - is near or to other critical areas
    - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
    - involves runoff from land uses with higher potential pollutant loads.
  - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
  - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
  - The ½" or 1" Water Quality Volume or
  - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

### Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs) **NOT APPLICABLE**

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

### Standard 6: Critical Areas **NOT APPLICABLE**

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable **NOT APPLICABLE**

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
  - Limited Project
  - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
  - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
  - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
  - Bike Path and/or Foot Path
  - Redevelopment Project
  - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

**NOT APPLICABLE**

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
  - Construction Period Operation and Maintenance Plan;
  - Names of Persons or Entity Responsible for Plan Compliance;
  - Construction Period Pollution Prevention Measures;
  - Erosion and Sedimentation Control Plan Drawings;
  - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
  - Vegetation Planning;
  - Site Development Plan;
  - Construction Sequencing Plan;
  - Sequencing of Erosion and Sedimentation Controls;
  - Operation and Maintenance of Erosion and Sedimentation Controls;
  - Inspection Schedule;
  - Maintenance Schedule;
  - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

### Standard 9: Operation and Maintenance Plan **NOT APPLICABLE**

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
  - Name of the stormwater management system owners;
  - Party responsible for operation and maintenance;
  - Schedule for implementation of routine and non-routine maintenance tasks;
  - Plan showing the location of all stormwater BMPs maintenance access areas;
  - Description and delineation of public safety features;
  - Estimated operation and maintenance budget; and
  - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
  - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
  - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

### Standard 10: Prohibition of Illicit Discharges **NOT APPLICABLE**

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

## **I. SITE CONDITIONS AND BACKGROUND INFORMATION**

Union Wharf is a commercial and residential property fronting on Commercial Street in the North End and situated adjacent to Boston Harbor; refer to Figure 1. Portions of Union Wharf consist of a filled pier extending into Boston Harbor with a wood pile supported granite block seawall constructed around the outer perimeter of the Property, including the Granite Building and the Townhouses, as shown on Figure 2. The four, 3-story attached townhouse buildings comprised of residential units (designated as No. 5 through No. 27) are situated on the filled pier. The townhouse buildings' bearing walls have been constructed on continuous concrete wall footings at normal depths (4 to 5 ft) beneath the townhouse buildings' ground floor level and top of the adjacent seawall. The rear walls of the building units are supported by wing walls that reach out to the seawall and overhanging decks have been constructed beyond the face of the seawall.

On 3 October 2007, the Applicant submitted a Notice of Intent Application (NOI) requesting approval for maintenance, repair and restoration work at Union Wharf; including particularly the seawall and decks attached to the townhouse buildings. On 8 November 2007, an Order of Conditions DEP File No. 006-1132 (Order) was issued by the Boston Conservation Commission (ConCom). This Order was recently extended to 24 December 2019 to allow for the completion of work to replace the overhanging decks attached to the four townhouse buildings.

## **II. PROPOSED WORK UNDER THIS NOI**

This NOI seeks approval for the continuation of the ongoing maintenance operations to preserve the seawall surrounding the Property, including the Granite Building and the townhouse foundations at Union Wharf.

Given the location of the Applicant's property on Boston Harbor, it is necessary for the Applicant to maintain and stabilize the seawall in order to preserve the townhouse foundations and the exterior property improvements, including the marina which serves not only the Applicant but also provides Harbor Walk and docking space to the public.

The Applicant intends to continue its annual seawall maintenance and stabilization operations conducted along the granite block seawall that encompasses Union Wharf, as shown on Figure 2. The work is inclusive to the entirety of the seawall from mudline to top of wall and includes the following:

1. **Visual Inspection**, typically conducted each spring and after any storm surge exceeding the 100-year flood elevation;
2. **Routine Maintenance** (e.g., filling voids identified between adjacent granite blocks along the exposed face of the seawall using grout-filled geotextile bags); and
3. **Stabilization Work** (where needed), that typically includes the installation of anchored brackets and clips to "knit" together a group of granite blocks.

**Visual Inspection** of the seawall is typically conducted from a boat and/or by walking along the docks, as well as walking landside along the top of the seawall, where accessible. Further, an optical survey to measure vertical movement of the top of the seawall and vertical movement of the townhouse foundations is conducted annually to evaluate if the seawall and townhouse foundations (that rely on the stability of the seawall) have experienced vertical movement that warrant actions be taken to

stabilize the wall.

**Routine Maintenance** includes filling voids identified between adjacent granite blocks along the exposed face of the seawall using grout-filled geotextile bags. Routine Maintenance is conducted when a visual assessment identifies a void/gap has occurred due to apparent movement of a seawall stone and that void/ gap is deemed large enough to potentially allow for migration of soil from the landward side of the seawall through the void/gap into the harbor. The migration of soil can lead to loss of support beneath the townhouse foundations that causes the townhouses to settle unevenly, which results in damage to these masonry structures.

The void filling is conducted in such a way as to maintain the seawall's original design intent, which is to allow natural drainage of water in and out of the seawall as the tide moves up and down. In addition, in accordance with Massachusetts Office of Coastal Management *StormSmart Properties Fact Sheet 7: Repair and Reconstruction of Seawalls and Revetments*, the grout-filled geotextile bags effectively "chink" the seawall and form a roughened surface texture in the seawall when the grout hardens.

The void filling activities are typically conducted by a crew of 2 to 3 laborers working from a skiff within an area enclosed/contained by a debris/siltation boom. Limited on-shore work is necessary to restore surface grades to landscaped areas immediately behind the seawall.

Materials are typically accessed from a support boat moored at the marina. The geotextile bags are filled with grout and sealed while on the support boat to prevent the release of grout into the resource area, and then loaded onto the skiff and transported to the work area to be deployed. Each bag is hand placed into the void/gap and pushed into the void/gap using a rod. Refer to photograph on Figure 2 showing in-place geotextile bags.

**Stabilization Work** is conducted when visual assessment of the seawall identifies a shifting-type movement (inward and/or outward) of seawall stone(s) relative to adjacent seawall stone(s). To halt the shifting-type movement, galvanized steel brackets/clips are installed to secure adjacent blocks; the brackets/clips are secured to the seawall stone using stainless steel anchor bolts (typically 4.5-in. length by 0.5-in. diameter). The anchor bolts are installed into pre-drilled hole and during drilling, the rock flour is wetted and captured to the extent possible to prevent direct transport into the resource area. The anchor bolts are threaded and develop their anchorage/ fixity to the rock mechanically by expanding when tightening. Refer to Figure 2 for typical in-place brackets/clips.

### III. RESOURCE AREAS AND ANTICIPATED IMPACTS AND MITIGATIVE MEASURES

#### Coastal Banks

A Coastal Bank means the seaward face or side of any elevated landform, other than a coastal dune, which lies at the edge of land subject to tidal action in this case. The maintenance and stabilization activities are located outboard of the seaward face of the seawall, which is considered a manmade Coastal Bank. Approximately 1,400 linear feet of seawall is routinely inspected and maintained and/or stabilized.

The maintenance and stabilization activities will be to the existing seawall that encloses and essentially delineates the north, east and southern land boundaries of the Union Wharf (Project Site), as shown on Figure 1, and the USGS Quadrangle shown on Figure 2. The seawall is considered a coastal engineering structure/coastal bank as defined in 310 CMR 10.23, and further defined in 310 CMR

10.30(2). The seawall is a vertical buffer to storm waters and is therefore considered to be critical to mitigate storm damage prevention or flood control. The proposed work is intended to provide greater stability to the coastal bank. The seawall maintenance is necessary to minimize storm damage to the existing on-site buildings, including the Granite Building and the Townhouses. In addition, the seawall is integral to the publicly accessible park, pathways, and Harbor Walk, 20-slip pile-anchored floating docks (marina), driveway and associated parking, all of which are licensed under Chapter 91 License Number 10179.

#### Performance Standards for Coastal Banks

The seawall is a Coastal Engineering Structure (CES), and the proposed work is maintenance, not new construction. The CES meets the definition of the Vertical-Buffer Banks and is only subject to the Performance Standard described in 310 CMR 10.30(6) for General Projects or CESs. **The primary goal of the applicant for this NOI is to maintain the structural integrity of the existing seawall.** There will be no new loads induced on top of wall and no work is proposed that could alter the wave action or surface water and groundwater flow as it currently exists. There is no work proposed that will induce erosion thereby meeting the Performance Standard (6) referenced above. The impacts to the resource areas will be minimized during the course of the work. The work will adhere to the design requirements of new CESs to the extent feasible. The proposed maintenance will include only work necessary to structurally stabilize the seawall, thereby improving compliance with Performance Standard (6) referenced above.

#### Land Subject to Coastal Storm Flowage

The limit of work for maintaining the seawall is from the top of the wall to the toe of the wall along approximately 1,400 linear feet surrounding the perimeter of the wharf. It is estimated that the area of the proposed alteration, if necessary, to stabilize the top of the wall is about 5,600 square feet, which is calculated based on the 1,400 linear feet of seawall by up to 4 ft of land extending landward from the seaward face of the seawall.

As shown on the attached Figure 1, the maintenance and stabilization work are mostly within the vertical zone between the Mean Low Water (MLW) and Mean High Water (MHW) elevations.

The maintenance and stabilization work will not alter the existing mudline.

The Project Site is not located within an estimated habitat of rare wildlife so it will not adversely affect this resource area.

As shown on Figure 3, the seawall is located within the FEMA mapped Zone VE (El. 13 NAVD 88) and much of the upland portion of the site is in the FEMA mapped Zone AE (El. 10 feet, NAVD 88). As shown on Figure 2, the VE Zone is equivalent to El. 19.46 Boston City Base (BCB), and the AE Zone is equivalent to El. 16.46 (BCB). These areas are considered "Land Subject to Coastal Storm Flowage", as defined in 310 CMR 10.04.

Any disturbance to current ground surfaces that is necessary to implement seawall maintenance/stabilization activities will be replaced in kind with the same surface treatment, and surface grades will not be altered or changed from the existing grades. Therefore, there will be no changes in the impervious surface area, and no changes will be made to the existing drainage systems currently in-place, operating and maintained on the site. Accordingly, as indicated on the attached checklist, a

Stormwater Management Report is not being prepared. Mitigative measures, consistent with Standard #8 in a Stormwater Management Report are presented below as Protective Measures to be implemented during maintenance/ stabilization activities. Since this is maintenance of an existing seawall that is located in the area subject to coastal storm flowage, the area is not a new altered resource area.

*Performance Standards for Land Subject to Coastal Storm Flowage*

There are no defined Performance Standards for Land Subject to Coastal Storm Flowage; however, the impacts to the resource areas will be minimized and protective measures described below will be followed.

**IV. PROTECTIVE MEASURES**

When maintenance and stabilization work is conducted to the seawall, the following protective measures will be taken:

Best Management Practices (BMPs) will be implemented during in-water or water-side activities to minimize turbidity and other water quality impacts. The Contractor will deploy a floating boom and an attached silt curtain to contain the work area. The debris boom/silt curtain will minimize the migration of fines and debris during the work and prevent the dispersal of material from the Project Site into the Harbor. The Contractor will also be required to have spill prevention and cleanup kits available on site for any over-water work.

During construction there will be no overnight stockpiling or storage of construction material including unconsolidated material, piles, debris or petroleum containing products, including equipment containing petroleum products or fluids within 25 ft of the seawall. Since the Project Site is located within the AE Zone, all equipment and construction materials will be removed from the Project Site in advance of any forecasted coastal flooding event.

**V. HISTORIC WORK AT THE SITE**

No new maintenance and stabilization activities are proposed below the mudline or within any other resource areas, including land under water.

1. Under a previous Order of Conditions (DEP File No. 006-764) issued by the ConCom in May 1998, stabilization activities were conducted in 1998 and 2000 that included installation/ construction of a steel sheetpile enclosed concrete-filled containment to the base of the seawall along the south side of the wharf. Refer to Appendix A for a copy of the Order of Conditions (DEP File No. 006-764) and drawings showing details of the work undertaken.
2. Under the current Order of Conditions (DEP File No. 006-1132) issued by the ConCom, stabilization activities were conducted in 2009, 2011, and 2014 to construct supplemental foundation support for select Townhouse units that were identified (through survey measurements) to be experiencing uneven settlement attributed to loss of soil materials through voids/gaps in the seawall. Refer to Appendix B for a copy of drawings showing details of the work undertaken.

The intent/goal of the routine maintenance/ stabilization activities proposed in II.1 to II.3 in this NOI is to

avoid to the extent possible conducting the historic work detailed in V.1 and V.2 above. Should work similar to that in V.1 and V.2 be required in the future (e.g., as a result of storm damage), a separate NOI or an Emergency NOI will be prepared and submitted to the ConCom for review and approval.

**Attachments:**

- Figure 1 – Project Locus
- Figure 2 – Limits of Seawall Maintenance
- Figure 3 – FIRM Map
- Appendix A – Order of Conditions (DEP File No. 006-764, May 1998) with Details of Typical Seawall Stabilization Activities Undertaken at Union Wharf in 1998 and 2000
- Appendix B – Structural Details of Typical Mat Foundation, Strap Foundation and Micropile Stabilization Activities Previously Completed at Union Wharf in 2009, 2011 and 2014

**AFFIDAVIT OF SERVICE**

Under the Massachusetts Wetland Protection Act

I, Michael Atwood, hereby certify under the pains and penalties of perjury that on 6 November 2019 I gave notification to abutters in compliance with the second paragraph of the Massachusetts General Laws Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated 8 April 1994 in conjunction with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands Protection Act by Union Wharf Condominium Trust with the Boston Conservation Commission on 6 November 2019 for the property located at 343 Commercial Street, Boston, MA 02109.

The form of the notification, and a list of abutters to whom it was given and their addresses, are attached to this Affidavit of Service.

  
\_\_\_\_\_  
NAME

11/6/2019  
DATE

**Notification to Abutters**

Under the Massachusetts Wetlands Protection Act

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following:

Union Wharf Condominium Trust has filed a Notice of Intent with the Boston Conservation Commission seeking permission to conduct ongoing annual seawall maintenance and stabilization operations conducted along the granite block seawall that encompasses Union Wharf. The work is inclusive to the entirety of the seawall and includes visual inspection, routine maintenance (e.g., filling voids identified between adjacent granite blocks along the exposed face of the seawall using grout-filled geotextile bags) and stabilization (where needed).

Copies of this notice of intent may be viewed at the Boston Conservation Commission, Boston City Hall, Room 709 between the hours of 9:00 AM to 4:00 PM, Monday through Friday. For more information, please contact the Boston Conservation Commission at (617) 635-3850.

A public hearing will take place at 6:00 PM on 20 November 2019 at Boston City Hall, 1 City Hall Square in the Piemonte Room, 5<sup>th</sup> floor. Notice of the public hearing, including its date, time and place, will be published at least five days in advance on the Boston Herald Newspaper or can be found online at <https://www.boston.gov/public-notices>.

If you have any questions pertaining to this application, please contact the Boston Conservation Commission at (617) 635-3850 or you may contact the nearest Department of Environmental Protection Regional Office at (978) 694-3200.

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PID	OWNER	ADDRESSEE	MLG_ADDRESS	MLG_CITYSTATE	MLG_ZIPCODE	LOC_ADDRESS
303036001	BOSTON REDEVLPMNT AUTH	BOSTON REDEVLPMNT AUTH	SARGENTS WHARF	BOSTON, MA	02109	SARGENTS WHARF
303037000	BOSTON REDEVELOPMNT AU	BOSTON REDEVELOPMNT AUTH	EASTERN AVE	BOSTON, MA	02109	1 49 EASTERN AV
303038200	UNION WHARF CONDOMINIUM	UNION WHARF CONDOMINIUM TR	295 COMMERCIAL	BOSTON, MA	02109	295 - 343 COMMERCIAL ST
303038203	MICHAEL B LATTI TRST	MICHAEL B LATTI TRST	295 COMMERCIAL	BOSTON, MA	02109	295 COMMERCIAL ST #30
303038209	CAULDER WILLIAM L	CAULDER WILLIAM L	5 UNION WHARF #5	BOSTON, MA	02109	5 UNION WH #5
303038212	TH06 UNION WHARF REALTY	TH06 UNION WHARF REALTY	343 COMMERCIAL ST #6	BOSTON, MA	02109	6 UNION WH #6
303038215	GALLO MATTEO	GALLO MATTEO	7 UNION WHARF #TH7	BOSTON, MA	02109	7 UNION WH #7
303038218	COHEN JOSEPH L	COHEN JOSEPH L	8 UNION WHARF	BOSTON, MA	02109	8 UNION WH #8
303038221	WILDERMUTH MARK B	WILDERMUTH MARK B	9 UNION WHARF #9	BOSTON, MA	02109	9 UNION WH #9
303038224	LW420 LLC	LW420 LLC	9317 MORISON LANE	GREAT FALLS, VA	22066	10 UNION WH #10
303038227	KELLAN ROBERT E TS	KELLAN ROBERT E TS	49 SUTTON HILL ROAD	NORTH ANDOVER, MA	01845	11 UNION WH #11
303038230	PECKHAM MARIANNE M	PECKHAM MARIANNE M	PO BOX 564	WINCHESTER, MA	01890	12 UNION WH #12
303038233	SMITH FRED CURTIS	SMITH FRED CURTIS	13 UNION WHARF #13	BOSTON, MA	02109	13 UNION WH #13
303038237	ONEIL CATHERINE L	ONEIL CATHERINE L	25 INMAN RD	LONDON UK SW18 3BB	0	14 UNION WH #14
303038240	KING ROBERT B	KING ROBERT B	200 MONSIGNOR OBRIEN HWY	CAMBRIDGE, MA	02141	15 UNION WH #15
303038243	SIXTEEN UNION WHARF NOM	SIXTEEN UNION WHARF NOMINEE	11 KEEWAYDIN DR	SALEM, NH	03079	16 UNION WH #16
303038246	SEVENTEEN UNION WHARF	SEVENTEEN UNION WHARF	11 KEEWAYDIN DR	SALEM, NH	03079	17 UNION WH #17
303038249	SMITH KATHERINE L	SMITH KATHERINE L	47 LITTLE POND RD	NORTHBOROUGH, MA	01532	18 UNION WH #18
303038252	AMMERMAN ROBERT C	AMMERMAN ROBERT C	19 UNION WHARF #19	BOSTON, MA	02109	19 UNION WH #19
303038255	LISA BURKE TRUST	LISA BURKE TRUST	110 DRAKE RD	BURLINGTON, MA	01803	20 UNION WH #20
303038258	BUTCHER BENJAMIN S	BUTCHER BENJAMIN S	'021 UNION WHARF #'021	BOSTON, MA	02109	'021 UNION WH #'021
303038261	GILCHREST BARBARA	GILCHREST BARBARA	27 UNION WHARF #27	BOSTON, MA	02109	27 UNION WH #27
303038264	AVADIKOGLU MURAT A	AVADIKOGLU MURAT A	26 UNION WHARF	BOSTON, MA	02109	26 UNION WH #26
303038267	EDWARDS DAVID A	EDWARDS DAVID A	343 COMMERCIAL ST #25	BOSTON, MA	02109	25 UNION WH #25
303038270	FOX JUDITH B	FOX JUDITH B	24 UNION WHARF	BOSTON, MA	02109	24 UNION WH #24
303038273	LAURELLA CARMELA	LAURELLA CARMELA	23 UNION WHARF	BOSTON, MA	02109	23 UNION WH #23
303038276	BASSIOUNI M READA	BASSIOUNI M READA	30 JEFFRIES ST	E BOSTON, MA	02128	22 UNION WH #22
303038279	MARY ROSE DUPUIS REVOCA	MARY ROSE DUPUIS REVOCCABLE	343 COMMERCIAL ST #101	BOSTON, MA	02109	343 COMMERCIAL ST #101
303038281	MARIO R FILARDO 2003 TRUS	MARIO R FILARDO 2003 TRUST	440 SEAVIEW CT UNIT 1405	MARCO ISLAND, FL	34145	343 COMMERCIAL ST #102
303038284	BUCKLAND ARTHUR R	BUCKLAND ARTHUR R	343 COMMERCIAL ST #103	BOSTON, MA	02109	343 COMMERCIAL ST #103
303038286	PRINN MICHAEL D	PRINN MICHAEL D	343 COMMERCIAL ST #104	BOSTON, MA	02109	343 COMMERCIAL ST #104
303038288	MELWANI MICHELLE	MELWANI MICHELLE	343 COMMERCIAL ST #105	BOSTON, MA	02109	343 COMMERCIAL ST #105
303038290	REGAN GEORGE K JR	REGAN GEORGE K JR	343 COMMERCIAL ST #106	BOSTON, MA	02109	343 COMMERCIAL ST #106
303038292	SCAPPICCHIO ROSEMARY	SCAPPICCHIO ROSEMARY	343 COMMERCIAL ST # 107	BOSTON, MA	02109	343 COMMERCIAL ST #107
303038294	ONE 08 UNION WHARF LLC	ONE 08 UNION WHARF LLC	343 COMMERCIAL ST #108	BOSTON, MA	02109	343 COMMERCIAL ST #108
303038296	KEOHANE FRANK REALTY LLC	KEOHANE FRANK REALTY LLC	343 COMMERCIAL ST	BOSTON, MA	02109	343 COMMERCIAL ST #109
303038298	REGAN GEORGE K JR	REGAN GEORGE K JR	343 COMMERCIAL ST #110	BOSTON, MA	02109	343 COMMERCIAL ST #110
303038300	REGAN GEORGE K JR	REGAN GEORGE K JR	106 UNION WHARF	BOSTON, MA	02109	343 COMMERCIAL ST #111A
303038302	MCFARLAND THOMAS J III	MCFARLAND THOMAS J III	343 COMMERCIAL ST	BOSTON, MA	02109	343 COMMERCIAL ST #111B
303038304	KETABI MAHMOUD	KETABI MAHMOUD	28 ATLANTIC AVE #'0219	BOSTON, MA	02110	343 COMMERCIAL ST #112
303038306	BOSTON 113 UNION WHARF	BOSTON 113 UNION WHARF INC	28 GREEN ST	NEEDHAM, MA	02492	343 COMMERCIAL ST #113
303038308	343 COMMERCIAL STREET UN	343 COMMERCIAL STREET UNIT	33 BEAVER PLACE	BOSTON, MA	02108	343 COMMERCIAL ST #114
303038310	JURGENS LORI	JURGENS LORI	343 COMMERCIAL ST #201	BOSTON, MA	02109	343 COMMERCIAL ST #201
303038312	ROBERT P SOMERVILLE TRUS	ROBERT P SOMERVILLE TRUST	343 COMMERCIAL ST #202	BOSTON, MA	02109	343 COMMERCIAL ST #202
303038314	BAKER MARK F	BAKER MARK F	343 COMMERCIAL ST # 203	BOSTON, MA	02109	343 COMMERCIAL ST #203
303038316	CUTLER ROBERT J	CUTLER ROBERT J	343 COMMERCIAL ST # 204	BOSTON, MA	02109	343 COMMERCIAL ST #204
303038318	GRUBER WILLIAM R	GRUBER WILLIAM R	75 HOPESTILL BROWN RD	SUDBURY, MA	01776	343 COMMERCIAL ST #205
303038320	REGAN GEORGE K JR	REGAN GEORGE K JR	343 COMMERCIAL ST #206	BOSTON, MA	02109	343 COMMERCIAL ST #206
303038322	GRAY STEPHEN S	GRAY STEPHEN S	343 COMMERCIAL ST UNIT 207	BOSTON, MA	02109	343 COMMERCIAL ST #207
303038324	REGAN GEORGE K JR	REGAN GEORGE K JR	343 COMMERCIAL ST # 208	BOSTON, MA	02109	343 COMMERCIAL ST #208

303038326	CORREIA JOSEPH A II	CORREIA JOSEPH A II	39 PARK AV	WAKEFIELD, MA	01880	343	COMMERCIAL ST #209
303038328	SMITH MARILYN RAY TRST	SMITH MARILYN RAY TRST	100 GODDARD AV	BROOKLINE, MA	02445	343	COMMERCIAL ST #0210
303038330	CHARA ZDENO	CHARA ZDENO	343 COMMERCIAL ST #'0211	BOSTON, MA	02109	343	COMMERCIAL ST #'0211 / '0213
303038332	ABRANO FRANK M	ABRANO FRANK M	8 RUBEN DUREN WY	BEDFORD, MA	01730	343	COMMERCIAL ST #'0212
303038336	CHARA ZDENO	CHARA ZDENO	343 COMMERCIAL ST #'0211	BOSTON, MA	02109	343	COMMERCIAL ST #'0214
303038338	CARBEAU KEVIN	CARBEAU KEVIN	343 COMMERCIAL ST #301	BOSTON, MA	02109	343	COMMERCIAL ST #301
303038340	ABRANO FRANK M	ABRANO FRANK M	8 RUBEN DUREN WAY	BEDFORD, MA	01730	343	COMMERCIAL ST #302
303038342	NAJARIAN MARK A	NAJARIAN MARK A	343 COMMERCIAL ST #303	BOSTON, MA	02109	343	COMMERCIAL ST #303
303038344	KREJCI DAVID	KREJCI DAVID	343 COMMERCIAL ST #304	BOSTON, MA	02109	343	COMMERCIAL ST #304
303038346	MAZZARELLA LYNN	MAZZARELLA LYNN	343 COMMERCIAL ST # 305	BOSTON, MA	02109	343	COMMERCIAL ST #305
303038348	ODONNELL PATRICIA E	ODONNELL PATRICIA E	343 COMMERCIAL ST #306	BOSTON, MA	02109	343	COMMERCIAL ST #306
303038350	ARDITO FRANK T	ARDITO FRANK T	343 COMMERCIAL ST #307	BOSTON, MA	02109	343	COMMERCIAL ST #307
303038352	JACOBSON WILLIAM	JACOBSON WILLIAM	343 COMMERCIAL ST #308	BOSTON, MA	02109	343	COMMERCIAL ST #308
303038354	SMETANA LAWRENCE P	SMETANA LAWRENCE P	343 COMMERCIAL ST #309	BOSTON, MA	02109	343	COMMERCIAL ST #309
303038356	ZAVRL FRANK	ZAVRL FRANK	87 SALEM ST	ANDOVER, MA	01810	343	COMMERCIAL ST #310
303038358	COCOZZA MARK J & SUSAN M	COCOZZA MARK J & SUSAN M	343 COMMERCIAL ST #311	BOSTON, MA	02109	343	COMMERCIAL ST #311
303038360	ZEGHIBE ROGER W	ZEGHIBE ROGER W	343 COMMERCIAL ST #312	BOSTON, MA	02109	343	COMMERCIAL ST #312
303038364	THRALL JAMES H	THRALL JAMES H	343 COMMERCIAL ST #314	BOSTON, MA	02109	343	COMMERCIAL ST #314
303038366	CHARA ZDENO	CHARA ZDENO	343 COMMERCIAL ST #401	BOSTON, MA	02109	343	COMMERCIAL ST #401
303038368	CAMPANELLI NICOLE	CAMPANELLI NICOLE	343 COMMERCIAL ST #402	BOSTON, MA	02109	343	COMMERCIAL ST #402
303038370	COLLINS MONICA	COLLINS MONICA	343 COMMERCIAL ST #403	BOSTON, MA	02109	343	COMMERCIAL ST #403
303038372	BRASSERT WALTER L	BRASSERT WALTER L	343 COMMERCIAL ST #404	BOSTON, MA	02109	343	COMMERCIAL ST #404
303038374	EDWARDS F ROSS	EDWARDS F ROSS	343 COMMERCIAL ST #405	BOSTON, MA	02109	343	COMMERCIAL ST #405
303038376	CONTI MATTHEW J	CONTI MATTHEW J	343 COMMERCIAL ST #508	BOSTON, MA	02109	343	COMMERCIAL ST #406
303038378	MIRABELLA STEVEN	MIRABELLA STEVEN	343 COMMERCIAL ST #407	BOSTON, MA	02109	343	COMMERCIAL ST #407
303038380	PRIMO A MICHAEL	PRIMO A MICHAEL	343 COMMERCIAL ST #408	BOSTON, MA	02109	343	COMMERCIAL ST #408
303038382	YACOBIAN ANTONIETTE	YACOBIAN ANTONIETTE	343 COMMERCIAL ST UNIT 501	BOSTON, MA	02109	343	COMMERCIAL ST #501
303038384	VICKERS NANCY J	VICKERS NANCY J	343 COMMERCIAL ST #402	BOSTON, MA	02109	343	COMMERCIAL ST #502
303038386	HOPKINS MERITA A	HOPKINS MERITA A	343 COMMERCIAL ST #503	BOSTON, MA	02109	343	COMMERCIAL ST #503
303038388	CORTELL MARY-BRENDA TS	CORTELL MARY-BRENDA TS	343 COMMERCIAL ST #504	BOSTON, MA	02109	343	COMMERCIAL ST #504
303038390	SCHILLER PHILIP WILLIAM TS	SCHILLER PHILIP WILLIAM TS	234 MIRAMANTES AVE	HALF MOON BAY, CA		94019	343 COMMERCIAL ST #505
303038392	EISEN WILLIAM J TS	EISEN WILLIAM J TS	343 COMMERCIAL ST #506	BOSTON, MA	02109		343 COMMERCIAL ST #506
303038394	SCHILLER PHILIP WILLIAM TS	SCHILLER PHILIP WILLIAM TS	234 MIRAMANTES AVE	HALF MOON BAY, CA		94019	343 COMMERCIAL ST #507
303038396	LOSCOCCO JAMES N TS	LOSCOCCO JAMES N TS	343 COMMERCIAL ST #508	BOSTON, MA	02109		343 COMMERCIAL ST #508
303038398	DORNBROOK MICHAEL	DORNBROOK MICHAEL	343 COMMERCIAL ST #602	BOSTON, MA	02109		343 COMMERCIAL ST #602
303038400	THOMAJAN GREGORY Z	THOMAJAN GREGORY Z	343 COMMERCIAL ST #604	BOSTON, MA	02109		343 COMMERCIAL ST #604
303038402	SULLIVAN DANIEL W	SULLIVAN DANIEL W	343 COMMERCIAL ST #606	BOSTON, MA	02109		343 COMMERCIAL ST #606
303038404	SCHILLER PHILIP WILLIAM TS	SCHILLER PHILIP WILLIAM TS	234 MIRAMANTES AV	HALF MOON BAY, CA		94019	343 COMMERCIAL ST #607
303038406	LOSCOCCO JAMES N TS	LOSCOCCO JAMES N TS	343 COMMERCIAL ST #608	BOSTON, MA	02109		343 COMMERCIAL ST #608
303039000	SAN MARCO-LINCOLN WH	SAN MARCO-LINCOLN WH	357 371 COMMERCIAL ST	BOSTON, MA	02109		357 371 COMMERCIAL ST
303039012	IUDICIANI FRANCO	IUDICIANI FRANCO	357 COMMERCIAL ST #1	BOSTON, MA	02109		357 COMMERCIAL ST #001
303039016	DIGENOVA GIULIANA	DIGENOVA GIULIANA	8 WINDHAM LANE	BEVERLY, MA	01915		357 COMMERCIAL ST #003
303039018	HAGER CHRISTIE L	HAGER CHRISTIE L	357 COMMERCIAL ST #4	BOSTON, MA	02109		357 COMMERCIAL ST #004
303039020	DIBARTOLOMEO ANGELO TS	DIBARTOLOMEO ANGELO TS	357 COMMERCIAL ST #5	BOSTON, MA	02109		357 COMMERCIAL ST #005
303039022	PESATURO AUGUSTINE A SR	PESATURO AUGUSTINE A SR	357 COMMERCIAL ST UNIT 006	BOSTON, MA	02109		357 COMMERCIAL ST #006
303039024	DIECIDUE SALVATORE A	DIECIDUE SALVATORE A	357 COMMERCIAL ST #7	BOSTON, MA	02109		357 COMMERCIAL ST #007
303039026	LABELLA PATRICIA	LABELLA PATRICIA	139 HOWE ST	NATICK, MA	01760		357 COMMERCIAL ST #008
303039028	ANDERSON MICHAEL H	ANDERSON MICHAEL H	357 COMMERCIAL ST #9	BOSTON, MA	02109		357 COMMERCIAL ST #009
303039030	MEIDHOF THOMAS J	MEIDHOF THOMAS J	357 COMMERCIAL ST #10	BOSTON, MA	02109		357 COMMERCIAL ST #010
303039032	CAPRARO ANTHONY J	CAPRARO ANTHONY J	357 COMMERCIAL ST #11	BOSTON, MA	02109		357 COMMERCIAL ST #011
303039034	FRISCO PAUL R	FRISCO PAUL R	20 BROWNFIELD DR	BRIDGEWATER, MA	02324		357 COMMERCIAL ST #012

303039036	ROYALFERN LLC	ROYALFERN LLC	1430 JACKSON AV #303	NEW ORLEANS, LA		70130	357	COMMERCIAL ST #013
303039038	MALOOF FERRIS B TS	MALOOF FERRIS B TS	24 BATES LANE	NORWELL , MA	02061		357	COMMERCIAL ST #14
303039040	LONDON JANINE	LONDON JANINE	357 COMMERCIAL ST #15	BOSTON, MA	02109		357	COMMERCIAL ST #015
303039042	MCGRATH DAMIEN A	MCGRATH DAMIEN A	132 ARLINGTON ST #2	BRIGHTON, MA	02135		357	COMMERCIAL ST #016
303039044	DISILVA DAVID E	DISILVA DAVID E	357 COMMERCIAL ST #17	BOSTON, MA	02109		357	COMMERCIAL ST #17
303039046	FISK KENNETT H	FISK KENNETT H	11 MONUMENT SQ	CHARLESTOWN, MA	02129		357	COMMERCIAL ST #018
303039048	DIMATTIA MICHELLE L	DIMATTIA MICHELLE L	357 COMMERCIAL ST #19	BOSTON, MA	02109		357	COMMERCIAL ST #019
303039050	GANDHI JINESH D	GANDHI JINESH D	6 KENLEY LANE	SOUTHBOROUGH, MA	01772		357	COMMERCIAL ST #020
303039052	TIBERI MASSIMO	TIBERI MASSIMO	357 COMMERCIAL ST #101	BOSTON, MA	02109		357	COMMERCIAL ST #101
303039054	AZUERO CATALINA	AZUERO CATALINA	357 COMMERCIAL ST #102	BOSTON, MA	02109		357	COMMERCIAL ST #102
303039056	HYMOVITZ MARC C	HYMOVITZ MARC C	357 COMMERCIAL ST #103	BOSTON, MA	02109		357	COMMERCIAL ST #103
303039058	BARTOLO CHARLES M	BARTOLO CHARLES M	357 COMMERCIAL ST #104	BOSTON, MA	02109		357	COMMERCIAL ST #104
303039060	DRISCOLL MAUREEN	DRISCOLL MAUREEN	357 COMMERCIAL #105	BOSTON, MA	02109		357	COMMERCIAL ST #105
303039062	LIN SHE FU	LIN SHE FU	357 COMMERCIAL #106	BOSTON, MA	02109		357	COMMERCIAL ST #106
303039064	CONNERY MICHAEL	CONNERY MICHAEL	357 COMMERCIAL ST #107	BOSTON, MA	02109		357	COMMERCIAL ST #107
303039066	COSTA STEVEN	COSTA STEVEN	PO BOX 987	COVENTRY, RI	02816		357	COMMERCIAL ST #108
303039068	COLAHAN JEANNE S	COLAHAN JEANNE S	357 COMMERCIAL ST #109	BOSTON, MA	02109		357	COMMERCIAL ST #109
303039070	WOODS CHRISTOPHER K	WOODS CHRISTOPHER K	357 COMMERCIAL ST UNIT 110	BOSTON, MA	02109		357	COMMERCIAL ST #110
303039072	VITALE DIANA R	VITALE DIANA R	4 MY WAY CIRCLE	WILMINGTON, MA	01887		357	COMMERCIAL ST #111
303039074	JMN ONE REALTY TRUST	JMN ONE REALTY TRUST	357 COMMERCIAL ST 112	BOSTON, MA	02109		357	COMMERCIAL ST #112
303039076	DIRENZO KAREN	DIRENZO KAREN	357 COMMERCIAL #113	BOSTON, MA	02109		357	COMMERCIAL ST #113
303039078	TAYLOR DANIEL	TAYLOR DANIEL	357 COMMERCIAL ST #114	BOSTON, MA	02109		357	COMMERCIAL ST #114
303039080	DALY MARY BETH	DALY MARY BETH	20 FINGER LANE	OSTERVILLE, MA	02655		357	COMMERCIAL ST #115
303039082	FEDOROV KIRILL A	FEDOROV KIRILL A	357 COMMERCIAL ST #116	BOSTON, MA	02109		357	COMMERCIAL ST #116
303039084	REYNOLDS MARIE	REYNOLDS MARIE	357 COMMERCIAL ST #117	BOSTON, MA	02109		357	COMMERCIAL ST #117
303039086	TAM WING HEI	TAM WING HEI	357 COMMERCIAL ST #118	BOSTON, MA	02109		357	COMMERCIAL ST #118
303039088	TEMPLE REGINA	TEMPLE REGINA	357 COMMERCIAL ST #119	BOSTON, MA	02109		357	COMMERCIAL ST #119
303039090	ME AHL HILLARY P	ME AHL HILLARY P	357 COMMERCIAL ST #120	BOSTON, MA	02109		357	COMMERCIAL ST #120
303039092	RYAN MARY RUTH	RYAN MARY RUTH	357 COMMERCIAL ST #1'021	BOSTON, MA	02109		357	COMMERCIAL ST #1'021
303039094	CHEVERIE DARLENE	CHEVERIE DARLENE	357 COMMERCIAL ST	BOSTON, MA	02109		357	COMMERCIAL ST #203
303039096	DECHRISTOFORO JANINE TS	DECHRISTOFORO JANINE TS	357 COMMERCIAL ST #204	BOSTON, MA	02109		357	COMMERCIAL ST #204
303039098	HYMOVITZ MARC	HYMOVITZ MARC	357 COMMERCIAL ST #205	BOSTON, MA	02109		357	COMMERCIAL ST #205
303039100	KONIK WALTER M	KONIK WALTER M	357 COMMERCIAL #206	BOSTON, MA	02109		357	COMMERCIAL ST #206
303039102	PETRIGNO FREDERICK	PETRIGNO FREDERICK	357 COMMERCIAL ST #207	BOSTON, MA	02109		357	COMMERCIAL ST #207
303039104	SYLVIA PATRICIA M	SYLVIA PATRICIA M	357 COMMERCIAL STREET UNIT 2	BOSTON, MA	02109		357	COMMERCIAL ST #208
303039106	WARIAS DAVID B TS	WARIAS DAVID B TS	357 COMMERCIAL ST #'0211	BOSTON, MA	02109		357	COMMERCIAL ST #209
303039108	LANZA JEAN G	LANZA JEAN G	357 COMMERCIAL ST #'0210	BOSTON, MA	02109		357	COMMERCIAL ST #'0210
303039110	WARIAS DAVID B TS	WARIAS DAVID B TS	357 COMMERCIAL ST #'0211	BOSTON, MA	02109		357	COMMERCIAL ST #'0211
303039112	GARDNER AVRIL	GARDNER AVRIL	PO BOX 130087	BOSTON, MA	02113		357	COMMERCIAL ST #'0212
303039114	VITELLO D CYNTHIA	VITELLO D CYNTHIA	357 COMMERCIAL #506	BOSTON, MA	02109		357	COMMERCIAL ST #'0213
303039116	PECCI ANDREW J	PECCI ANDREW J	118 BARTLETT ST	SOMERVILLE, MA	02145		357	COMMERCIAL ST #'0214
303039118	LIN JIN EN	LIN JIN EN	357 COMMERCIAL #'0215	BOSTON, MA	02109		357	COMMERCIAL ST #'0215
303039120	DARTISTA LUCY M	DARTISTA LUCY M	357 COMMERCIAL ST #'0216	BOSTON, MA	02109		357	COMMERCIAL ST #'0216
303039122	MCNIFF MARY	MCNIFF MARY	357 COMMERCIAL #'0217	BOSTON, MA	02109		357	COMMERCIAL ST #'0217
303039124	HORWITZ JOHN	HORWITZ JOHN	6 WINNMERE AV	BURLINGTON, MA	01803		357	COMMERCIAL ST #'0218
303039126	QUINN SARAH	QUINN SARAH	357 COMMERCIAL #'0219	BOSTON, MA	02109		357	COMMERCIAL ST #'0219
303039128	HILL ALMA M	HILL ALMA M	357 COMMERCIAL ST #220	BOSTON, MA	02109		357	COMMERCIAL ST #220
303039130	RUGGIERO ROGER W	RUGGIERO ROGER W	357 COMMERCIAL ST #2'021	BOSTON, MA	02109		357	COMMERCIAL ST #2'021
303039132	BUCKLAND ARTHUR R	BUCKLAND ARTHUR R	343 COMMERCIAL ST #103	BOSTON, MA	02109		357	COMMERCIAL ST #301
303039134	ZERVOS COSTAS	ZERVOS COSTAS	357 COMMERCIAL ST #302	BOSTON, MA	02109		357	COMMERCIAL ST #302
303039136	PARKER BARBARA S	PARKER BARBARA S	357 COMMERCIAL ST #303	BOSTON, MA	02109		357	COMMERCIAL ST #303

303039138	SILVA KIM M	SILVA KIM M	357 COMMERCIAL ST #304	BOSTON, MA	02109	357 COMMERCIAL ST #304
303039140	GETCHELL KEITH A	GETCHELL KEITH A	357 COMMERCIAL ST #305	BOSTON, MA	02109	357 COMMERCIAL ST #305
303039142	YAU MO WAI	YAU MO WAI	357 COMMERCIAL ST #306	BOSTON, MA	02109	357 COMMERCIAL ST #306
303039144	WONG KERI F	WONG KERI F	357 COMMERCIAL ST #307	BOSTON, MA	02109	357 COMMERCIAL ST #307
303039146	REILLY JOANNE M	REILLY JOANNE M	357 COMMERCIAL ST #308	BOSTON, MA	02109	357 COMMERCIAL ST #308
303039148	CHAN DAVID C	CHAN DAVID C	357 COMMERCIAL ST #309	BOSTON, MA	02109	357 COMMERCIAL ST #309
303039150	FRISSORA HENRY A	FRISSORA HENRY A	PO BOX 183	HAMILTON, MA	01936	357 COMMERCIAL ST #310
303039152	SCOTT DONALD	SCOTT DONALD	357 COMMERCIAL ST # 311	BOSTON, MA	02109	357 COMMERCIAL ST #311
303039154	MYETTE STEVEN C	MYETTE STEVEN C	357 COMMERCIAL ST #312	BOSTON, MA	02109	357 COMMERCIAL ST #312
303039156	MICHELSON KENNETH B	MICHELSON KENNETH B	191 B WOODLAND RD	SOUTHBOROUGH, MA	01772	357 COMMERCIAL ST #313
303039158	CARLSON EDWIN B	CARLSON EDWIN B	19 PINE HILL RD	PRINCETON, MA	01541	357 COMMERCIAL ST #314
303039160	315 LINCOLN LLC	315 LINCOLN LLC	242 HIGHLAND AVE	WINCHESTER, MA	01890	357 COMMERCIAL ST #315
303039162	HIRST JOSEPH E	HIRST JOSEPH E	357 COMMERCIAL ST #316	BOSTON, MA	02109	357 COMMERCIAL ST #316
303039164	MOY SUKE MOU	MOY SUKE MOU	357 COMMERCIAL ST APT 317	BOSTON, MA	02109	357 COMMERCIAL ST #317
303039166	DITIRRO GINA A	DITIRRO GINA A	357 COMMERCIAL ST #318	BOSTON, MA	02109	357 COMMERCIAL ST #318
303039168	LOVUOLO WILLIAM J	LOVUOLO WILLIAM J	357 COMMERCIAL ST #319	BOSTON, MA	02109	357 COMMERCIAL ST #319
303039170	QADIR DAWN A	QADIR DAWN A	357 COMMERCIAL ST #320	BOSTON, MA	02109	357 COMMERCIAL ST #320
303039172	MEAGHER DENISE L	MEAGHER DENISE L	41 SUMMER ST	SHREWSBURY, MA	01545	357 COMMERCIAL ST #3'021
303039174	HORES BRIAN	HORES BRIAN	257 COMMERCIAL ST #401	BOSTON, MA	02109	357 COMMERCIAL ST #401
303039176	VILAR ALFREDO J	VILAR ALFREDO J	22 DOANE RD	MEDFORD, MA	02155	357 COMMERCIAL ST #402
303039178	OCONNELL PATRICK J	OCONNELL PATRICK J	357 COMMERCIAL ST #403	BOSTON, MA	02109	357 COMMERCIAL ST #403
303039180	SABBEY NORMAN C	SABBEY NORMAN C	357 COMMERCIAL ST #404	BOSTON, MA	02109	357 COMMERCIAL ST #404
303039182	REDDINGTON PATRICIA	REDDINGTON PATRICIA	357 COMMERCIAL ST #405	BOSTON, MA	02109	357 COMMERCIAL ST #405
303039184	LONDON ROSEMARIE	LONDON ROSEMARIE	357 COMMERCIAL ST #406	BOSTON, MA	02109	357 COMMERCIAL ST #406
303039186	KANE ELIZABETH	KANE ELIZABETH	357 COMMERCIAL ST #407	BOSTON, MA	02109	357 COMMERCIAL ST #407
303039188	LANGONE JOY	LANGONE JOY	357 COMMERCIAL ST #408	BOSTON, MA	02109	357 COMMERCIAL ST #408
303039190	ABRANO FRANK M	ABRANO FRANK M	8 RUBEN DUREN WAY	BEDFORD, MA	01730	357 COMMERCIAL ST #409
303039192	TAVILLA MARY E	TAVILLA MARY E	PO BOX 130264	BOSTON, MA	02113	357 COMMERCIAL ST #410
303039194	RABU MURIEL	RABU MURIEL	357 COMMERCIAL ST #411	BOSTON, MA	02109	357 COMMERCIAL ST #411
303039196	HUA JING	HUA JING	357 COMMERCIAL ST #412	BOSTON, MA	02109	357 COMMERCIAL ST #412
303039198	CORNELIO MARIA J	CORNELIO MARIA J	357 COMMERCIAL ST #318	BOSTON, MA	02109	357 COMMERCIAL ST #413
303039200	GOMES RONALD F	GOMES RONALD F	357 COMMERCIAL ST #414	BOSTON, MA	02109	357 COMMERCIAL ST #414
303039202	MEHLEM NANCY I	MEHLEM NANCY I	357 COMMERCIAL #415	BOSTON, MA	02109	357 COMMERCIAL ST #415
303039204	ZHANG KEVIN Y Z	ZHANG KEVIN Y Z	357 COMMERCIAL ST #416	BOSTON, MA	02109	357 COMMERCIAL ST #416
303039206	CAHALANE SHEILA M	CAHALANE SHEILA M	16 ELM ST	MELROSE, MA	02176	357 COMMERCIAL ST #417
303039208	BUISIER SAAD NASSER	BUISIER SAAD NASSER	357 COMMERCIAL ST #712	BOSTON, MA	02109	357 COMMERCIAL ST #418
303039210	MORETTI THOMAS	MORETTI THOMAS	150 BEAVER ST	MILFORD, MA	01757	357 COMMERCIAL ST #419
303039212	DE PALMA LUIGI	DE PALMA LUIGI	357 COMMERCIAL ST #420	BOSTON, MA	02109	357 COMMERCIAL ST #420
303039214	LUONGO JOSEPH	LUONGO JOSEPH	357 COMMERCIAL ST #4'021	BOSTON, MA	02109	357 COMMERCIAL ST #4'021
303039216	FORZIATI CHRISTINE M	FORZIATI CHRISTINE M	357 COMMERCIAL ST #501	BOSTON, MA	02109	357 COMMERCIAL ST #501
303039218	QIU MEI HUAN	QIU MEI HUAN	357 COMMERCIAL ST #502	BOSTON, MA	02109	357 COMMERCIAL ST #502
303039220	ABATE VITA A	ABATE VITA A	357 COMMERCIAL ST #503	BOSTON, MA	02109	357 COMMERCIAL ST #503
303039222	LAURELLA CARMELA TS	LAURELLA CARMELA TS	112 UNION WHARF	BOSTON, MA	02109	357 COMMERCIAL ST #504
303039224	PEREZ JOHN V	PEREZ JOHN V	357 COMMERCIAL ST #505	BOSTON, MA	02109	357 COMMERCIAL ST #505
303039226	VITELLO D CYNTHIA	VITELLO D CYNTHIA	357 COMMERCIAL ST #506	BOSTON, MA	02109	357 COMMERCIAL ST #506
303039228	FRENI LAWRENCE G	FRENI LAWRENCE G	11503 W 159TH TE	OVERLAND PARK, KS	66062	357 COMMERCIAL ST #507
303039230	PRINTZ-KOPELSON GENE	PRINTZ-KOPELSON GENE	139 WILD ROSE DRIVE	ORANGE CT	6477'0	357 COMMERCIAL ST #508
303039232	PRINTZ-KOPELSON GENE	PRINTZ-KOPELSON GENE	139 WILD ROSE DRIVE	ORANGE CT	06477	357 COMMERCIAL ST #509
303039234	BABAIAI ELIZABETH P	BABAIAI ELIZABETH P	357 COMMERCIAL ST UNIT 510	BOSTON, MA	02109	357 COMMERCIAL ST #510
303039236	CAIANI DIANE A	CAIANI DIANE A	357 COMMERCIAL ST #511	BOSTON, MA	02109	357 COMMERCIAL ST #511
303039238	WONG STEPHANIE L	WONG STEPHANIE L	105 PINE STREET	BELMONT, MA	02478	357 COMMERCIAL ST #512

303039240	ABATE TINA	ABATE TINA	357 COMMERCIAL ST #513	BOSTON, MA	02109	357 COMMERCIAL ST #513
303039242	BUCCI MATTEO	BUCCI MATTEO	357 COMMERCIAL ST #514	BOSTON, MA	02109	357 COMMERCIAL ST #514
303039244	PASTO THEODORE L	PASTO THEODORE L	357 COMMERCIAL ST #515	BOSTON, MA	02109	357 COMMERCIAL ST #515
303039246	AVERY JOSEPH R	AVERY JOSEPH R	357 COMMERCIAL ST #516	BOSTON, MA	02109	357 COMMERCIAL ST #516
303039248	TEFFT KAREN L	TEFFT KAREN L	357 COMMERCIAL ST #517	BOSTON, MA	02109	357 COMMERCIAL ST #517
303039250	SHEA JOHN T	SHEA JOHN T	1100 S COLLIER BLVD #724	MARCO ISLAND, FL		34145 357 COMMERCIAL ST #518
303039252	LEWIS THOMAS A	LEWIS THOMAS A	357 COMMERCIAL ST #519	BOSTON, MA	02109	357 COMMERCIAL ST #519
303039254	GOLD HEATHER	GOLD HEATHER	26 FOREST AVE	SWAMPSCOTT, MA	01907	357 COMMERCIAL ST #520
303039256	HUI POH K	HUI POH K	1 TURTLE LANE	DOVER, MA	02030	357 COMMERCIAL ST #5'021
303039258	MANCHANDA AMAN	MANCHANDA AMAN	357 COMMERCIAL ST #601	BOSTON, MA	02109	357 COMMERCIAL ST #601
303039260	CARIFIO ANTHONY G	CARIFIO ANTHONY G	357 COMMERCIAL ST #602	BOSTON, MA	02109	357 COMMERCIAL ST #602
303039262	SINAGRA NANCY A	SINAGRA NANCY A	357 COMMERCIAL #603	BOSTON, MA	02109	357 COMMERCIAL ST #603
303039264	604 LINCOLN WHARF REALTY	604 LINCOLN WHARF REALTY	357 COMMERCIAL ST #604	BOSTON, MA	02109	357 COMMERCIAL ST #604
303039266	PASTO THEODORE L	PASTO THEODORE L	357 COMMERCIAL ST #605	BOSTON, MA	02109	357 COMMERCIAL ST #605
303039268	357 COMMERCIAL STREET 60	357 COMMERCIAL STREET 606	357 COMMERCIAL ST #606	BOSTON, MA	02109	357 COMMERCIAL ST #606
303039270	JACKMAN SEAN R	JACKMAN SEAN R	20 ELISE LA	DARTMOUTH, MA	02747	357 COMMERCIAL ST #607
303039272	RIVA MARINA A TS	RIVA MARINA A TS	357 COMMERCIAL ST UNIT 608	BOSTON, MA	02109	357 COMMERCIAL ST #608
303039274	CAPOBIANCO MARGARET F	CAPOBIANCO MARGARET F	357 COMMERCIAL ST #609	BOSTON, MA	02109	357 COMMERCIAL ST #609
303039276	GOMES RONALD	GOMES RONALD	357 COMMERCIAL ST #610	BOSTON, MA	02109	357 COMMERCIAL ST #610
303039278	PHANEUF VINCENT B TS	PHANEUF VINCENT B TS	357 COMMERCIAL ST #611	BOSTON, MA	02109	357 COMMERCIAL ST #611
303039280	CANTALUPO CORRINA	CANTALUPO CORRINA	357 COMMERCIAL ST #612	BOSTON, MA	02109	357 COMMERCIAL ST #612
303039282	KURTZ SAMUEL J	KURTZ SAMUEL J	32 ATLANTIC ROAD	SWAMPSCOTT, MA	01907	357 COMMERCIAL ST #613
303039284	TILLOTSON DIANE C	TILLOTSON DIANE C	77 CORRELL ST	NEWTON LOWER FALLS, MA	02462	357 COMMERCIAL ST #614
303039286	RILEY ARLENE M	RILEY ARLENE M	357 COMMERCIAL #615	BOSTON, MA	02109	357 COMMERCIAL ST #615
303039288	257 COMMERCIAL STREET UN	257 COMMERCIAL STREET UNIT	357 COMMERCIAL ST #616	BOSTON, MA	02109	357 COMMERCIAL ST #616
303039290	WEINREICH DAVID	WEINREICH DAVID	26 VINTON ST	SOUTH BOSTON, MA	02127	357 COMMERCIAL ST #617
303039292	LOVUOLO ANTHONY TS	LOVUOLO ANTHONY TS	357 COMMERCIAL ST #618	BOSTON, MA	02109	357 COMMERCIAL ST #618
303039294	DI ZHU XIAO	DI ZHU XIAO	357 COMMERCIAL ST #619	BOSTON, MA	02109	357 COMMERCIAL ST #619
303039296	MEEHAN JOANNE M	MEEHAN JOANNE M	357 COMMERCIAL ST #620	BOSTON, MA	02109	357 COMMERCIAL ST #620
303039298	ONEIL KAREN A	ONEIL KAREN A	357 COMMERCIAL ST #6'021	BOSTON, MA	02109	357 COMMERCIAL ST #6'021
303039300	MARCHESE SUSAN P	MARCHESE SUSAN P	357 COMMERCIAL ST #701	BOSTON, MA	02109	357 COMMERCIAL ST #701
303039302	KIRBY ROBERT L JR	KIRBY ROBERT L JR	357 COMMERCIAL ST #702	BOSTON, MA	02109	357 COMMERCIAL ST #702
303039304	REED DONNA J	REED DONNA J	4 GINOS WAY	RIDGEFIELD, CT	06877	357 COMMERCIAL ST #703
303039306	OLDROYD JAMES R	OLDROYD JAMES R	357 COMMERCIAL ST #704	BOSTON, MA	02109	357 COMMERCIAL ST #704
303039308	BATAL ROBERT C	BATAL ROBERT C	357 COMMERCIAL ST #705	BOSTON, MA	02109	357 COMMERCIAL ST #705
303039310	RODGERS RACHEL F	RODGERS RACHEL F	357 COMMERCIAL ST #706	BOSTON, MA	02109	357 COMMERCIAL ST #706
303039312	KYAN SANDRA	KYAN SANDRA	357 COMMERCIAL #707	BOSTON, MA	02109	357 COMMERCIAL ST #707
303039314	TORRISI CARMINE RICHARD	TORRISI CARMINE RICHARD	357 COMMERCIAL ST #708	BOSTON, MA	02109	357 COMMERCIAL ST #708
303039316	LANGONE JOSEPH A	LANGONE JOSEPH A	357 COMMERCIAL ST #709	BOSTON, MA	02109	357 COMMERCIAL ST #709
303039318	DELPRIORE ANGELO A	DELPRIORE ANGELO A	357 COMMERCIAL ST #710	BOSTON, MA	02109	357 COMMERCIAL ST #710
303039320	BUISIER SAAD NASSER	BUISIER SAAD NASSER	357 COMMERCIAL ST #712	BOSTON, MA	02109	357 COMMERCIAL ST #711
303039326	HUYNH DIANE	HUYNH DIANE	4048 WASHINGTON ST #3	ROSLINDALE, MA	02131	357 COMMERCIAL ST #714
303039328	SKOLE FAMILY TRUST	SKOLE FAMILY TRUST	357 COMMERCIAL ST #715	BOSTON, MA	02109	357 COMMERCIAL ST #715
303039330	CANTY ALLISON E	CANTY ALLISON E	357 COMMERCIAL ST #716	BOSTON, MA	02109	357 COMMERCIAL ST #716
303039332	BUCKLAND ARTHUR R	BUCKLAND ARTHUR R	343 COMMERCIAL ST #103	BOSTON, MA	02109	357 COMMERCIAL ST #717
303039334	BEACON HILL PROPERTIES LL	BEACON HILL PROPERTIES LLC	PO BOX 590097	NEWTON CENTRE, MA	02459	357 COMMERCIAL ST #718
303039336	FINIW M	FINIW M	357 COMMERCIAL ST #719	BOSTON, MA	02109	357 COMMERCIAL ST #719
303039338	HEWITT CAROLYN G	HEWITT CAROLYN G	357 COMMERCIAL ST #720	BOSTON, MA	02109	357 COMMERCIAL ST #720
303039340	SPARKS THERESA C	SPARKS THERESA C	357 COMMERCIAL ST #7'021	BOSTON, MA	02109	357 COMMERCIAL ST #7'021
303039342	BORLAND ISABEL ALVAREZ	BORLAND ISABEL ALVAREZ	357 COMMERCIAL ST #722	BOSTON, MA	02109	357 COMMERCIAL ST #722
303039344	DICENSO DELFINA TS	DICENSO DELFINA TS	357 COMMERCIAL ST #723	BOSTON, MA	02109	357 COMMERCIAL ST #723

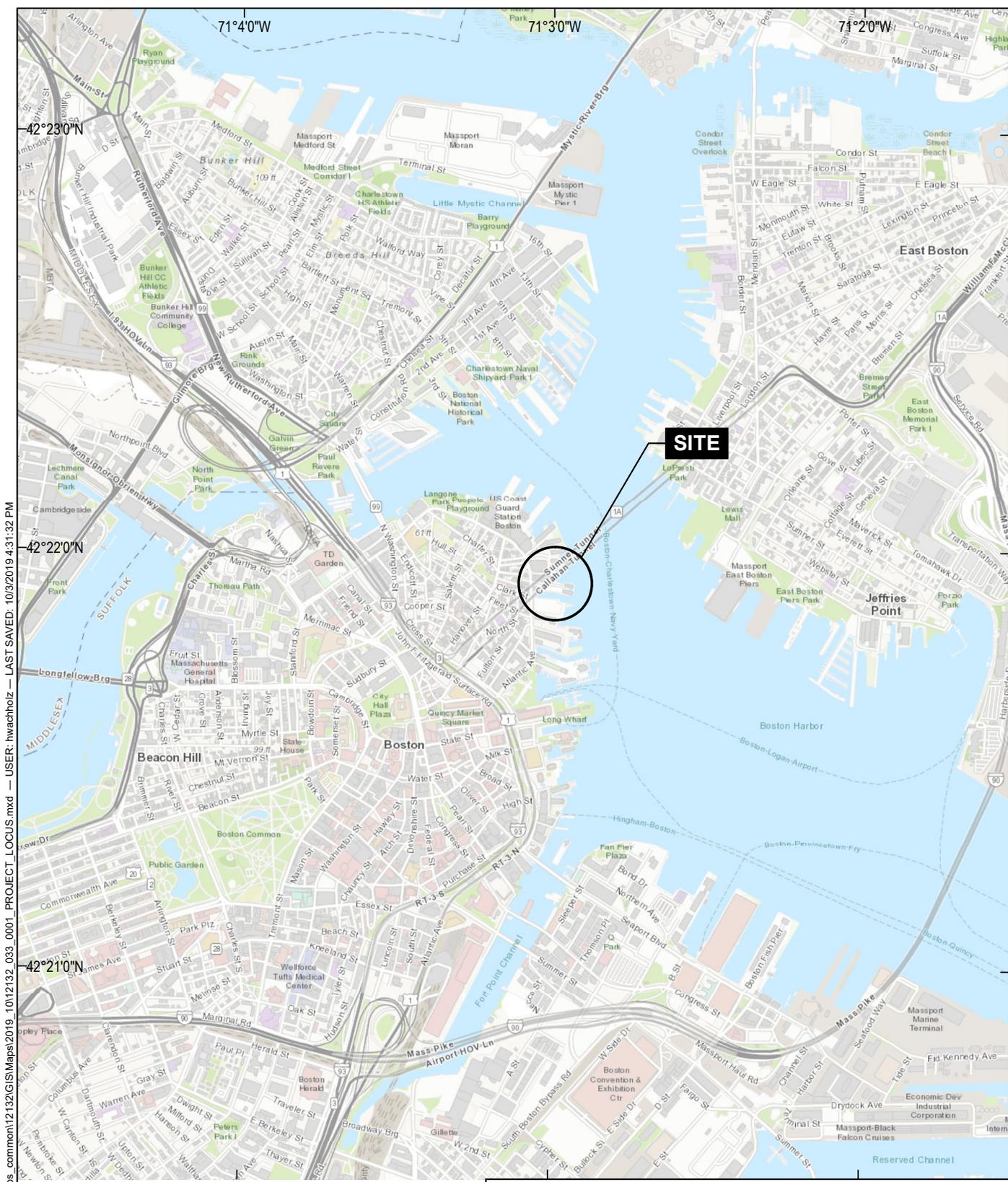
303039346	ASH BARBARA	ASH BARBARA	357 COMMERCIAL ST # 724	BOSTON, MA	02109	357 COMMERCIAL ST #724
303039348	THEOHARIDES THEOHARIS	THEOHARIDES THEOHARIS	357 COMMERCIAL ST #725	BOSTON, MA	02109	357 COMMERCIAL ST #725
303039350	DELPRIORE ANGELO A	DELPRIORE ANGELO A	357 COMMERCIAL ST #801	BOSTON, MA	02109	357 COMMERCIAL ST #801
303039356	YUNG FRANKLIN C C	YUNG FRANKLIN C C	357 COMMERCIAL ST #804	BOSTON, MA	02109	357 COMMERCIAL ST #804
303039358	BLACKBURN THOMAS S	BLACKBURN THOMAS S	17 FENWICK RD	WINCHESTER, MA	01890	357 COMMERCIAL ST #805
303039360	ELLEN DEMAMBRO	ELLEN DEMAMBRO	357 COMMERCIAL ST #806	BOSTON, MA	02109	357 COMMERCIAL ST #806
303039362	CHERCHIA PETER J	CHERCHIA PETER J	357 COMMERCIAL ST #807	BOSTON, MA	02109	357 COMMERCIAL ST #807
303039364	DAMBRA LOUISE P	DAMBRA LOUISE P	357 COMMERCIAL ST #808	BOSTON, MA	02109	357 COMMERCIAL ST #808
303039366	CICCONE MARK M	CICCONE MARK M	357 COMMERCIAL ST #809	BOSTON, MA	02109	357 COMMERCIAL ST #809
303039368	DAVIS CHERYL L	DAVIS CHERYL L	357 COMMERCIAL ST #810	BOSTON, MA	02109	357 COMMERCIAL ST #810
303039370	ANDREWS JOHN	ANDREWS JOHN	357 COMMERCIAL ST #811	BOSTON, MA	02109	357 COMMERCIAL ST #811
303039372	MARSHALL GERALDINE C TS	MARSHALL GERALDINE C TS	357 COMMERCIAL ST #822	BOSTON, MA	02109	357 COMMERCIAL ST #812
303039374	MCMAHON DANIEL A	MCMAHON DANIEL A	357 COMMERCIAL ST #813	BOSTON, MA	02109	357 COMMERCIAL ST #813
303039376	UNIT 814 REALTY TRUST	UNIT 814 REALTY TRUST	28 HILLCREST ROAD	NEEDHAM, MA	02492	357 COMMERCIAL ST #814
303039378	SONIS ERIC	SONIS ERIC	357 COMMERCIAL ST #815	BOSTON, MA	02109	357 COMMERCIAL ST #815
303039380	CASELDEN GINA	CASELDEN GINA	357 COMMERCIAL ST #816	BOSTON, MA	02109	357 COMMERCIAL ST #816
303039382	MURPHY DREW WILLIAM	MURPHY DREW WILLIAM	357 COMMERCIAL ST #817	BOSTON, MA	02109	357 COMMERCIAL ST #817
303039384	HARRINGTON CHRISTOPHER	HARRINGTON CHRISTOPHER D	357 COMMERCIAL ST #818	BOSTON, MA	02109	357 COMMERCIAL ST #818
303039386	SMILES ARCHIE C JR TS	SMILES ARCHIE C JR TS	357 COMMERCIAL ST #819	BOSTON, MA	02109	357 COMMERCIAL ST #819
303039388	KRAINC DIMITRI	KRAINC DIMITRI	357 COMMERCIAL ST #820	BOSTON, MA	02109	357 COMMERCIAL ST #820
303039390	KRAJNC DIMITRI	KRAJNC DIMITRI	357 COMMERCIAL ST #8'021	BOSTON, MA	02109	357 COMMERCIAL ST #8'021
303039392	MARSHALL GERALDINE TS	MARSHALL GERALDINE TS	357 COMMERCIAL ST #822	BOSTON, MA	02109	357 COMMERCIAL ST #822
303039394	WADE JOHN	WADE JOHN	10 ACORN DR	ANDOVER, MA	01810	357 COMMERCIAL ST #823
303039396	MARCHAND BRADLEY K	MARCHAND BRADLEY K	357 COMMERCIAL ST #802-803	BOSTON, MA	02109	357 COMMERCIAL ST #802/803
303040000	BURROUGHS WHARF CONDO	BURROUGHS WHARF CONDO	50 BATTERY ST 9TH FL	BOSTON, MA	02109	40 -50 BATTERY ST
303040002	MILANO-PICARDI MICHAEL	MILANO-PICARDI MICHAEL	40 BATTERY ST #102	BOSTON, MA	02109	40 BATTERY ST #102
303040004	STEMPLER MARILYN D	STEMPLER MARILYN D	40 BATTERY ST #103	BOSTON, MA	02109	40 BATTERY ST #103
303040006	PITTARO TERRY B	PITTARO TERRY B	40 BATTERY ST #104	BOSTON, MA	02109	40 BATTERY ST #104
303040008	PAUL G RICHARD TS	PAUL G RICHARD TS	40 BATTERY ST #105	BOSTON, MA	02109	40 BATTERY ST #105
303040010	SOMMERS JOHN A TS	SOMMERS JOHN A TS	40 BATTERY ST #106	BOSTON, MA	02109	40 BATTERY ST #106
303040012	ROCKEFELLER TRUST COMPA	ROCKEFELLER TRUST COMPANY TS	1201 NORTH MARKET ST STE #14	WILMINGTON DE		19801 40 BATTERY ST #107
303040014	GOLD PAULA	GOLD PAULA	40 BATTERY ST #108	BOSTON, MA	02109	40 BATTERY ST #108
303040016	KUHNS JOHN B	KUHNS JOHN B	PO BOX '0214	ETNA, NH	03750	40 BATTERY ST #109
303040018	MURRAY ROBERT J	MURRAY ROBERT J	40 BATTERY ST #110	BOSTON, MA	02109	40 BATTERY ST #110
303040020	GREEN AUDLEY J	GREEN AUDLEY J	40 BATTERY ST #202	BOSTON, MA	02109	40 BATTERY ST #202
303040022	KHOSHATEFEH RAMIN	KHOSHATEFEH RAMIN	40 BATTERY ST #301	BOSTON, MA	02109	40 BATTERY ST #301
303040024	MILNER ANN L	MILNER ANN L	40 BATTERY ST #302	BOSTON, MA	02109	40 BATTERY ST #302
303040026	DESROSIER THOMAS J	DESROSIER THOMAS J	40 BATTERY ST #303	BOSTON, MA	02109	40 BATTERY ST #303
303040028	VAN DORN ELIZABETH	VAN DORN ELIZABETH	40 BATTERY ST UNIT 304	BOSTON, MA	02109	40 BATTERY ST #304
303040030	COOGAN HENRY WILLIAM JR	COOGAN HENRY WILLIAM JR	115 BEN DOVER LANE	MANAKIN-SABOT, VA		23103 40 BATTERY ST #305
303040032	WALDSTEIN ARTHUR S	WALDSTEIN ARTHUR S	40 BATTERY ST #306	BOSTON, MA	02109	40 BATTERY ST #306
303040034	ANGELO PICARDI & MARY AN	ANGELO PICARDI & MARY ANN	40 BATTERY ST #307/308	BOSTON, MA	02109	40 BATTERY ST #307/308
303040038	DAVID M LEVENFELD REVOC	DAVID M LEVENFELD REVOCABLE	40 BATTERY ST #309	BOSTON, MA	02109	40 BATTERY ST #309
303040040	DIPASQUALE DENISE	DIPASQUALE DENISE	40 BATTERY ST #310	BOSTON, MA	02109	40 BATTERY ST #310
303040042	DUFTON MARK T	DUFTON MARK T	40 BATTERY ST #401	BOSTON, MA	02109	40 BATTERY ST #401
303040044	COWHIG MICHAEL T	COWHIG MICHAEL T	40 BATTERY ST #402	BOSTON, MA	02109	40 BATTERY ST #402
303040046	VIERAITIS ROBERT V JR	VIERAITIS ROBERT V JR	40 BATTERY ST #501	BOSTON, MA	02109	40 BATTERY ST #501
303040048	MAIRS KIMBERLY A	MAIRS KIMBERLY A	40 BATTERY ST #502	BOSTON, MA	02109	40 BATTERY ST #502/606
303040050	HAYES JOHN A JR	HAYES JOHN A JR	40 BATTERY ST #PH1	BOSTON, MA	02109	40 BATTERY ST #PH1
303040052	BUCKLAND ARTHUR R	BUCKLAND ARTHUR R	343 COMMERCIAL ST #103	BOSTON, MA	02109	40 BATTERY ST #PH2
303040054	ECKELMAN BRYAN	ECKELMAN BRYAN	40 BATTERY ST #PH3	BOSTON, MA	02109	40 BATTERY ST #PH3

303040056	COLIN MOORE REVOCABLE TR	COLIN MOORE REVOCABLE TRUST	186 CENTRE STREET	DOVER, MA	02030	40 BATTERY ST #PH4
303040058	PREVITE FRANK E	PREVITE FRANK E	40 BATTERY ST #PH5	BOSTON, MA	02109	40 BATTERY ST #PH5
303040062	GRAY CAROL B	GRAY CAROL B	40 BATTERY ST #PH7	BOSTON, MA	02109	40 BATTERY ST #PH7
303040064	SIMONELLI JOSEPH E	SIMONELLI JOSEPH E	PO BOX 314	THOMPSON, CT	06277	40 BATTERY ST #PH8
303040066	CHARLES S MORRISON II	CHARLES S MORRISON II	40 BATTERY ST PH9	BOSTON, MA	02109	40 BATTERY ST #PH9
303040068	CAPOBIANCO KIM M	CAPOBIANCO KIM M	40 BATTERY ST	BOSTON, MA	02109	40 BATTERY ST #PH10
303040070	PENNA ROBERT C TS	PENNA ROBERT C TS	40 BATTERY ST #PH11	BOSTON, MA	02109	40 BATTERY ST #PH11
303040074	LEETCH BRIAN	LEETCH BRIAN	40 BATTERY ST #PH13	BOSTON, MA	02109	40 BATTERY ST #PH13
303040076	BIRMDEN ASSOCIATES	BIRMDEN ASSOCIATES	50 BATTERY ST #FDU	BOSTON, MA	02109	50 BATTERY ST
303040078	SANTORO PAUL V	SANTORO PAUL V	50 BATTERY ST #103/104	BOSTON, MA	02109	50 BATTERY ST #103/104
303040082	CHARA TATIANA	CHARA TATIANA	343 COMMERCIAL ST #'0211	BOSTON, MA	02109	50 BATTERY ST #105
303040084	POMPOSELLI FRANK B JR	POMPOSELLI FRANK B JR	50 BATTERY ST #106	BOSTON, MA	02109	50 BATTERY ST #106
303040086	HINES BRIAN	HINES BRIAN	50 BATTERY ST #201	BOSTON, MA	02109	50 BATTERY ST #201
303040088	RENFROE LYNDA A	RENFROE LYNDA A	1510 MONUMENT ST	CONCORD, MA	01742	50 BATTERY ST #202
303040090	ROSS DENISE B	ROSS DENISE B	50 BATTERY ST #301	BOSTON, MA	02109	50 BATTERY ST #301
303040092	WHITE CATHERINE A	WHITE CATHERINE A	50 BATTERY ST #302	BOSTON, MA	02109	50 BATTERY ST #302
303040094	SHIH SAMANTHA MEE-YEE	SHIH SAMANTHA MEE-YEE	437 D STREET #2B	BOSTON, MA	2'0210	50 BATTERY ST #303
303040096	BLONDIN PAUL E	BLONDIN PAUL E	50 BATTERY ST #304	BOSTON, MA	02109	50 BATTERY ST #304
303040098	PHILIPPS ELIZABETH	PHILIPPS ELIZABETH	50 BATTERY ST #305	BOSTON, MA	02109	50 BATTERY ST #305
303040100	COLLINS CHRISTOPHER W	COLLINS CHRISTOPHER W	50 BATTERY ST #306N	BOSTON, MA	02109	50 BATTERY ST #306
303040102	KEOGH JOHN	KEOGH JOHN	50 BATTERY ST #307	BOSTON, MA	02109	50 BATTERY ST #307
303040104	RAPPAPORT JAMES W	RAPPAPORT JAMES W	50 BATTERY ST #308	BOSTON, MA	02109	50 BATTERY ST #308
303040106	CUCCHIARO STEPHEN	CUCCHIARO STEPHEN	50 BATTERY ST UNIT #309 & #3	BOSTON, MA	02109	50 BATTERY ST #309
303040110	PAZUK STEPHEN M	PAZUK STEPHEN M	114 QUARTERDECK MALL	MARINA DEL RAY, CA	90292	50 BATTERY ST #311
303040112	KEOGH JOHN C	KEOGH JOHN C	50 BATTERY ST #312	BOSTON, MA	02109	50 BATTERY ST #312
303040114	PASTRNAK DAVID	PASTRNAK DAVID	50 BATTERY ST UNIT 401	BOSTON, MA	02109	50 BATTERY ST #401
303040116	SHEA MAUREEN A	SHEA MAUREEN A	50 BATTERY ST #402	BOSTON, MA	02109	50 BATTERY ST #402
303040118	PASTRNAK DAVID	PASTRNAK DAVID	50 BATTERY ST UNIT 501	BOSTON, MA	02109	50 BATTERY ST #501
303040120	STAUFF MICHAEL F	STAUFF MICHAEL F	50 BATTERY ST #502	BOSTON, MA	02109	50 BATTERY ST #502
303040122	INDECK PAMELA E	INDECK PAMELA E	50 BATTERY ST #PH1	BOSTON, MA	02109	50 BATTERY ST #PH1.
303040124	WINTERLE JOHN F	WINTERLE JOHN F	50 BATTERY ST #PH2	BOSTON, MA	02109	50 BATTERY ST #PH2
303040126	PETER NINCI S	PETER NINCI S	50 BATTERY ST #PH3	BOSTON, MA	02109	50 BATTERY ST #PH3
303040128	FITZPATRICK DANIEL J III	FITZPATRICK DANIEL J III	50 BATTERY ST #PH4	BOSTON, MA	02109	50 BATTERY ST #PH4
303040130	50 BATTERY WHARF NOMINEE	50 BATTERY WHARF NOMINEE	50 BATTERY ST #PH5	BOSTON, MA	02109	50 BATTERY ST #PH5
303040132	HARBOUR VIEW REALTY TRU	HARBOUR VIEW REALTY TRUST II	50 BATTERY ST. APT. 606	BOSTON, MA	02109	50 BATTERY ST #PH6
303040134	STADELMANN KRISTIN M	STADELMANN KRISTIN M	50 BATTERY ST #PH7	BOSTON, MA	02109	50 BATTERY ST #PH7
303040136	LEVY LAWRENCE M	LEVY LAWRENCE M	50 BATTERY ST #PH8	BOSTON, MA	02109	50 BATTERY ST #PH8
303040138	MEGHAN M NEVILLE REVOCA	MEGHAN M NEVILLE REVOCABLE	PO BOX 240	RYE, NH	03870	50 BATTERY ST #PH9
303040140	CAVALLARI FORD D	CAVALLARI FORD D	50 BATTERY ST #PH10	BOSTON, MA	02109	50 BATTERY ST #PH10
303525000	BRODER COMMERCIAL ST LLC	BRODER COMMERCIAL ST LLC	38 NEWBURY ST 3RD FL	BOSTON, MA	02116	280 290 COMMERCIAL ST
303536000	CHERUBINI JULIAN H	CHERUBINI JULIAN H	297 HIGH ST	DEDHAM, MA	02026	350 348 COMMERCIAL ST
303537000	COMMERCIAL NORTH 8TH	COMMERCIAL NORTH 8TH	346 COMMERCIAL	BOSTON, MA	02109	346 342 COMMERCIAL ST
303537002	THREE42-346 COMMERCIAL S	THREE42-346 COMMERCIAL ST	342 COMMERCIAL ST #C-1	BOSTON, MA	02109	342 COMMERCIAL ST #C-1
303537004	BRUMBAUGH SARA A	BRUMBAUGH SARA A	342 COMMERCIAL ST #2	BOSTON, MA	02109	342 COMMERCIAL ST #1
303537006	RICHMOND LARRY B	RICHMOND LARRY B	43 NEWFANE RD	BEDFORD, NH	03110	342 COMMERCIAL ST #2
303537008	BUCKLEY JEANMARIE	BUCKLEY JEANMARIE	365 NORTH ST #3	BOSTON, MA	02113	342 COMMERCIAL ST #3
303537010	CAMMARATA GILDA C	CAMMARATA GILDA C	527 SALEM ST #33	LYNNFIELD, MA	01940	342 COMMERCIAL ST #4
303537012	HEANEY GRACE	HEANEY GRACE	342 COMMERCIAL ST #5	BOSTON, MA	02109	342 COMMERCIAL ST #5
303537014	BOUCHER TERESA	BOUCHER TERESA	365 NORTH ST #6	BOSTON, MA	02113	342 COMMERCIAL ST #6
303537016	VESPIGNANI ALESSANDRO	VESPIGNANI ALESSANDRO	342 COMMERCIAL ST #7	BOSTON, MA	02109	342 COMMERCIAL ST #7
303537018	WARD MICHAEL F	WARD MICHAEL F	365 NORTH ST #8	BOSTON, MA	02113	342 COMMERCIAL ST #8

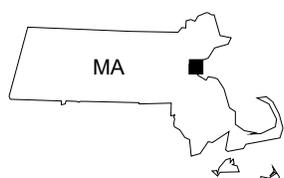
303538000	COMMERCIAL-NORTH CONDI	COMMERCIAL-NORTH CONDO ASS	338 COMMERCIAL	BOSTON, MA	02109	338 COMMERCIAL ST
303538002	DOW JENNIFER	DOW JENNIFER	338 COMMERCIAL ST # C-100	BOSTON, MA	02109	338 COMMERCIAL ST #C-100
303538004	ROONEY DENISE M	ROONEY DENISE M	338 COMMERCIAL ST #101	BOSTON, MA	02109	338 COMMERCIAL ST #101
303538006	ROSS MARK J	ROSS MARK J	338 COMMERCIAL ST #201	BOSTON, MA	02109	338 COMMERCIAL ST #201
303538008	BONZAGNI RICHARD J	BONZAGNI RICHARD J	338 COMMERCIAL ST #301	BOSTON, MA	02109	338 COMMERCIAL ST #301
303538010	PRUDDEN JAMIE	PRUDDEN JAMIE	338 COMMERCIAL ST #401	BOSTON, MA	02109	338 COMMERCIAL ST #401
303538012	BUCOLO RICHARD A II	BUCOLO RICHARD A II	338 COMMERCIAL ST #402	BOSTON, MA	02109	338 COMMERCIAL ST #402
303539000	LONDON ARNOLD	LONDON ARNOLD	334 COMMERCIAL ST	BOSTON, MA	02109	334 336 COMMERCIAL ST
303540000	THREE 28 COMMERCIAL STRE	THREE 28 COMMERCIAL STREET	328 COMMERCIAL	BOSTON, MA	02109	328 326 COMMERCIAL ST
303540002	FDDG-MA LLC	FDDG-MA LLC	326 COMMERCIAL ST	BOSTON, MA	02109	328 326 COMMERCIAL ST #CS3
303540006	REGAN GEORGE K JR	REGAN GEORGE K JR	300 COMMERCIAL ST	BOSTON, MA	02109	341 NORTH ST #CS2
303540010	HARDING ROBERT	HARDING ROBERT	328 COMMERCIAL ST #021	BOSTON, MA	02109	328 326 COMMERCIAL ST #021
303540012	URA MICHELE A	URA MICHELE A	328 COMMERCIAL ST #22	BOSTON, MA	02109	328 326 COMMERCIAL ST #22
303540014	CUTELIS CYNTHE J	CUTELIS CYNTHE J	328 COMMERCIAL ST #23	BOSTON, MA	02109	328 326 COMMERCIAL ST #23
303540016	KATIE WOOLFORD TRUST	KATIE WOOLFORD TRUST	328 COMMERCIAL ST #24	BOSTON, MA	02109	328 326 COMMERCIAL ST #24
303540018	BURKE KEVIN E	BURKE KEVIN E	328 COMMERCIAL ST #25	BOSTON, MA	02109	328 326 COMMERCIAL ST #25
303540020	LAROSA JEAN T	LAROSA JEAN T	510 REVERE BCH BL #102	REVERE, MA	02151	328 326 COMMERCIAL ST #31
303540022	STROZZI DENNIS	STROZZI DENNIS	328 COMMERCIAL ST #32	BOSTON, MA	02109	328 326 COMMERCIAL ST #32
303540024	THOMAS BENJAMIN	THOMAS BENJAMIN	328 COMMERCIAL ST #33	BOSTON, MA	02109	328 326 COMMERCIAL ST #33
303540026	THOMPSON JAMES F	THOMPSON JAMES F	328 COMMERCIAL ST #34	BOSTON, MA	02109	328 326 COMMERCIAL ST #34
303540028	ABELSON CAMILLE	ABELSON CAMILLE	328 COMMERCIAL ST #35	BOSTON, MA	02109	328 326 COMMERCIAL ST #35
303540030	JAMISON SCOTT	JAMISON SCOTT	328 COMMERCIAL ST #41	BOSTON, MA	02109	328 326 COMMERCIAL ST #41
303540032	BENEVIDES JOANNA	BENEVIDES JOANNA	328 COMMERCIAL ST #42	BOSTON, MA	02109	328 326 COMMERCIAL ST #42
303540034	BONITO FRANK	BONITO FRANK	328 COMMERCIAL ST #43	BOSTON, MA	02109	328 326 COMMERCIAL ST #43
303540036	BELLEFATTO LAURA	BELLEFATTO LAURA	328 COMMERCIAL ST #44	BOSTON, MA	02109	328 326 COMMERCIAL ST #44
303540038	CARPENITO FRANCIS P JR	CARPENITO FRANCIS P JR	328 COMMERCIAL ST UNIT #45	BOSTON, MA	02109	328 326 COMMERCIAL ST #45
303540042	PC & Z LLC	PC & Z LLC	50 GREENSWARD RD	MASHPEE, MA	02649	328 326 COMMERCIAL ST #52
303540044	GUNSCH NATHAN D	GUNSCH NATHAN D	328 COMMERCIAL ST #53	BOSTON, MA	02109	328 326 COMMERCIAL ST #53
303540046	KEITH ROBERT P	KEITH ROBERT P	327 CONNOR RD	KENILWORTH, IL	60043	328 326 COMMERCIAL ST #54
303540048	BURNS MARIELLEN C	BURNS MARIELLEN C	328 COMMERCIAL ST #55	BOSTON, MA	02109	328 326 COMMERCIAL ST #55
303543000	MARINER CONDO ASSOCIATI	MARINER CONDO ASSOCIATION	300 COMMERCIAL ST #310	BOSTON, MA	02109	300 COMMERCIAL ST
303543002	MARINER 300 VENTURES LLC	MARINER 300 VENTURES LLC	300 COMMERCIAL ST #C-1	BOSTON, MA	02109	300 COMMERCIAL ST #C-1
303543004	REGAN COMMUNICATIONS C	REGAN COMMUNICATIONS GROU	300 COMMERCIAL	BOSTON, MA	02109	300 COMMERCIAL ST #C-2
303543010	BRUYERE JOHN	BRUYERE JOHN	646 SO MAIN ST #3	DUBOIS PA	15801	300 COMMERCIAL ST #201
303543012	BATES DONNA MANSOLILLI	BATES DONNA MANSOLILLI	25 POND ST #101	AMESBURY, MA	01913	300 COMMERCIAL ST #202
303543014	ABRANO FRANK M	ABRANO FRANK M	8 RUBEN DUREN WAY	BEDFORD, MA	01730	300 COMMERCIAL ST #203
303543016	CHALFEN KAREN A LT	CHALFEN KAREN A LT	300 COMMERCIAL ST #204	BOSTON, MA	02109	300 COMMERCIAL ST #204
303543018	FILARDO MARIO R TS	FILARDO MARIO R TS	20 PARK PLAZA STE 1115	BOSTON, MA	02116	300 COMMERCIAL ST #205
303543020	HATGELAKAS ANGELICA V	HATGELAKAS ANGELICA V	300 COMMERCIAL ST #206	BOSTON, MA	02109	300 COMMERCIAL ST #206
303543022	BONIFACE PETER M TS	BONIFACE PETER M TS	P O BOX 557	E SANDWICH, MA	02537	300 COMMERCIAL ST #207
303543024	HARRIS MICHAEL	HARRIS MICHAEL	PO BOX 1960	WAKEFIELD, MA	01880	300 COMMERCIAL ST #208
303543026	ARMSTRONG LISA M	ARMSTRONG LISA M	300 COMMERCIAL ST #209	BOSTON, MA	02109	300 COMMERCIAL ST #209
303543028	DELUCA JOHN B	DELUCA JOHN B	300 COMMERCIAL ST #0210	BOSTON, MA	02109	300 COMMERCIAL ST #0210
303543030	INTERRANTE ROSELLE A	INTERRANTE ROSELLE A	300 COMMERCIAL ST #0211	BOSTON, MA	02109	300 COMMERCIAL ST #0211
303543032	RUFO GLEN	RUFO GLEN	105 FOURTH ST	PITTSFIELD, MA	01201	300 COMMERCIAL ST #0212
303543034	TOWER ROAD INC	TOWER ROAD INC	7 BULFINCH PL	BOSTON, MA	02114	300 COMMERCIAL ST #0213
303543036	ZAPPALA CYNTHIA C	ZAPPALA CYNTHIA C	6 HUNTER LA	CANTON, MA	02021	300 COMMERCIAL ST #0214
303543038	KAPLAN MARLENE S TS	KAPLAN MARLENE S TS	300 COMMERCIAL ST #0215	BOSTON, MA	02109	300 COMMERCIAL ST #0215
303543040	SBARATTA ROSEMARIE	SBARATTA ROSEMARIE	300 COMMERCIAL ST #0216	BOSTON, MA	02109	300 COMMERCIAL ST #0216
303543042	OLIVEIRA SEAN M	OLIVEIRA SEAN M	300 COMMERCIAL ST UNIT 301	BOSTON, MA	02109	300 COMMERCIAL ST #301
303543044	MATTHEWS NICOLE	MATTHEWS NICOLE	300 COMMERCIAL ST #302	BOSTON, MA	02109	300 COMMERCIAL ST #302

303543046	REHM CYNTHIA A	REHM CYNTHIA A	300 COMMERCIAL ST #303	BOSTON, MA	02109	300 COMMERCIAL ST #303
303543048	CROWE EDWARD	CROWE EDWARD	300 COMMERCIAL ST #304	BOSTON, MA	02109	300 COMMERCIAL ST #304
303543050	TAYLOR CHRISTIE	TAYLOR CHRISTIE	300 COMMERCIAL ST #305	BOSTON, MA	02109	300 COMMERCIAL ST #305
303543052	JOST LLC	JOST LLC	351 POPE RD	CONCORD, MA	01742	300 COMMERCIAL ST #306
303543054	ASHLEY MERRIAGNES M	ASHLEY MERRIAGNES M	300 COMMERCIAL ST #307	BOSTON, MA	02109	300 COMMERCIAL ST #307
303543056	STETS JULIE K	STETS JULIE K	300 COMMERCIAL ST #308	BOSTON, MA	02109	300 COMMERCIAL ST #308
303543058	HENDERSON JEFFERSON S III	HENDERSON JEFFERSON S III	5641 WOODSONG TRL	DUNWOODY, GA		30338 300 COMMERCIAL ST #309
303543060	TRIPP BRIAN	TRIPP BRIAN	300 COMMERCIAL ST #310	BOSTON, MA	02109	300 COMMERCIAL ST #310
303543062	RUSSELL MARK	RUSSELL MARK	300 COMMERCIAL ST #311	BOSTON, MA	02109	300 COMMERCIAL ST #311
303543064	BUONADIES REBECCA C	BUONADIES REBECCA C	300 COMMERCIAL ST #312	BOSTON, MA	02109	300 COMMERCIAL ST #312
303543066	BIELUNIS MICHELLE Z	BIELUNIS MICHELLE Z	300 COMMERCIAL ST #313	BOSTON, MA	02109	300 COMMERCIAL ST #313
303543068	ONG SHIRLEY A	ONG SHIRLEY A	3 MAYFAIR LANE #304	NASHUA, NH	03063	300 COMMERCIAL ST #314
303543070	DIMASI JOSEPH A	DIMASI JOSEPH A	300 COMMERCIAL ST #315	BOSTON, MA	02109	300 COMMERCIAL ST #315
303543072	SWEENEY ANNE B	SWEENEY ANNE B	300 COMMERCIAL ST #316	BOSTON, MA	02109	300 COMMERCIAL ST #316
303543074	GORBERG DANIEL L	GORBERG DANIEL L	300 COMMERCIAL ST #401	BOSTON, MA	02109	300 COMMERCIAL ST #401
303543076	CHIANG KOPHU	CHIANG KOPHU	300 COMMERCIAL ST #402	BOSTON, MA	02109	300 COMMERCIAL ST #402
303543078	SAYLES JOHN	SAYLES JOHN	300 COMMERCIAL ST #403	BOSTON, MA	02109	300 COMMERCIAL ST #403
303543080	SAPIENZA PAUL	SAPIENZA PAUL	300 COMMERCIAL ST #404	BOSTON, MA	02109	300 COMMERCIAL ST #404
303543082	ALUSOW NANCY J	ALUSOW NANCY J	300 COMMERCIAL ST #405	BOSTON, MA	02109	300 COMMERCIAL ST #405
303543084	PHAN ANDREA W H	PHAN ANDREA W H	300 COMMERCIAL ST #406	BOSTON, MA	02109	300 COMMERCIAL ST #406
303543086	MAINI MANDEEP	MAINI MANDEEP	1015 PHILLIPS RD	DELRAY BEACH, FL		33483 300 COMMERCIAL ST #407
303543088	PIERCE ANDREW	PIERCE ANDREW	71 GREEN ST	NEWBURY, MA	01951	300 COMMERCIAL ST #408
303543090	MELIA KEVIN C ETAL	MELIA KEVIN C ETAL	116 SKYLINE DR	ACTON, MA	01720	300 COMMERCIAL ST #409
303543092	PRINN MATTHEW J	PRINN MATTHEW J	300 COMMERCIAL ST #410	BOSTON, MA	02109	300 COMMERCIAL ST #410
303543094	CELUZZA DAVID ETAL	CELUZZA DAVID ETAL	300 COMMERCIAL ST #411	BOSTON, MA	02109	300 COMMERCIAL ST #411
303543096	AVALLON JENNIFER L	AVALLON JENNIFER L	300 COMMERCIAL ST #412	BOSTON, MA	02109	300 COMMERCIAL ST #412
303543098	POTTER KATHERINE E	POTTER KATHERINE E	300 COMMERCIAL ST #413	BOSTON, MA	02109	300 COMMERCIAL ST #413
303543100	STEWART MEREDITH K	STEWART MEREDITH K	300 COMMERCIAL ST #414	BOSTON, MA	02109	300 COMMERCIAL ST #414
303543102	TORTOLANI AUDREY	TORTOLANI AUDREY	300 COMMERCIAL ST #415	BOSTON, MA	02109	300 COMMERCIAL ST #415
303543104	PAPPAS GARY A	PAPPAS GARY A	300 COMMERCIAL ST #416	BOSTON, MA	02109	300 COMMERCIAL ST #416
303543106	LAPUENTE PILAR RUIZ	LAPUENTE PILAR RUIZ	300 COMMERCIAL ST #501	BOSTON, MA	02109	300 COMMERCIAL ST #501
303543108	RKW VENTURES LLC	RKW VENTURES LLC	14 CAMP ST	CAMBRIDGE, MA	02140	300 COMMERCIAL ST #502
303543110	AVALLON JEFF	AVALLON JEFF	300 COMMERCIAL ST #503	BOSTON, MA	02109	300 COMMERCIAL ST #503
303543112	KANE VICTORIA BARTHOLOM	KANE VICTORIA BARTHOLOMEW T	54 DRAPER RD	DOVER MA	02030	300 COMMERCIAL ST #504
303543114	PRIVES LYNNE A	PRIVES LYNNE A	300 COMMERCIAL ST #505	BOSTON, MA	02109	300 COMMERCIAL ST #505
303543116	ODONNELL MICHAEL E	ODONNELL MICHAEL E	36 WINDING BROOK RD	NEWBURY, NH	03255	300 COMMERCIAL ST #506
303543118	OLSZEWSKI JANE I	OLSZEWSKI JANE I	300 COMMERCIAL ST #507	BOSTON, MA	02109	300 COMMERCIAL ST #507
303543120	ONEILL MAUREEN F	ONEILL MAUREEN F	300 COMMERCIAL ST #508	BOSTON, MA	02109	300 COMMERCIAL ST #508
303543122	FEDERICO PHYLLIS M TS	FEDERICO PHYLLIS M TS	300 COMMERCIAL ST #509	BOSTON, MA	02109	300 COMMERCIAL ST #509
303543124	BROWN GEORGE	BROWN GEORGE	300 COMMERCIAL #510	BOSTON, MA	02109	300 COMMERCIAL ST #510
303543126	NOMINEE TRUST SERVICES TS	NOMINEE TRUST SERVICES TS	7 ANNE TERESA WAY	WESTFORD, MA	01886	300 COMMERCIAL ST #511
303543128	300 COMMERCIAL ST REAL	300 COMMERCIAL ST REAL	10 HIGH HAITH ROAD	ARLINGTON, MA	02476	300 COMMERCIAL ST #512
303543130	ROSER SACHIKO	ROSER SACHIKO	300 COMMERCIAL ST #513	BOSTON, MA	02109	300 COMMERCIAL ST #513
303543132	WHITE CHRISTINE K	WHITE CHRISTINE K	32 SOUTHPORT DR	MASHPEE, MA	02649	300 COMMERCIAL ST #514
303543134	CHERUBINI NICOLE A	CHERUBINI NICOLE A	297 HIGH ST	DEDHAM, MA	02026	300 COMMERCIAL ST #601
303543136	CHERUBINI BARBARA TS	CHERUBINI BARBARA TS	297 HIGH ST	DEDHAM, MA	02026	300 COMMERCIAL ST #602
303543138	FALZONE MICHAEL	FALZONE MICHAEL	300 COMMERCIAL ST #603	BOSTON, MA	02109	300 COMMERCIAL ST #603
303543140	KRANTZ ALAN T	KRANTZ ALAN T	300 COMMERCIAL ST #604	BOSTON, MA	02109	300 COMMERCIAL ST #604
303543142	BULLOCK PAUL STEPHEN	BULLOCK PAUL STEPHEN	300 COMMERCIAL ST #605	BOSTON, MA	02109	300 COMMERCIAL ST #605
303543144	TIGHE JOHN F TS	TIGHE JOHN F TS	36 FOXCROFT RD	WINCHESTER, MA	01890	300 COMMERCIAL ST #606
303543146	WILLIAM R THOMPSON AND	WILLIAM R THOMPSON AND	1733 WATERLEAF DR	SEWICKLEY, PA		15143 300 COMMERCIAL ST #607

303543148	BUCKLAND ARTHUR R	BUCKLAND ARTHUR R	343 COMMERCIAL ST #103	BOSTON, MA	02109	300 COMMERCIAL ST #608
303543150	ALLEGRONE LOUIS E	ALLEGRONE LOUIS E	300 COMMERCIAL ST #609	BOSTON, MA	02109	300 COMMERCIAL ST #609
303543152	ALLEGRONE LOUIS	ALLEGRONE LOUIS	300 COMMERCIAL ST UNIT 610	BOSTON, MA	02109	300 COMMERCIAL ST #610
303543154	SAADE JACQUES A	SAADE JACQUES A	PO BOX 15303	BOSTON, MA	2'0215	300 COMMERCIAL ST #611
303543156	SCHILKE KARYN L	SCHILKE KARYN L	P O BOX 81	NO.MARSHFIELD, MA	02059	300 COMMERCIAL ST #612
303543158	RE JAMES B	RE JAMES B	300 COMMERCIAL ST #613	BOSTON, MA	02109	300 COMMERCIAL ST #613
303543160	WONG SENTA L	WONG SENTA L	300 COMMERCIAL ST #701	BOSTON, MA	02109	300 COMMERCIAL ST #701
303543162	DIGREGORIO MARC F	DIGREGORIO MARC F	300 COMMERCIAL ST #702	BOSTON, MA	02109	300 COMMERCIAL ST #702
303543164	SAIA COMMERCIAL STREET TR	SAIA COMMERCIAL STREET TRUST	4 ELIZABETH WAY	LYNNFIELD, MA	01940	300 COMMERCIAL ST #703
303543166	CFM TEK REALTY TRUST	CFM TEK REALTY TRUST	300 COMMERCIAL ST #704	BOSTON, MA	02109	300 COMMERCIAL ST #704
303543168	MARABITO JOSEPH V III TS	MARABITO JOSEPH V III TS	300 COMMERCIAL ST # 701	BOSTON, MA	02109	300 COMMERCIAL ST #705
303543170	CRAVEN MARGARET E	CRAVEN MARGARET E	300 COMMERCIAL ST #706	BOSTON, MA	02109	300 COMMERCIAL ST #706
303543172	FORISH JASON T	FORISH JASON T	56 WINTHROP STREET	CHARLESTOWN, MA	02129	300 COMMERCIAL ST #707
303543174	STAHL ELLEN	STAHL ELLEN	300 COMMERCIAL ST #708	BOSTON, MA	02109	300 COMMERCIAL ST #708
303543176	CALHOUN WILLIAM	CALHOUN WILLIAM	P O BOX 752	HINGHAM, MA	02043	300 COMMERCIAL ST #709
303543178	LAM YUN KIT	LAM YUN KIT	300 COMMERCIAL ST #710	BOSTON, MA	02109	300 COMMERCIAL ST #710
303543180	OLIVEIRA SEAN M	OLIVEIRA SEAN M	300 COMMERCIAL ST #801	BOSTON, MA	02109	300 COMMERCIAL ST #801
303543182	POWELL MARY JANE TS	POWELL MARY JANE TS	31 CHEEVER CIRCLE	ANDOVER, MA	01810	300 COMMERCIAL ST #802
303543184	POWELL MARY JANE	POWELL MARY JANE	300 COMMERCIAL ST #803	BOSTON, MA	02109	300 COMMERCIAL ST #803
303543186	M VORLICEK ASSOCIATES LLC	M VORLICEK ASSOCIATES LLC	5 FIELDMONT RD	BELMONT, MA	02478	300 COMMERCIAL ST #804
303543188	HUBBARD JOHN A	HUBBARD JOHN A	300 COMMERCIAL ST #805	BOSTON, MA	02109	300 COMMERCIAL ST #805
303543190	BERARDINELLI NICOLINO TS	BERARDINELLI NICOLINO TS	10 DIBENEDETTO DR	WESTON, MA	02493	300 COMMERCIAL ST #806
303543192	DENENBERG FAMILY REVOCA	DENENBERG FAMILY REVOCABLE	300 COMMERCIAL ST #807	BOSTON, MA	02109	300 COMMERCIAL ST #807
303543194	OLIVEIRA DUARTE N	OLIVEIRA DUARTE N	300 COMMERCIAL ST #808	BOSTON, MA	02109	300 COMMERCIAL ST #808
303543196	SERGI ADELIN TS	SERGI ADELIN TS	PO BOX 634	N CHELMSFORD, MA	01863	300 COMMERCIAL ST #809
303543198	SERGI ADELIN TS	SERGI ADELIN TS	PO BOX 634	N CHELMSFORD, MA	01863	300 COMMERCIAL ST #810
303543200	BERNERT MICHAEL J	BERNERT MICHAEL J	13 CANTERBURY RD	WINDHAM, NH	03087	300 COMMERCIAL ST #901
303543202	MANNING ROBERT	MANNING ROBERT	300 COMMERCIAL ST #902	BOSTON, MA	02109	300 COMMERCIAL ST #902
303543204	WATSON KEITH	WATSON KEITH	300 COMMERCIAL ST #903	BOSTON, MA	02109	300 COMMERCIAL ST #903
303543206	NEWFOUND STARR LLC	NEWFOUND STARR LLC	PO BOX 343 43 PICKERING LANE	HEBRON, NH	03241	300 COMMERCIAL ST #904
303543208	TALBOT ELISABETH L TS	TALBOT ELISABETH L TS	300 COMMERCIAL ST #905	BOSTON, MA	02109	300 COMMERCIAL ST #905
303543210	PETRACCA DEAN S	PETRACCA DEAN S	300 COMMERCIAL ST #906	BOSTON, MA	02109	300 COMMERCIAL ST #906
303543212	BOSTON, MARINER REALTY LI	BOSTON, MARINER REALTY LLC	90 BAY STATE RD	WAKEFIELD, MA	01880	300 COMMERCIAL ST #1001
303543214	BOYLAN JEANNE MARIE	BOYLAN JEANNE MARIE	300 COMMERCIAL ST #1002	BOSTON, MA	02109	300 COMMERCIAL ST #1002
303543216	BOTHWELL ROBERT J	BOTHWELL ROBERT J	41 SPARJAWK PATH	MARSHFIELD, MA	02050	300 COMMERCIAL ST #1003
303543218	REGAN GEORGE K JR	REGAN GEORGE K JR	106 UNION WHARF	BOSTON, MA	02109	300 COMMERCIAL ST #1004



GIS FILE PATH: \\haleyaldrich.com\share\bos\_common\12132\GIS\Maps\2019\_10\12132\_033\_0001\_PROJECT\_LOCUS.mxd — USER: hwacholz — LAST SAVED: 10/3/2019 4:31:32 PM



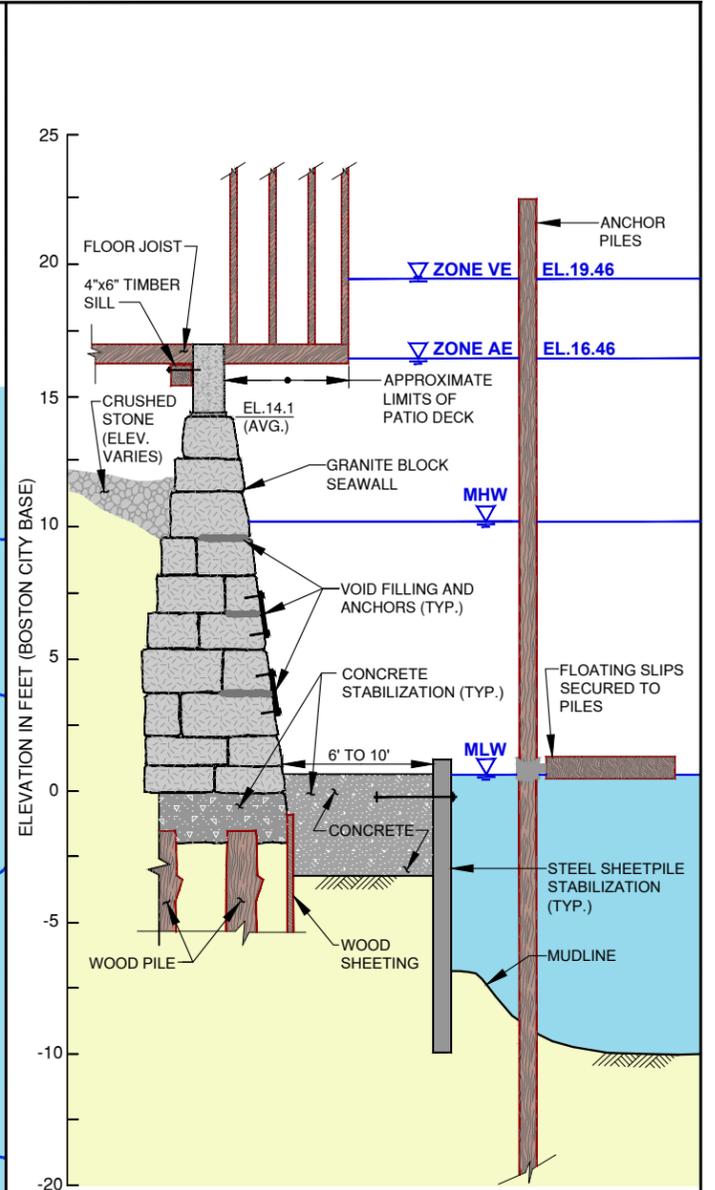
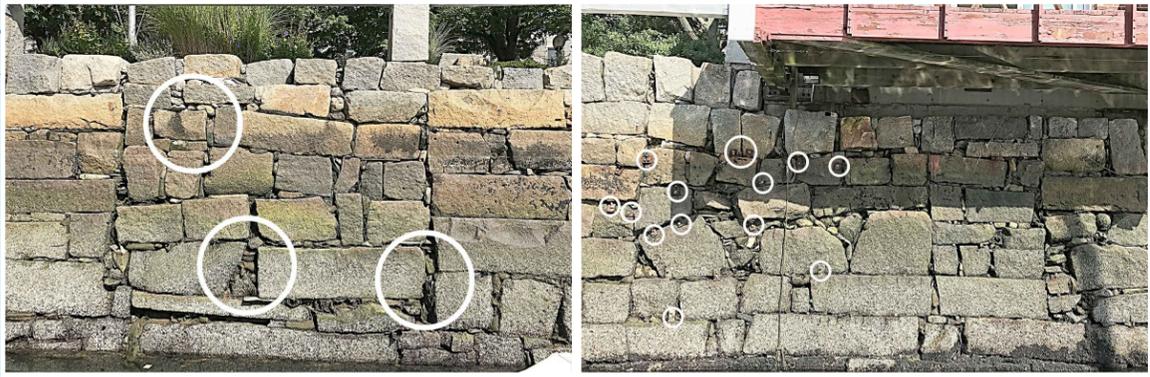
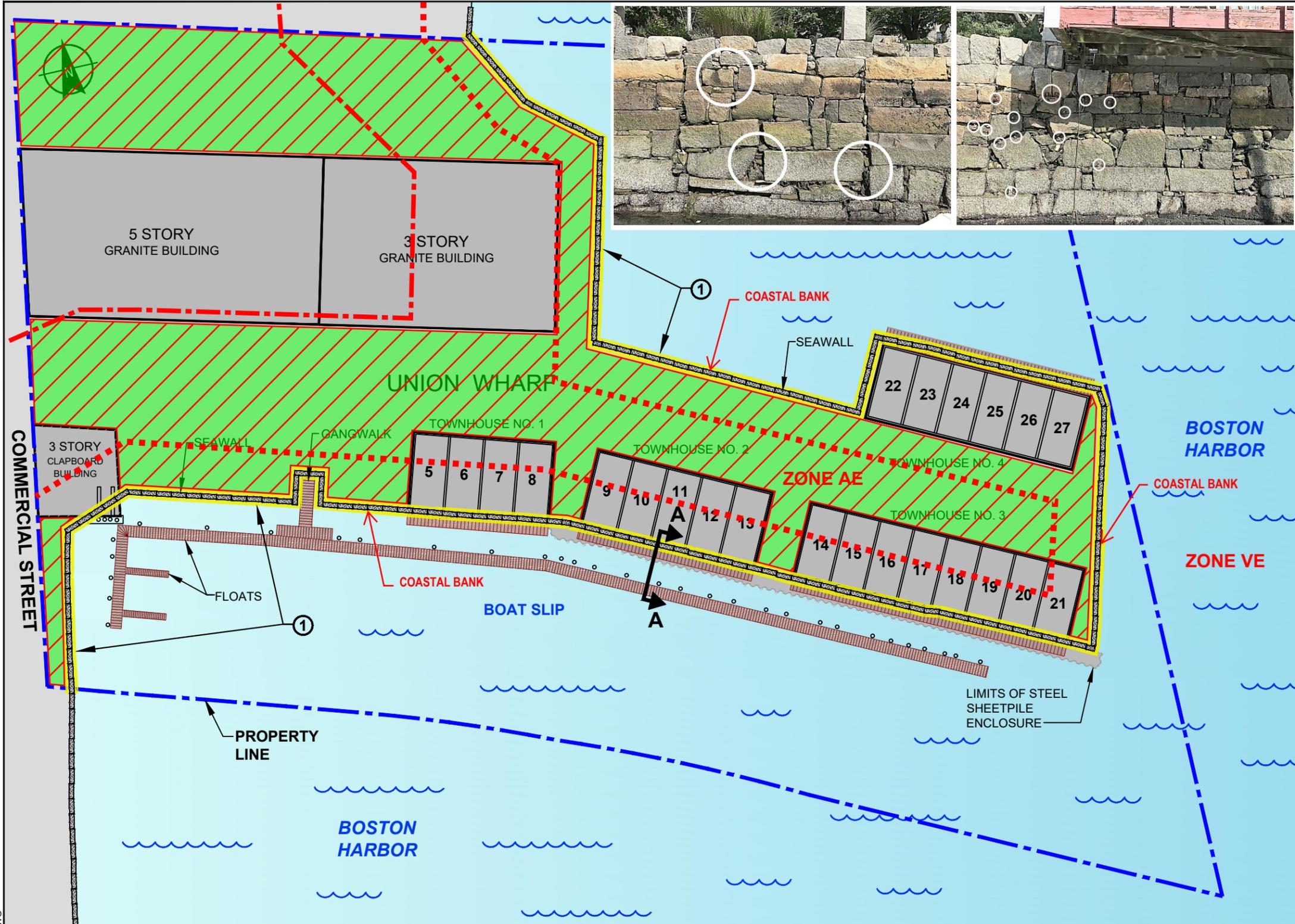
MAP SOURCE: ESRI  
 SITE COORDINATES: 42°21'05"N, 71°2'59"W

**HALEY  
 ALDRICH**  
 UNION WHARF  
 343 COMMERCIAL STREET  
 BOSTON, MASSACHUSETTS

**PROJECT LOCUS**

APPROXIMATE SCALE: 1 IN = 2000 FT.  
 NOVEMBER 2019

**FIGURE 1**



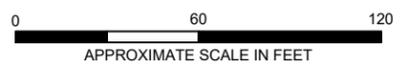
TYPICAL SECTION A-A OF SEAWALL  
SCALE: AS SHOWN



- LEGEND**
- ① ANNUAL SEAWALL MAINTENANCE INCLUDES INSPECTIONS, VOID FILLING AND STABILIZATION
  - INTERPRETED LIMITS OF LAND SUBJECT TO COASTAL STORM FLOWAGE - AE AND VE ZONES
  - INTERPRETED 100-FT BUFFER TO COASTAL BANK
  - INTERPRETED LIMIT OF MODERATE WAVE ACTION

**NOTE**

1. PLAN REFERENCED FROM DRAWING ENTITLED "TOWNHOUSE LOCATION DWG, UNION WHARF", BY MORITZ BERGMAYER ASSOCIATES INC., MAY 1978, AND "PLAN OF LAND, UNION WHARF CONDOMINIUMS, BOSTON, MA", BY HARRY R. FELDMAN, INC., NOVEMBER 1978.



**HALEY ALDRICH** UNION WHARF  
343 COMMERCIAL STREET  
BOSTON, MASSACHUSETTS

**LIMITS OF SEAWALL MAINTENANCE**

SCALE: AS SHOWN  
NOVEMBER 2019

FIGURE 2

# National Flood Hazard Layer FIRMette



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth
OTHER AREAS OF FLOOD HAZARD		Regulatory Floodway Zone AE, AO, AH, VE, AR
		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
OTHER AREAS OF FLOOD HAZARD		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
OTHER FEATURES		Coastal Transect
		Base Flood Elevation Line (BFE)
OTHER FEATURES		Limit of Study
		Jurisdiction Boundary
OTHER FEATURES		Coastal Transect Baseline
		Profile Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
MAP PANELS		Unmapped

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The base map shown complies with FEMA's base map accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/18/2018 at 4:13:23 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: base map imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

MOLENEY, TERRI Printed: 10/25/2019 8:54 AM Layout: B038 J:\GPHICS\12132\12132-033-B038.DWG

**HALEY ALDRICH**  
UNION WHARF  
343 COMMERCIAL STREET  
BOSTON, MASSACHUSETTS

FIRM MAP

SCALE: AS SHOWN  
NOVEMBER 2019

FIGURE 3

## **Appendix A**

Order of Conditions (DEP File No. 006-764, May 1998) with Details of Typical Seawall Stabilization Activities Undertaken at Union Wharf in 1998 and 2000

MAY-19-1998 16:35

CITY OF BOSTON

617 635 2970 P.01

Fax to: Jason Cortell From: Ken Fields	
Co.: Cortell Assoc.	Boston Conservation Commission
Fax: 890-3430	635-3435
	Phone 635-4417

310 CMR 10.99

DEP File No 6-764

(To be provided by DEP)

Form 5

Commonwealth  
of Massachusetts

City/Town Boston

Applicant Union Wharf Condominium Trust

Order of Conditions Massachusetts  
Wetlands Protection Act  
G.L. c. 131, s. 40

From Boston Conservation Commission (BCC) Issuing Authority

To Union Wharf Condominium Trust  
(Name of Applicant)

Union Wharf Condominium Trust  
(Name of property owner)

Address 343 Commercial Street, Boston, MA 02109 Address 343 Commercial Street, Boston, MA 02109

This order is issued and delivered as follows:

by hand delivery to applicant or representative on \_\_\_\_\_ (date)

by certified mail, return receipt requested on \_\_\_\_\_ (date)

This project is located Union Wharf, Boston Harbor

The property is recorded at the Registry of Suffolk

Book \_\_\_\_\_ Page \_\_\_\_\_

Certificate (if registered) \_\_\_\_\_

The Notice of Intent for this project was filed on 4/24/98 (date)

The public hearing was closed on 5/6/98 (date)

Findings

The BCC has reviewed the above - referenced Notice of Intent and plans and has held a public hearing on the project. Based on the information available to the BCC at this time, the BCC has determined that the area on which the proposed work is to be done is significant to the following interests in accordance with the Presumptions of Significance set forth in the regulations for each Area Subject to Protection Under the Act (check as appropriate):

MAY-19-1998 16:35

CITY OF BOSTON

617 635 2970 P. 02

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Public water supply  | <input type="checkbox"/> Flood Control           | <input type="checkbox"/> Land containing shellfish      |
| <input type="checkbox"/> Private water supply | <input type="checkbox"/> Storm damage prevention | <input type="checkbox"/> Fisheries                      |
| <input type="checkbox"/> Ground Water supply  | <input type="checkbox"/> Prevention of pollution | <input type="checkbox"/> Protection of Wildlife Habitat |

Total Filing Fee Submitted \$260.00 State Share \$117.50  
 (1/2 fee in excess of \$25)

City/Town Share \$142.50  
 Total Refund Due \$ \_\_\_\_\_ City/Town Portion \$ \_\_\_\_\_ State Portion \$ \_\_\_\_\_  
 (1/2 total) (1/2 Total)

Therefore, the BCC hereby finds that the following conditions are necessary, in accordance with the Performance standards set forth in the regulations, to protect those interests checked above. The BCC orders that all work shall be performed in accordance with said conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications or other proposals submitted with the Notice of Intent, the conditions shall control.

**General Conditions**

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this order.
2. The order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state or local statutes, ordinances, by-laws or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this order unless either of the following apply:
  - (a) the work is a maintenance dredging project as provided for in the Act, or
  - (b) the time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance and both that date and the special circumstances warranting the extended time period are set forth in this Order.
5. This order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order.
6. Any fill used in connection with this project shall be clean fill, containing no trash, refuse, rubbish or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles or parts of any of the foregoing.
7. No work shall be undertaken until all administrative appeal periods from this order have elapsed or, if such an appeal has been filed, until all proceedings before the Department have been completed.
8. No work shall be undertaken until the Final order has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of registered land, the Final order shall also be noted on the Land Court Certificate of Title

of the owner of the land upon which the proposed work is to be done. The recording information shall be submitted to the BCC on the form at the end of this order prior to commencement of the work.

- 9. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words, "Massachusetts Department of Environmental Protection, File Number 6- "
- 10. Where the Department of Environmental Protection is requested to make a determination and to issue a superseding order, the Conservation Commission shall be a party to all agency proceedings and hearings before the Department.
- 11. Upon completion of the work described herein, the applicant shall forthwith request in writing that a Certificate of Compliance be issued stating that the work has been satisfactorily completed.

12. The work shall conform to the following plans and special conditions:

**Plans:**

Title	Dated	Signed and stamped by:	on File with:
_____	_____	_____	<u>BCC Suffolk</u>
_____	_____	_____	<u>County Registry</u>
_____	_____	_____	<u>of Deeds</u>
_____	_____	_____	_____

**Special Conditions (Use additional paper if necessary)**

**See Attached.**

**(Leave Space Blank)**



Detach on dotted line and submit to the \_\_\_\_\_ prior to commencement of work.

To Boston Conservation Commission Issuing Authority

Please be advised that the Order of Conditions for the project at \_\_\_\_\_

File Number \_\_\_\_\_ has been recorded at the Registry of \_\_\_\_\_ and

has been noted in the chain of title of the affected property in accordance with General Condition 8 on

\_\_\_\_\_, 19\_\_\_\_\_.

If recorded land, the instrument number which identifies this transaction is \_\_\_\_\_

If registered land, the document number which identifies this transaction is \_\_\_\_\_

Signature \_\_\_\_\_ Applicant

Attachment A- Special Conditions (Union Wharf Condominium Trust - Repair of Seawall, Union Wharf)  
Page 1 of 2.

13. The provisions of this Order shall apply to and be binding upon the applicant, its employees, contractors and subcontractors, and all successors and assignees in interest or control. The applicant and its leaseholder assume all responsibility for the proper conduct of all activities permitted including proper monitoring of any contractors' compliance with the Conditions of this Order. The proponent is hereby instructed to review such conditions with all contractors and workers involved in on site operations prior to any new construction. Any contractors and workers arriving after construction commences shall likewise be appraised of these conditions.

14. Members and agents of the Commission shall have the right to access and inspect the work area to evaluate compliance with the Conditions of this Order and the Act, and to require the submittal of any data deemed necessary for that evaluation.

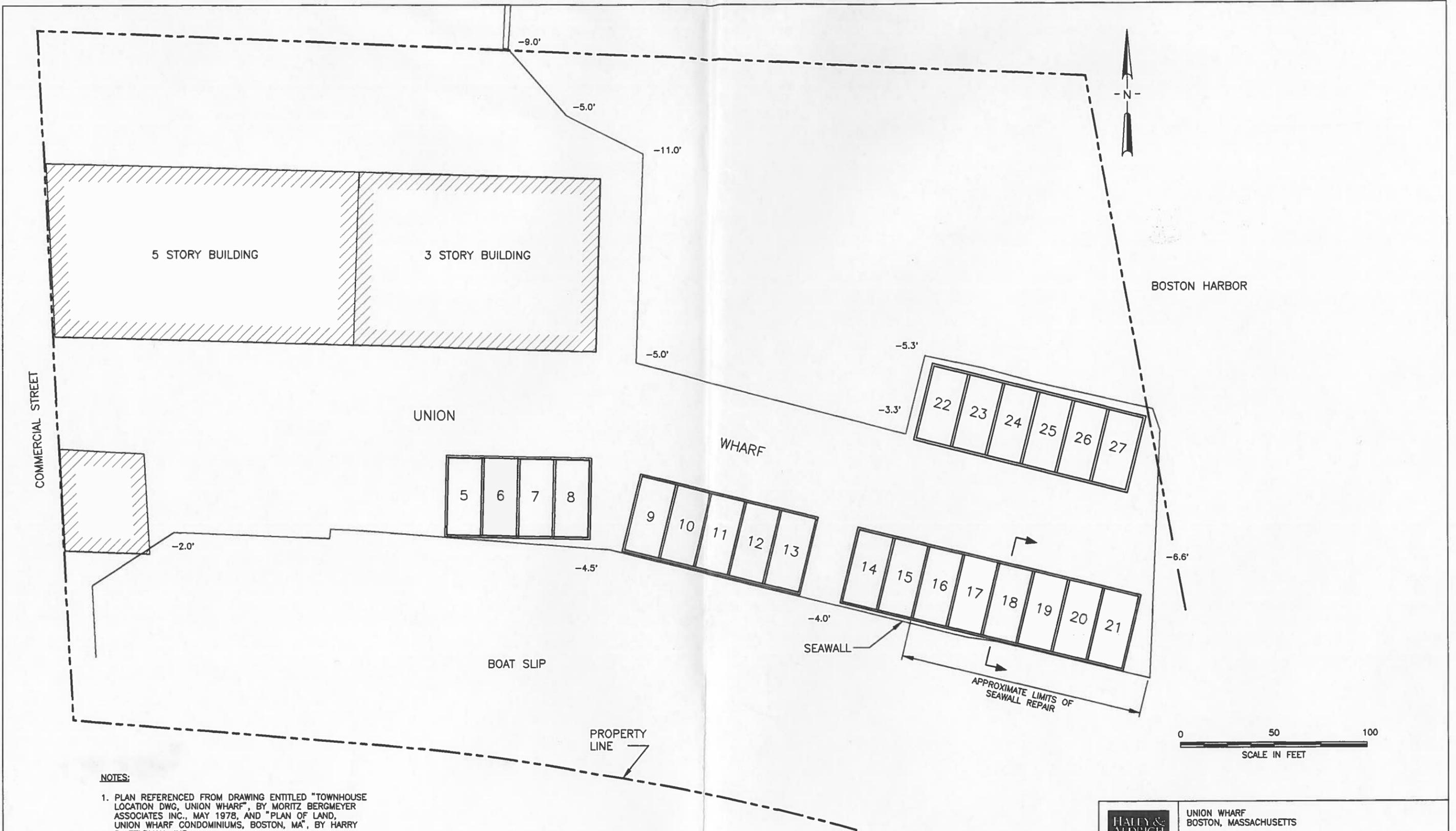
15. The proponent shall attach a copy of this Order to the contract documents associated with this project.

16. Any changes made or intended in the submitted plans shall require the proponent to inquire to the Commission in writing as to whether the changes warrant further formal Commission review. Any errors in the plans or information submitted by the applicant shall be considered changes.

17. If at any time during the implementation of the project a fish kill or significant water quality problem occurs in the vicinity of the project, all site related activities impacting the water shall cease until the source of the problem is identified and adequate mitigating measures employed to the satisfaction of the Commission.

18. Where relevant, all facilities and equipment will be continually operated and maintained so as to comply with the conditions and the Act. The applicant, owner successor or assignees shall be responsible for maintaining all on site drainage structures and outfalls, assuring the lasting integrity of the surface cover on the site and site activities so as to prevent erosion, siltation, sedimentation, chemical contamination or other detrimental impact to the on-site and/or off-site resources areas. This condition shall be a maintenance condition, and shall not expire upon the issuance of a certificate of compliance.
19. A copy of this Order of Conditions, including all referenced documents and plans, and all other subsequent approvals and directives issued by the Boston Conservation Commission, shall be available for inspection at the work area.
20. The Commission reserves the right to impose additional conditions or require the submittal of additional information as necessary to protect the interests of the Act.
21. Any equipment used in the resource area or buffer zone that uses fuel, oil or hydraulic fluid shall be inspected daily for leakage. All such equipment shall be manned when in use. Any equipment requiring repair shall be repaired outside of the resource area and the buffer zone.
22. The proponent and contractor shall develop a spill management plan for any hazardous materials which may be employed during work in the buffer zone or over the water. Specifically, the proponent should prepare to effectively deal with spillage of fuel or hydraulic fluids from equipment. A quick-absorbent material, such as "Speedy Dry" or equivalent, will be stored in a dry readily available area, and used in the event petroleum based fluids are spilled or leaked. The spent material is then to be containerized and disposed of properly. An emergency fuel boom or absorbent pads shall be readily available in case any such spill threatens the water resources.
- Attachment A- Special Conditions (Union Wharf Condominium Trust - Repair of Seawall, Union Wharf)  
Page 2 of 2.
23. The proponent shall clean the work area and or barge deck at the end of each workday to prevent wind deposition of fugitive dust and accumulation of debris in the buffer zone or in the water.
24. The applicant shall inform the Commission of any violation of this Order and any other project related spill or accident that may have impact on wetland resource areas, and take appropriate action to mitigate impacts from such spill or accident.
25. The proponent has committed to submit a public access plan no later than August 19, 1998.
26. Prior to initiating any work on the seawall the contractor shall deploy a silt curtain which shall remain and be maintained throughout the project. There shall be sufficient slack in the curtain to allow its movement during the ebb and flow of the tide. The curtain shall not extend more than two (2) feet above the bottom at high tide.
27. Opening of the curtain for the movement of work boats, barges and/or construction equipment shall be restricted to the period between low slack and high slack tides. The curtain cannot be opened (except for emergencies) on the ebb tide cycle. Prior to opening the curtain the contractor shall remove and properly dispose any floating debris in the project work area.

12132-000 B02



**NOTES:**

1. PLAN REFERENCED FROM DRAWING ENTITLED "TOWNHOUSE LOCATION DWG, UNION WHARF", BY MORITZ BERGMAYER ASSOCIATES INC, MAY 1978, AND "PLAN OF LAND, UNION WHARF CONDOMINIUMS, BOSTON, MA", BY HARRY R. FELDMAN, INC.
2. ELEVATIONS ARE REFERENCED TO MEAN LOW WATER DATUM = EL.0.0'.
3. SEE ATTACHED SECTION

 HALLY & ALDRICH UNDERGROUND ENGINEERING & ENVIRONMENTAL SOLUTIONS	UNION WHARF BOSTON, MASSACHUSETTS
	<b>SITE PLAN</b> SCALE: AS SHOWN

MARCH 1998

**FIGURE 1**



HALEY & ALDRICH, INC.

### CALCULATIONS

File No. 12/32-000

Sheet - of -

Client UNION WHARF ASSOCIATION

Date 10/31/97

Project UNION WHARF SEAWALL

Computed By KJ.

Subject

Checked By [Signature]

## BASE CONTRACT - Sketch of REPAIR WORK

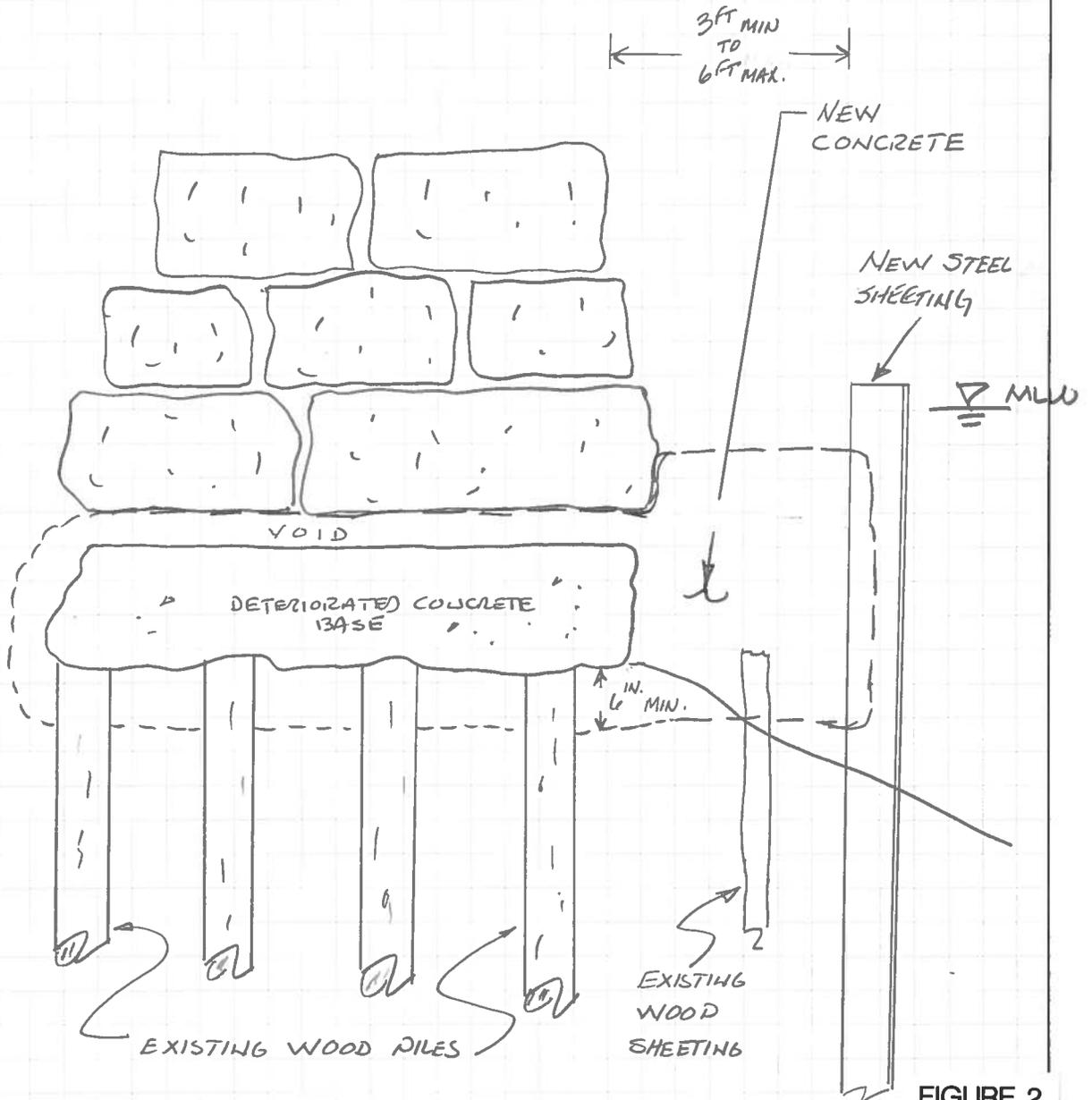


FIGURE 2

Client UNION WHARF CONDOMINIUM ASSOCIATION

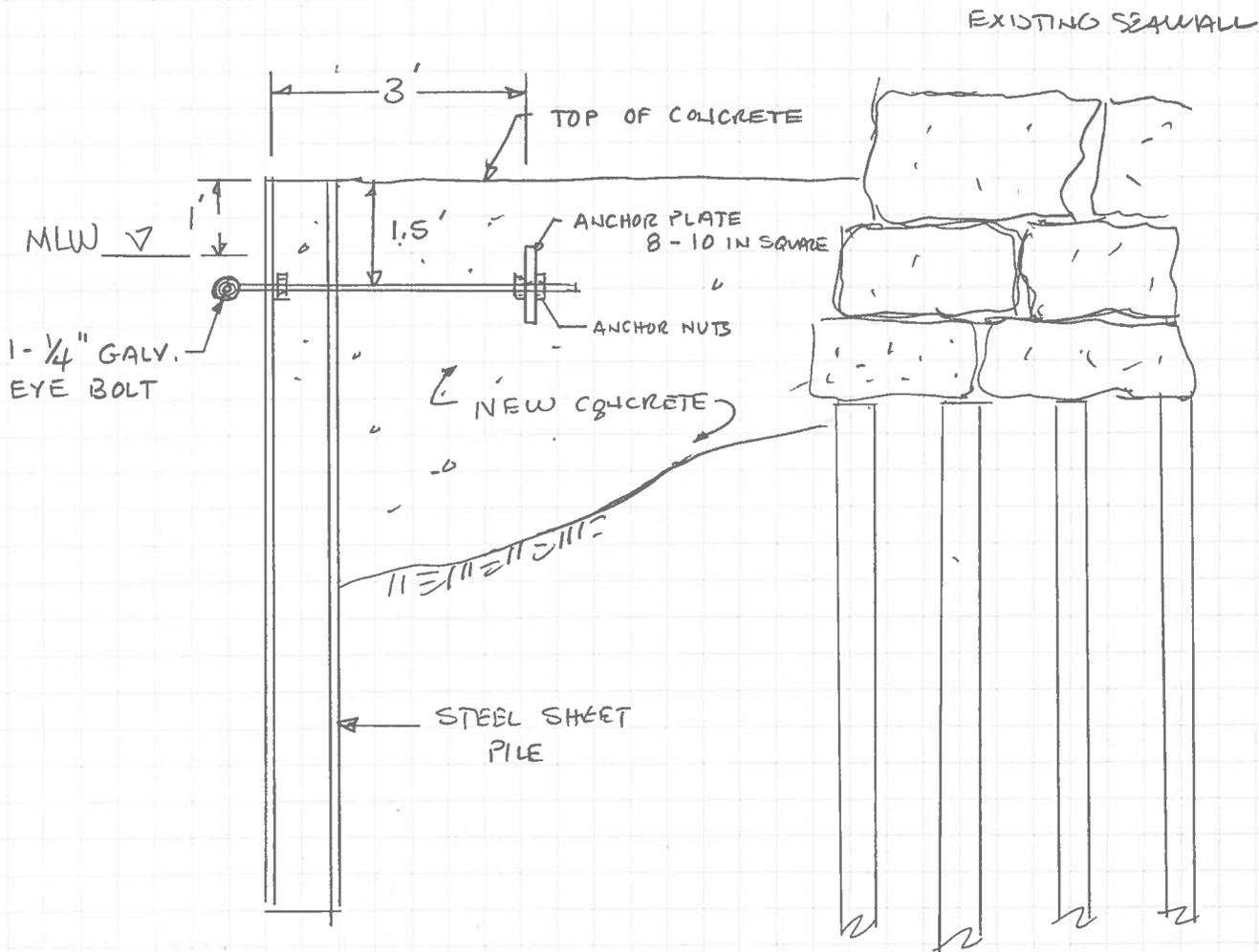
Date 6-29-98

Project UNION WHARF

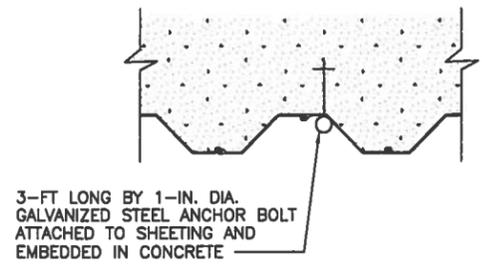
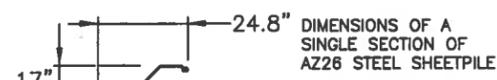
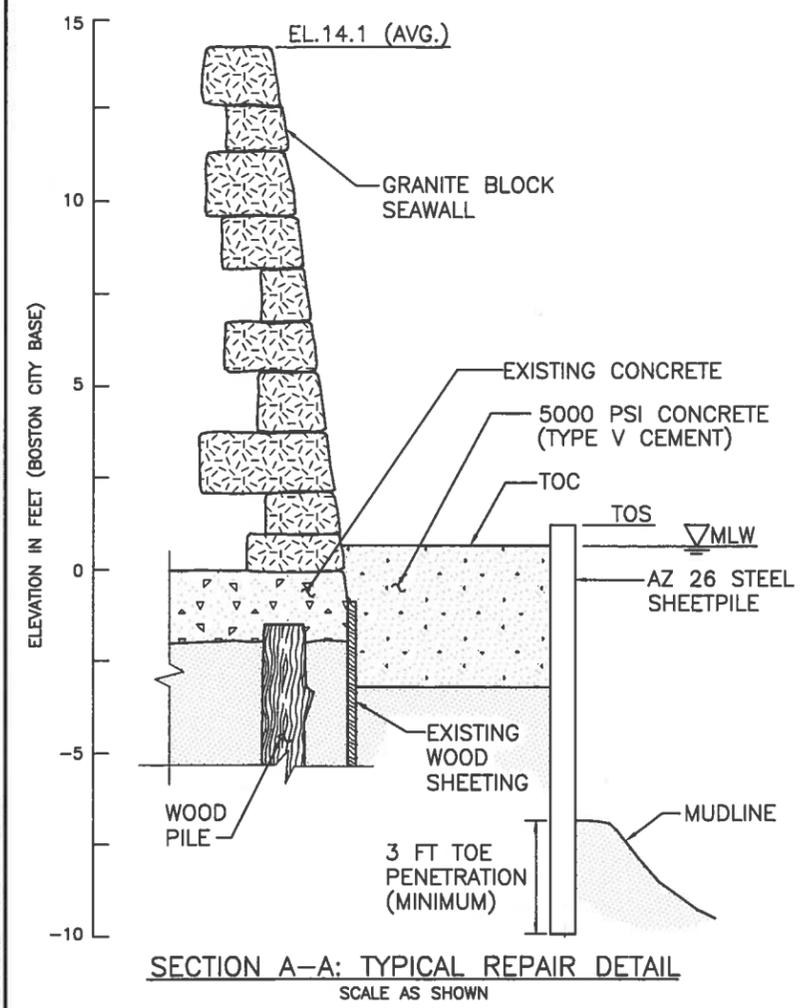
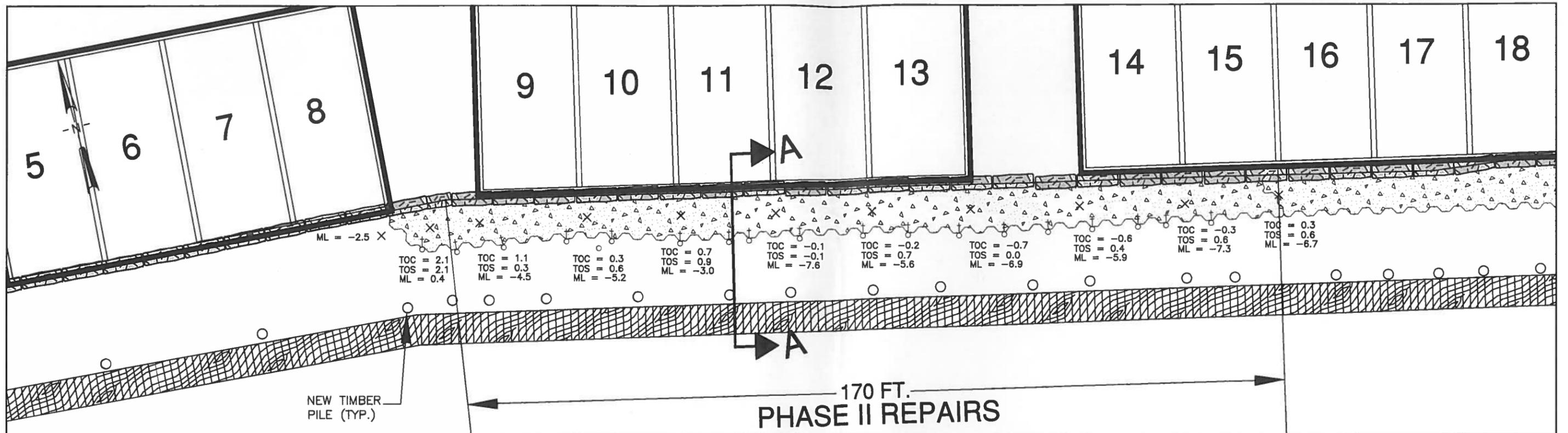
Computed By [Signature]

Subject

Checked By [Signature]



NOTE: BOLTS ARE INTENDED FOR TIEOFF OF FLOATING DOCKS ONLY.

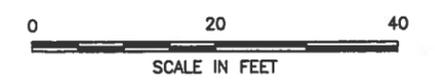


**LEGEND:**

- X LOCATION OF SURVEY MEASUREMENT
- TOC=0.4 ELEVATION TOP OF CONCRETE BASE
- TOS=1.1 ELEVATION TOP OF STEEL SHEETPILE ENCLOSURE
- ML=-5.6 DEPTH OF MUDLINE OUTSIDE OF STEEL SHEETPILE ENCLOSURE

**NOTES:**

1. PLAN REFERENCED FROM DRAWING ENTITLED TOWNHOUSE LOCATION DWG., UNION WHARF; BY MORITZ BERGMAYER ASSOCIATES INC., MAY 1978, AND "PLAN OF LAND, UNION WHARF CONDOMINIUMS, BOSTON, MA", BY HARRY R. FELDMAN, INC.
2. ELEVATIONS REFER TO BOSTON CITY BASE DATUM.
3. AVERAGE TOP OF SEAWALL ESTIMATED AT EL.14.1. AVERAGE BOTTOM OF SEAWALL ESTIMATED AT EL.0.



<p>HALLY &amp; ALDRICH</p> <p>UNDERGROUND ENGINEERING &amp; ENVIRONMENTAL SOLUTIONS</p>	<p>UNION WHARF SEAWALL REHABILITATION</p> <p>343 COMMERCIAL STREET</p> <p>BOSTON, MASSACHUSETTS</p>
	<p>PHASE II REPAIRS - AS-BUILT</p> <p>SCALE: AS SHOWN</p> <p>JULY 2000</p>

12132-031 B07

FIGURE 2

## **Appendix B**

Structural Details of Typical Mat Foundation, Strap Foundation and Micropile Stabilization  
Activities Previously Completed at Union Wharf in 2009, 2011 and 2014









**GENERAL NOTES:**

- 1.- All work shall conform to the requirements of the State Building Code of the Commonwealth of Massachusetts, 8th edition, and referenced sections of the 2009 International Building Code (IBC)
- 2.- Coordinate with Haley & Aldrich foundation improvement plan drawings for project location and geotechnical information including observations and investigations.
- 3.- The Contractor shall verify all dimensions and conditions in the field prior to commencing work. Where dimensions and elevations of existing construction could affect the new construction, it is the Contractor's responsibility to make field measurements in time for their incorporation in the Shop Drawings. The Architect and Engineer shall be notified of any discrepancies that may exist.
- 4.- See architectural drawings for floor elevations, slopes, and locations of depressed floor areas. The Contractor shall compare the structural drawings with the architectural drawings and report any discrepancy to the Architect and Engineer prior to construction.
- 5.- Furnish and place all supports, temporary and permanent, whether shoring, bracing, needling, underpinning, or sheet piling, necessary to brace existing walls or framing to remain, so that no horizontal or vertical settlement occurs to the existing structures. Temporary supports shall be maintained in place until permanent supports are installed. Design of these supports shall be by a registered engineer in the employ of the Contractor.
- 6.- Alternate connection details may be approved if such details are submitted to the Engineer for review and acceptance is granted. However, the Engineer shall be the sole judge of acceptability and the Contractor's bid shall anticipate the use of those specific details shown on the drawings. The Contractor shall retain a registered Structural Engineer to be responsible for the design of any alternate details which he proposes.
- 7.- The Contractor shall be completely responsible for the safety of adjacent structures, property, his workmen, and the public, as affected by the construction of this project.
- 8.- All Contractors are required to examine the drawings and specifications carefully, visit the site and fully inform themselves as to all existing conditions and limitations, prior to agreeing to perform the work. Failure to visit the site and familiarize themselves with the existing conditions and limitations will in no way relieve the Contractor from furnishing any materials or performing any work in accordance with drawings and specifications without additional cost to the Owner.
- 9.- Structural drawings may represent construction with a reference scale. Due to the inherent process of drawing development and presentation not all work may be shown "exact" in that scale. Do not "scale" drawings to obtain any missing information or to interpret any information not specifically dimensioned for "exact" detailing or construction purposes.
- 10.- Provide openings in the existing concrete foundation walls where necessary to accomplish foundation improvement work. Openings, if made, shall not cut through top and bottom wall reinforcing, and shall be temporarily shored where necessary.
- 11.- Provide temporary sheeting, shoring and bracing of excavations as necessary to perform foundation work, in accordance with OSHA requirements and other applicable regulations.
- 12.- Comply with ACI recommendations for all rebar installations and for all dowels and embedment lengths, lap splices and development lengths.
- 13.- Adhesive grout system for drilled dowels shall be the Simpson AT-XP Anchoring Adhesive System, or approved equivalent, using deformed epoxy protected rebar dowels.

**CONCRETE:**

- 1.- All concrete work shall conform to the LATEST edition of the ACI Building Code Requirements for Reinforced Concrete (ACI 318) and the Commonwealth of Massachusetts State Building Code. In case of conflict, the State Building Code shall govern.
- 2.- All concrete shall be controlled concrete, mixed and placed under the super-vision of an approved concrete testing agency.
- 3.- Concrete for new mat slabs and grade beams shall be 5,000 psi 28-day strength Type II sulphate resistant concrete. Use lightweight aggregates per ASTM C330 for maximum 115 PCF lightweight concrete at mat slabs. Use normal weight aggregates per ASTM C33 for 145 PCF normal weight concrete at grade beams.

**REINFORCING:**

- 1.- All concrete reinforcing bars shall conform to ASTM A615, Grade 60, deformed bars, except where noted. All reinforcing bars to be welded shall conform to ASTM A706. Reinforcing bars may not be welded without prior approval of the Structural Engineer. All rebar shall be epoxy protected per ASTM A775.
- 2.- All welded wire fabric (W.W.F.) shall conform to ASTM 185.(Fy=65 KSI min.) W.W.F. shall be provided in flat sheets. The following W.W.F. shall be used: W.W.F. 6x6, W2.9xW2.9. W.W.F. shall be epoxy protected.

**DRILLED PILES:**

- 1.- Drilled mini-piles shall be 9 5/8" outside diameter steel pipe cased concrete filled piles-(see geotechnical information for pile specifications and special detailing.) Piles shall extend through the fill and organic material and into the underlying embedment stratum(naturally deposited inorganic clay) a minimum of 22'-0" below the bottom of the permanent steel casing for a total approximate length of 60'-0" from existing grades for the 40k piles, and a minimum of 27' and approximate 65'-0" length for the 50k piles. See plans for pile spacing.

Design pile capacities shall be as follows:  
 9 5/8" diameter = 40 kips  
 9 3/4" diameter = 50 kips, where shown.

- 2.- Design of piles, grade beams and mat slabs assumes support to the existing 8" wide concrete grade beams at the rear of the units on the existing granite seawalls. Previous foundation repair work drawings indicate 8" grade beam and a portion of the ends of the cantilevered party wall foundations were grouted solid to the granite seawall. Condition to be field verified for compliance with foundation improvement design intent. If conditions are found to be contrary to design intent, revisions shall be made to pile layouts and grade beams to accommodate.

**INSPECTION - CONCRETE**

- 1.- Concrete inspection and testing will be made in accordance with building code requirements, and Contract Documents, and will include the following:
  - a. Testing concrete for strength, slump, air content, temperature, and unit weight.
  - b. Marking and testing concrete cylinders, including furnishing cylinder containers for specimens.
  - c. Transporting and storing of all specimens involved in testing and inspection. Test cylinders are to be transported to laboratory not later than 24 hours after casting, not earlier than 16 hours after casting.
  - d. Inspection of mixing and placing of concrete at the site, including recording of: amount and location of concrete placement, method of placing concrete, and any other pertinent information.
- 2.- The Testing laboratory will take specimens as follows: At least one set of four cylinders for each 50 cubic yards or fraction thereof of each class of concrete, but not less than one set for any one day's operations.
  - a. For concrete placed by pumping, test specimens and concrete used for determination of slump, air content, and weight are to be taken at the point of placement of concrete into the forms.
  - b. Samples will be obtained in accordance with ASTM C172.
  - c. Marking, curing and subsequent handling of test cylinders, except as modified herein, shall be in accordance with ASTM C31. Testing shall be in accordance with ASTM C39.
  - d. The cylinders shall be placed in laboratory storage under moist curing conditions at approximately 70 degrees F within 24 hours after molding, and maintain therein until tested. Tests will be as follows:
    - 1) One cylinder shall be tested at 7 days for information.
    - 2) Two cylinders shall be tested at 28 days for acceptance. The acceptance test results shall be the average strength of these two cylinders.
    - 3) One cylinder shall be kept for eventual testing at 56 days to verify any marginal results of 28-day tests. If not required to be tested, cylinder will be discarded after 28 days.
- 3.- Test Reports: Reports of cylinder tests shall be submitted as specified herein within five days of laboratory testing. Test reports shall, as a minimum, include:
  - a. Results of field testing at time of sampling including date and time of sampling, amount of water added at site prior to sampling, ambient air temperature and concrete temperature, concrete slump and air content, and concrete wet unit weight.
  - b. Results of laboratory testing including date test specimens were transported to laboratory, date and age of concrete at time of testing, compressive strength of each cylinder tested, average compressive strength of tested cylinders, and specified design strength of concrete represented by the test.
- 4.- Additional Testing: Contractor shall bear the cost of testing and inspection resulting as a consequence of the following:
  - a. Work not in compliance with the Contract Documents.
  - b. Testing requested by the Contractor or Subcontractor such as additional cylinders for early breaks, etc.
  - c. Testing to verify the adequacy of work done without prior notice, without proper supervision, or contrary to standard construction practice.
- 5.- Reinforcing Steel Inspection: Concrete reinforcing shall be inspected prior to closing of concrete form work or placing of concrete. Inspector to verify size, spacing, quantity of reinforcing concrete cover, embedded items, per latest contract documents.

**SUBMITTALS**

- 1.- Submit substantiating data for each concrete mix design contemplated for use to the Structural Engineer not less than six weeks prior to first concrete placement. Data for each mix shall, as a minimum, include the following:
  - a. Mix identification designation (unique for each mix submitted).
  - b. Statement of intended use for mix.
  - c. Mix proportions, including all admixtures used.
  - d. Manufacturer's data and/or certifications verifying conformance of all mix materials, including admixtures, with specified requirements.
  - e. Wet and dry unit weight.
  - f. Entrained air content.
  - g. Design slump.
  - h. Required average strength qualification data per ACI 301 3.9.1 and 3.9.2. Submit separate qualification data for each production facility which will supply concrete to the project.
- 2.- Submit shop drawings for fabrication, bending and placement of concrete reinforcement. Comply with ACI Detailing Manual (SP 66). Provide 1/4" scale elevations of all walls with reinforcing shown.
- 3.- Submit Structural Steel shop drawings. Clearly indicate profiles, sizes, spacing and locations of structurals members, connections, attachments, anchorages, framed openings, size and type of fasteners, cambers, and clearances.

**STRUCTURAL STEEL**

- 1.- Structural steel work shall conform to "Specification for Design, Fabrication and Erection of Structural Steel for Buildings" (AISC Ninth Edition), and "Structural Welding Code - Steel" (AWS D1.1 Latest Edition).
- 2.- All NEW structural steel rolled shapes, plates, and bars shall conform to the following ASTM designations:
  - ASTM A-572, GRADE 50 . . . . . All rolled shapes and plates unless noted otherwise
  - ASTM A-325, Type SC or N . . . . . All bolts for connecting structural members.
- 3.- No change in size or position of the structural elements shall be made without prior approval of the Engineer.
- 4.- Shop connections unless otherwise noted, shall be made by welding.
- 5.- All shop and field welds shall be made by certified welders, and shall conform to the American Welding Society Code, AWS D1.1, latest edition. Unless noted otherwise, all welds shall develop the full strength of the members or components being connected.
- 6.- Electrodes for all field and shop welding shall conform to AWS E-70 Series.
- 7.- All welding shall be inspected in the field by qualified welding inspectors.
- 8.- Field connections shall be made by bolting with 3/4" diameter A325 bolts, minimum, unless noted otherwise.
- 9.- All A325 or A490 bolts shall be installed with the bolt tension specified in "Specification for Structural Joints using ASTM A325 or ASTM A490 Bolts."
- 10.- All structural steel details and connections shall conform to the standards of the AISC.
- 11.- Minimum connection plate thickness shall be 3/8".
- 12.- Splicing structural members where not detailed on the drawings is prohibited without prior approval of the structural engineer.
- 13.- Cuts, holes, coping, etc. required for work of other trades shall be shown on the shop drawings and made in the shop. Cuts or burning of holes in structural steel members in the field will not be permitted, unless approved by the Structural Engineer.
- 14.- Prior to fabrication and construction, submit and receive Engineer's approval of structural steel shop drawings.
- 15.- All steel shall be hot dipped galvanized.

**STRUCTURAL STEEL INSPECTIONS**

- A. The Testing Agency shall test field welds in accordance with AWS D1.1 as follows:
  - a. All welds 100% visual.
  - b. Full Penetration Welds: Ultrasonic all welds
- B. The welding inspector will have the authority to reject weldments. Such rejection may be based on visual inspection where in his opinion the weldment would not pass a more detailed investigation.
- C. Reports by the Testing Agency's inspector will contain, as a minimum, an adequate description of each weld tested, the identifying mark of the welder responsible for the weld, a critique of any defects noted by visual inspection or testing, and a statement regarding the acceptability of the weld tested, as judged by current A.W.S. standards. Reports shall be distributed as early as possible but not later than one work week after the tests have been performed. The Structural Engineer shall be notified by phone if, in the judgment of the inspector, test results require immediate comment.
- D. High Strength Bolts:
  - a. Standard Bolts:
    - 1) Verify Contractor's testing of installation procedures (turn of the nut) to achieve specified bolt tensions for each lot of bolts. Contractor to provide a calibrated device capable of indicating bolt tension.
    - 2) If rejectable bolts are found in any connection all the remaining bolts in that connection shall be inspected for tightness. Inspection procedure shall be in accordance with "Specification for Structural Joints Using ASTM A325 or A490 Bolts" approved by Research Council on Riveted and Bolted Structural Joints of the Engineering Foundation (Research Council on Structural Connections). Cost of additional inspection required by this paragraph shall be borne by the contractor.

**DRILLED-IN CONCRETE ANCHORS:**

- 1.- Chemical Anchors: Threaded carbon steel or stainless steel rod complete with required nuts, washers, adhesive system and manufacturer's installation instructions. Current ICBO approval and published ICC ESR Code Report required and conforming to ICC ES AC308. Size and manufacturer as indicated on drawings.
  - a. Provide field drilled adhesive grout dowels as indicated below.
- 2.- Simpson Strong-Tie Company, Inc.: Simpson AT-XP anchoring adhesive system using deformed epoxy protected rebar dowels
- 3.- At locations where post installed anchors are being used in concrete, a survey shall be performed to locate existing rebar. using ground penetrating radar. Survey results are to be coordinated with shop drawings. Alternatively, anchor rods are to be installed after which a template is to be created for use by the fabricator in the shop drawings. Notify Engineer of record (E.O.R.) if as-installed location varies more than 1/2" from theoretical.

**INSPECTION - POST INSTALLED ANCHOR DOWELS:**

- 1. The Testing Agency shall inspect, drilled-in anchors shown on the structural drawings as follows:
  - a. Epoxy-Bonded Inserts: The Testing Agency shall be present at the site to observe the installation of the first 10 inserts placed. Such observation shall be to ensure that drilled holes are of required diameter and depth, holes are properly cleaned prior to the installation of the insert, and that holes are completely filled with properly mixed epoxy after installation.
- 2. All anchors shall be visually inspected after installation to ensure that they been installed perpendicular to the receiving surface and to proper depth.
- 3. Inspect 10% of all anchors at each level for a tension load of 150% of the manufacturer's recommended allowable working loads in tension. If at any time the number of rejectable anchors exceeds 10% of the number of anchors tested at that level, all anchors in that group shall be tested by the same method and this 100% testing rate shall be continued until 10% or less of the anchors tested in a group are found to be rejectable. Cost of additional testing required by this paragraph shall be borne by the contractor.

**INSPECTION - EPOXY ADHESIVE ANCHORS**

- 1. Epoxy adhesive anchors
  - A. Epoxy adhesive anchor inspection and testing will be made in accordance with building code requirements, and Contract Documents, and will include the following:
    - a. Proper anchor location
    - b. Proper embedment length
    - c. Anchor diameter
    - d. Anchor projection
    - e. Cleaning of drilled holes
    - f. Proper application of epoxy
    - g. Proper application of rod anchors
    - h. Proper material temperature
    - i. Proper setting time
    - j. Pull testing of epoxy adhesive anchor per direction of E.O.R.
    - k. Pull test procedure to follow the requirements of ASTM 488
    - l. Refer to manufacturers for additional requirements



**UNION WHARF  
Boston, MA**

**Foundation  
Improvements**



PROJECT NUMBER: 13130.00

DATE: JULY 31, 2014

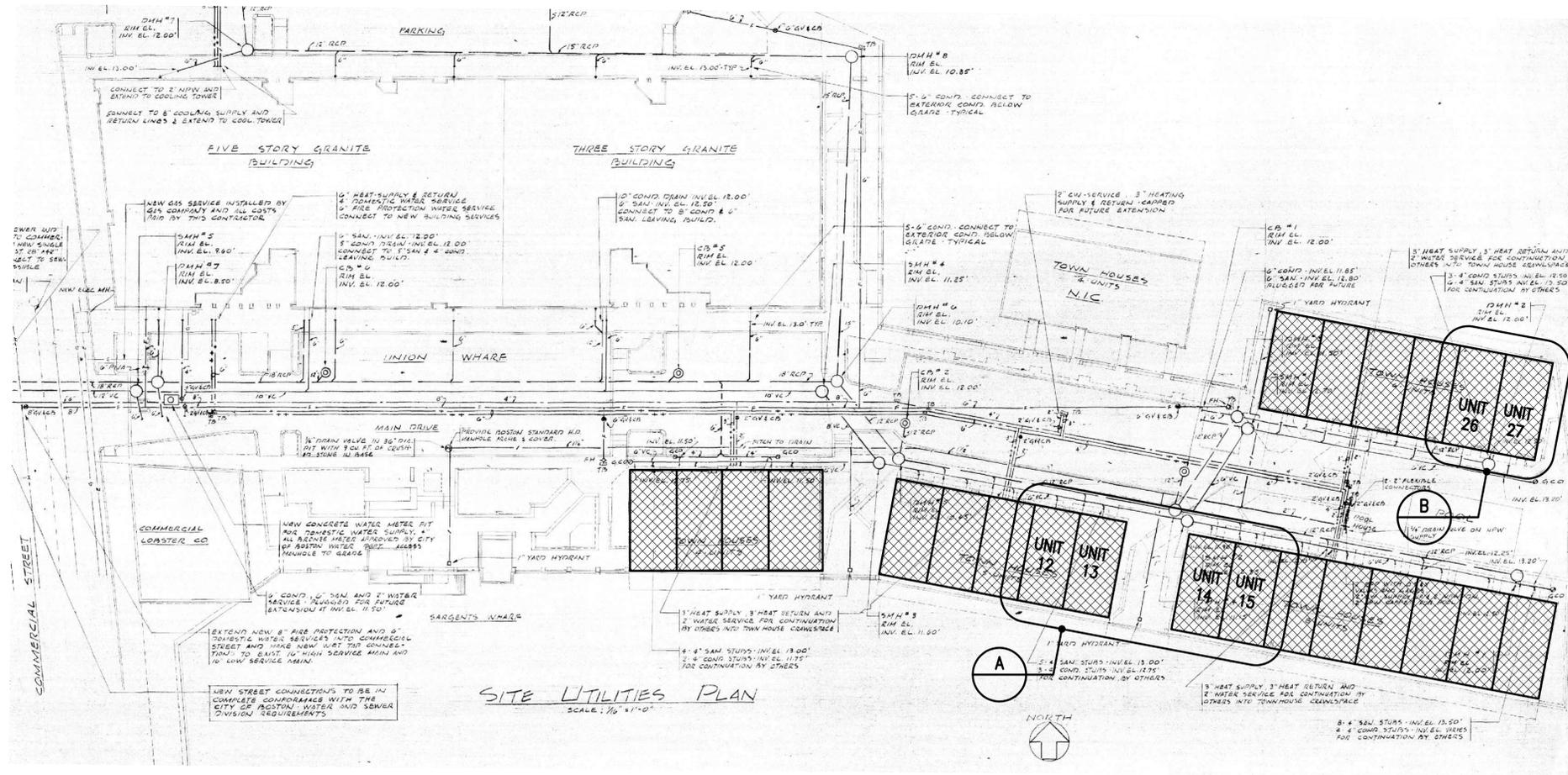
SCALE:

DRAWING NAME:

UNION WHARF  
GENERAL NOTES  
SHEET I

DRAWING NUMBER:

**S001**



**OVERALL UNIT LAYOUT/KEY PLAN**  
 SCALE: N.T.S.



PROJECT NUMBER: 13130.00

DATE: JULY 31, 2014

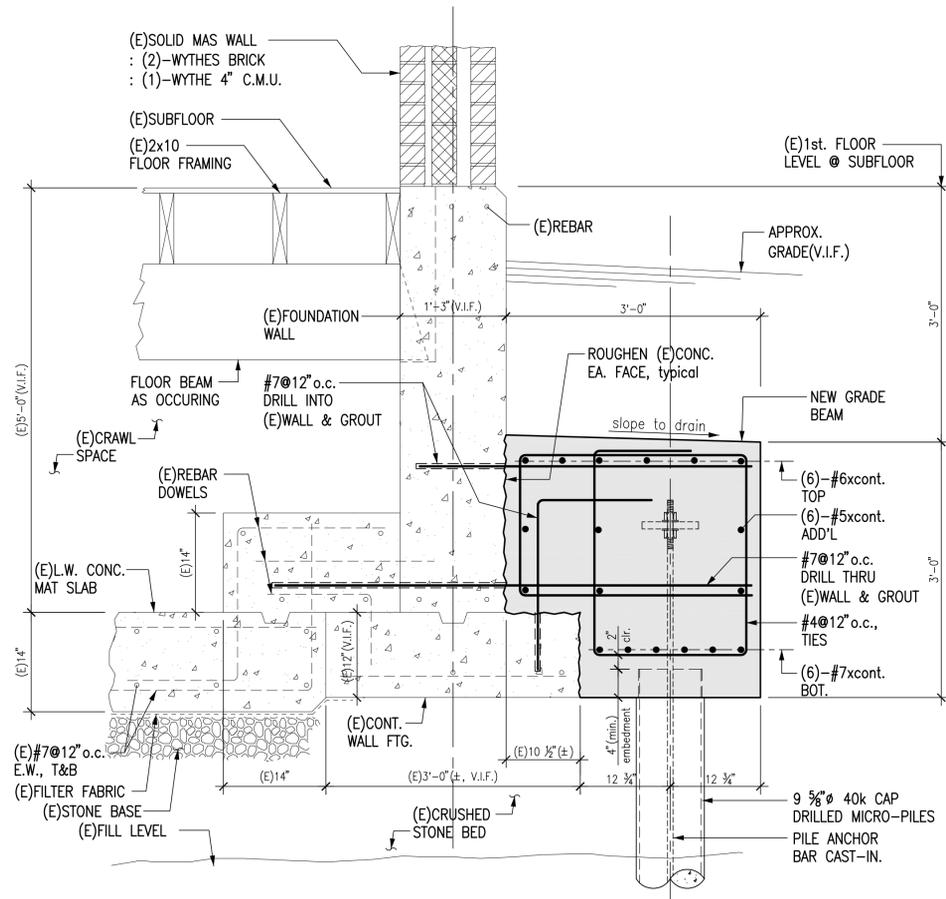
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DRAWING NAME:

UNION WHARF  
 OVERALL UNIT LAYOUT/  
 KEY PLAN

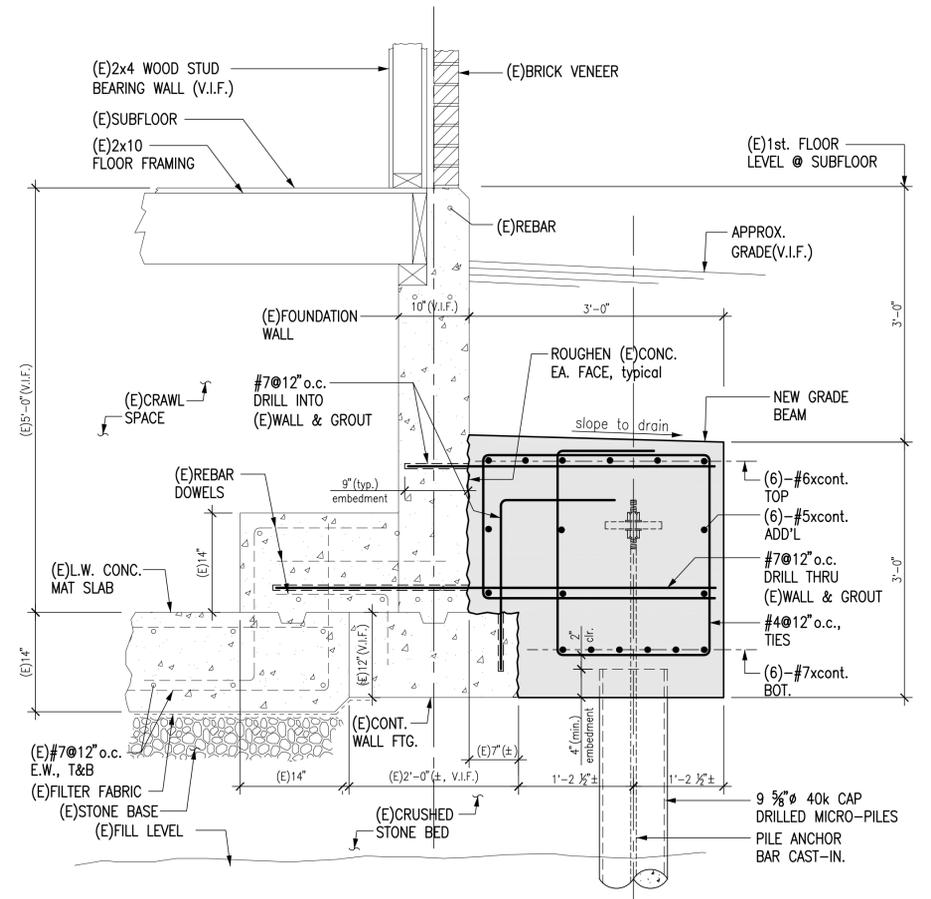
DRAWING NUMBER:





**1 SECTION AT NEW GRADE BEAM AND PILES AT SIDE WALL-TYPICAL**  
 SCALE: 1"=1'-0"

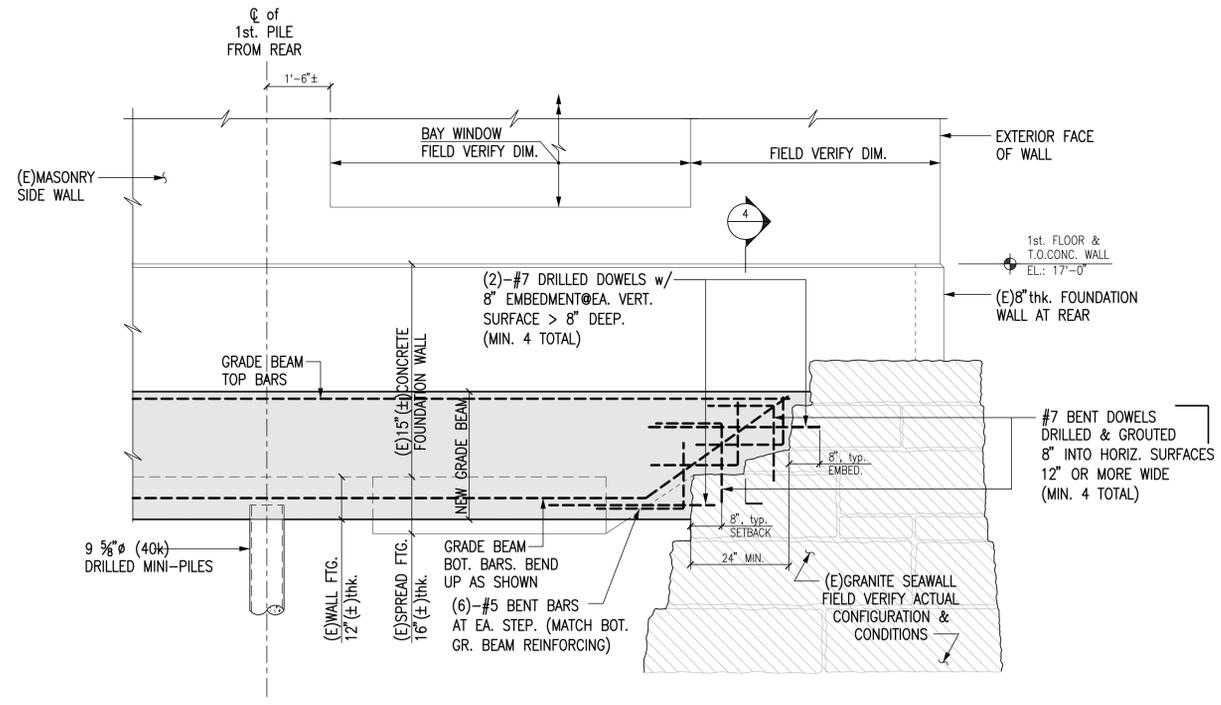
- NOTES:**
- 1.) REBAR INFORMATION FOR EXISTING MAT SLAB TAKEN FROM D. BERG DRAWINGS dated: 08/03/2009
  - 2.) FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS.
  - 3.) COORDINATE WITH GEOTECHNICAL INFORMATION FOR ACTUAL PILE DETAILS.
  - 4.) PRIOR TO DRILLING NEW DOWELS INTO EXISTING FOUNDATION WALLS, FIELD VERIFY THAT EXISTING UTILITY LINES PENETRATING THE WALLS WILL BE CLEARED BY THE NEW DOWELS.
  - 5.) COORDINATE WITH TYPICAL DIAGRAMMATIC PILE DETAIL 1 ON SHEET S301.



**2 SECTION AT NEW GRADE BEAM AND PILES AT FRONT WALL-TYPICAL**  
 SCALE: 1"=1'-0"

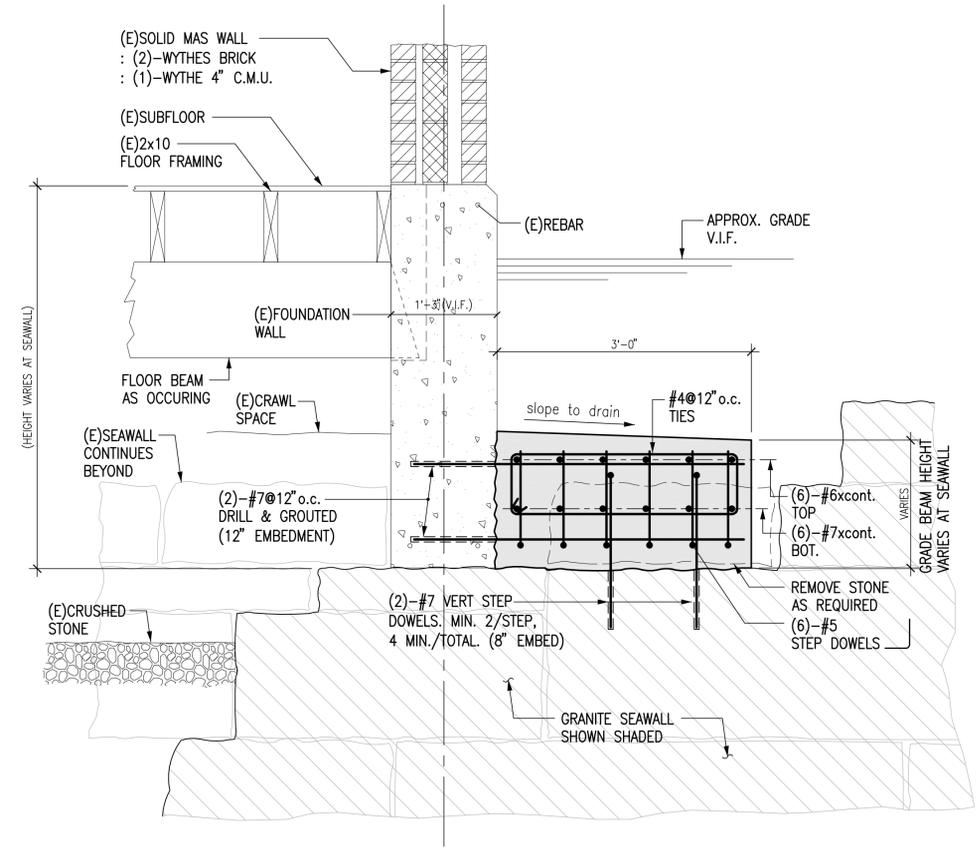
- NOTES:**
- 1.) REBAR INFORMATION FOR EXISTING MAT SLAB TAKEN FROM D. BERG DRAWINGS dated: 08/03/2009
  - 2.) FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS.
  - 3.) COORDINATE WITH GEOTECHNICAL INFORMATION FOR ACTUAL PILE DETAILS.
  - 4.) PRIOR TO DRILLING NEW DOWELS INTO EXISTING FOUNDATION WALLS, FIELD VERIFY THAT EXISTING UTILITY LINES PENETRATING THE WALLS WILL BE CLEARED BY THE NEW DOWELS.
  - 5.) COORDINATE WITH TYPICAL DIAGRAMMATIC PILE DETAIL 1 ON SHEET S301.





**3 SECTION ELEVATION GRADE BEAM  
 ALONG SEAWALL AT UNIT 27**  
 SCALE: 1/2" = 1'-0"

- NOTES:**
- 1.) GRADE BEAM HORIZONTAL "SKIN" REINFORCING AND TIES NOT SHOWN FOR CLARITY.
  - 2.) SEAT NEW GRADE BEAM MIN. 24" ONTO (E)STONE SEAWALL. CLEAN OFF STONE AT GRADE BEAM BEARING DOWN TO SOUND STONE REMOVING ALL LOOSE DEBRIS, FOREIGN MATERIAL AND MARINE LIFE. (BARNACLES, CLAMS, ETC.)



**4 SECTION AT NEW GRADE BEAM  
 ALONG SEAWALL AT UNIT 27**  
 SCALE: 1" = 1'-0"



PROJECT NUMBER: 13130.00

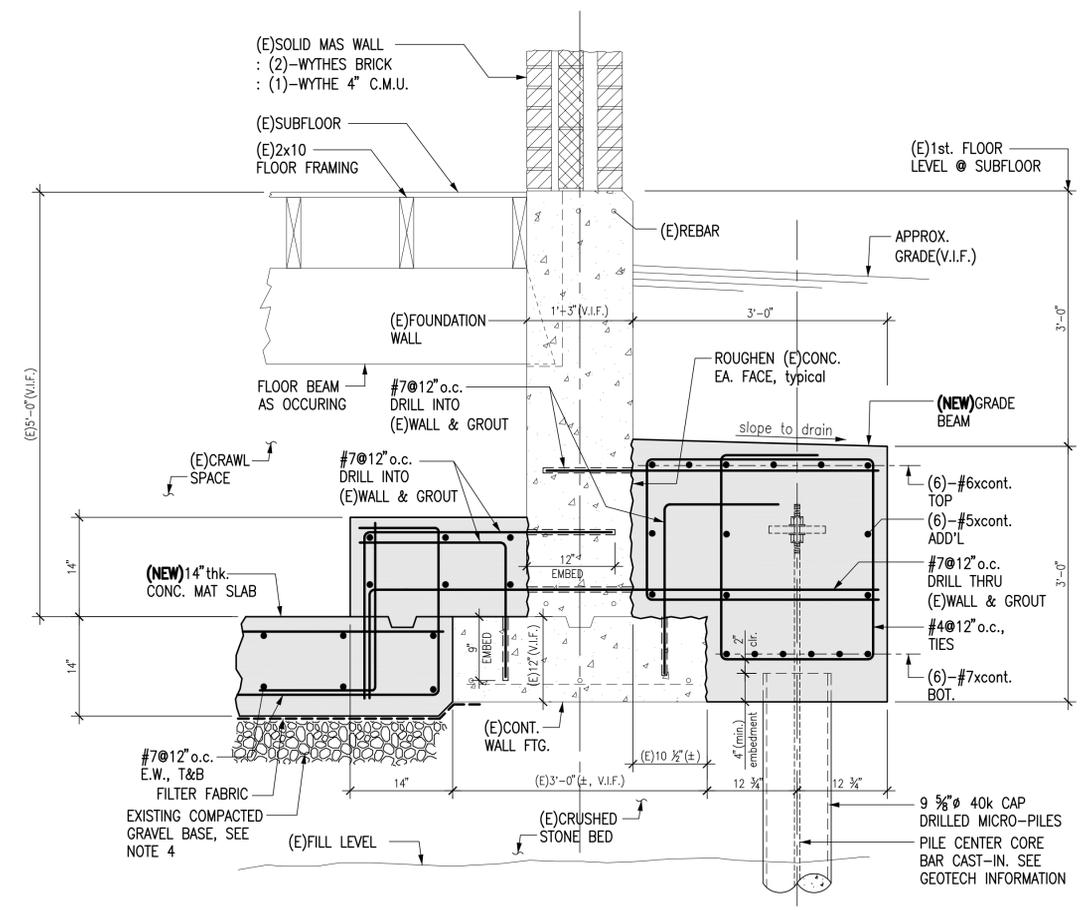
DATE: JULY 31, 2014

SCALE:

DRAWING NAME:

SECTIONS & DETAILS  
 SHEET II

DRAWING NUMBER:

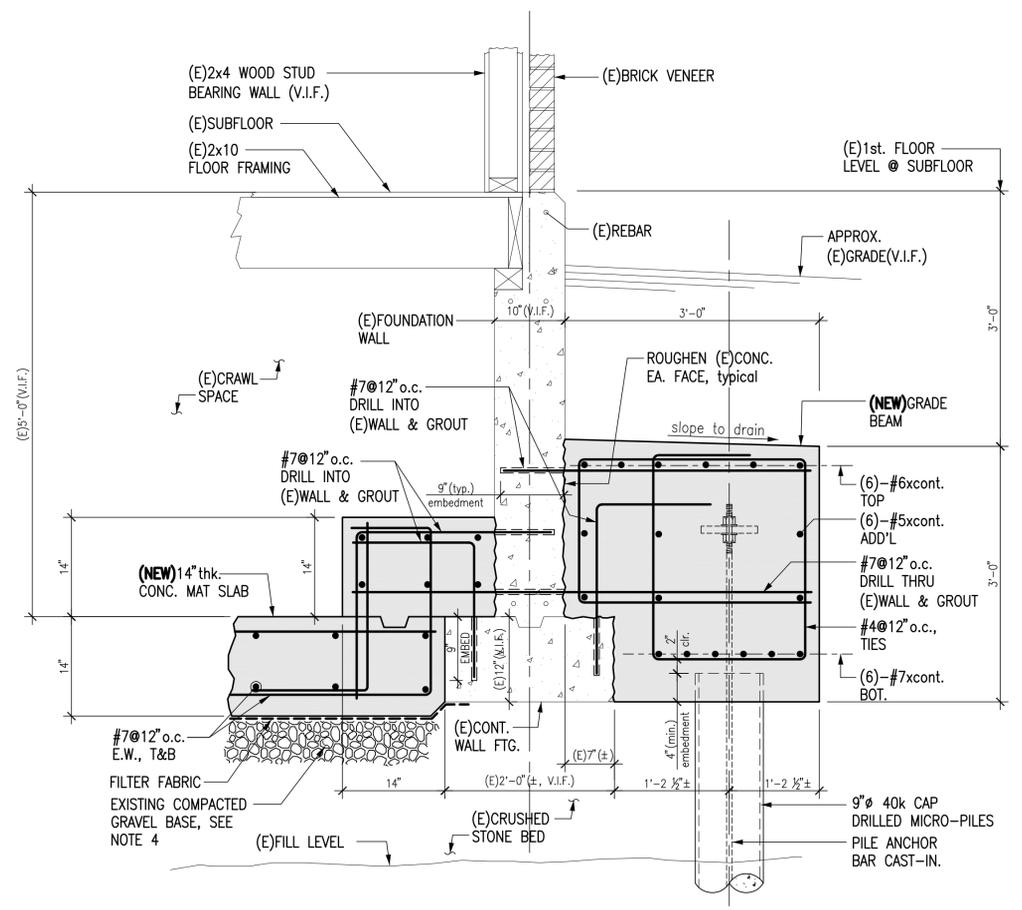


**5 SECTION AT NEW GRADE BEAM AND PILES AT SIDE WALL-TYPICAL**

SCALE: 1"=1'-0"

**NOTES:**

- 1.) FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS.
- 2.) COORDINATE WITH GEOTECHNICAL INFORMATION FOR ACTUAL PILE DETAILS.
- 3.) PRIOR TO DRILLING NEW DOWELS INTO EXISTING FOUNDATION WALLS, FIELD VERIFY THAT EXISTING UTILITY LINES PENETRATING THE WALLS WILL BE CLEARED BY THE NEW DOWELS.
- 4.) EXCAVATE EXISTING COMPACTED GRAVEL BASE AS NECESSARY TO LEVEL CONDITION AND CLEAN THE SUBGRADE SURFACE TO THE APPROVAL OF THE GEOTECHNICAL ENGINEERS.
- 5.) COORDINATE WITH TYPICAL DIAGRAMMATIC PILE DETAIL 1 ON SHEET S301.



**6 SECTION AT NEW GRADE BEAM AND PILES AT FRONT WALL-TYPICAL**

SCALE: 1"=1'-0"

**NOTES:**

- 1.) FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS.
- 2.) COORDINATE WITH GEOTECHNICAL INFORMATION FOR ACTUAL PILE DETAILS.
- 3.) PRIOR TO DRILLING NEW DOWELS INTO EXISTING FOUNDATION WALLS, FIELD VERIFY THAT EXISTING UTILITY LINES PENETRATING THE WALLS WILL BE CLEARED BY THE NEW DOWELS.
- 4.) EXCAVATE EXISTING COMPACTED GRAVEL BASE AS NECESSARY TO LEVEL CONDITION AND CLEAN THE SUBGRADE SURFACE TO THE APPROVAL OF THE GEOTECHNICAL ENGINEERS.
- 4.) COORDINATE WITH TYPICAL DIAGRAMMATIC PILE DETAIL 1 ON SHEET S301.



PROJECT NUMBER: 13130.00

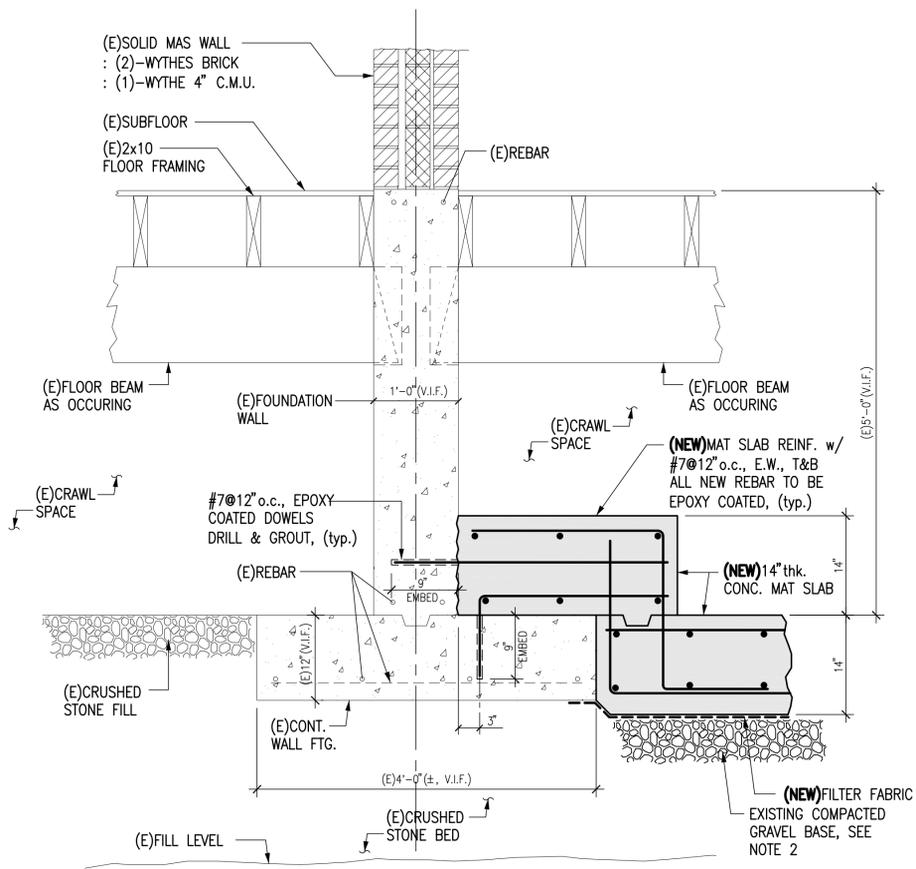
DATE: JULY 31, 2014

SCALE:

DRAWING NAME:

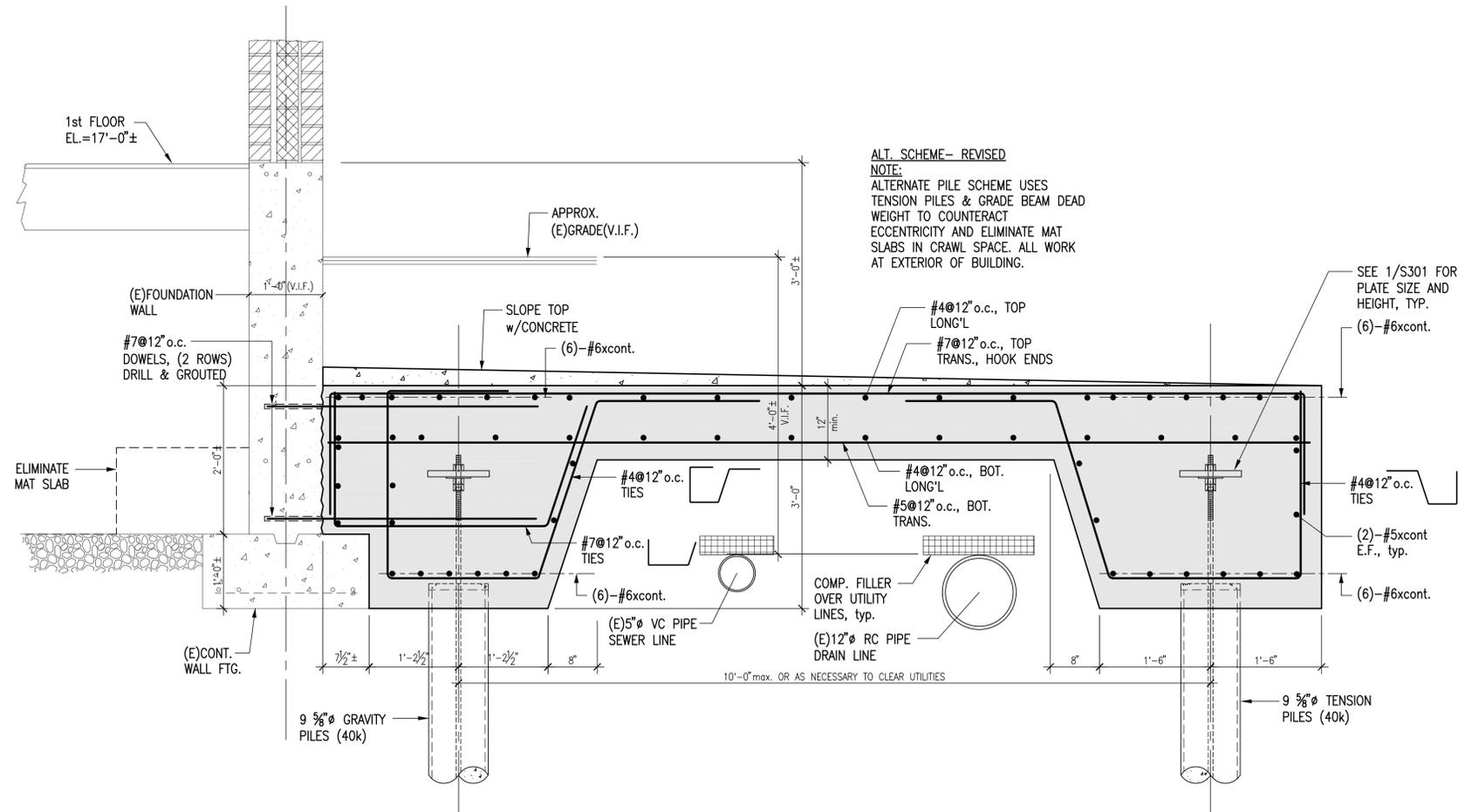
SECTIONS & DETAILS  
 SHEET III

DRAWING NUMBER:



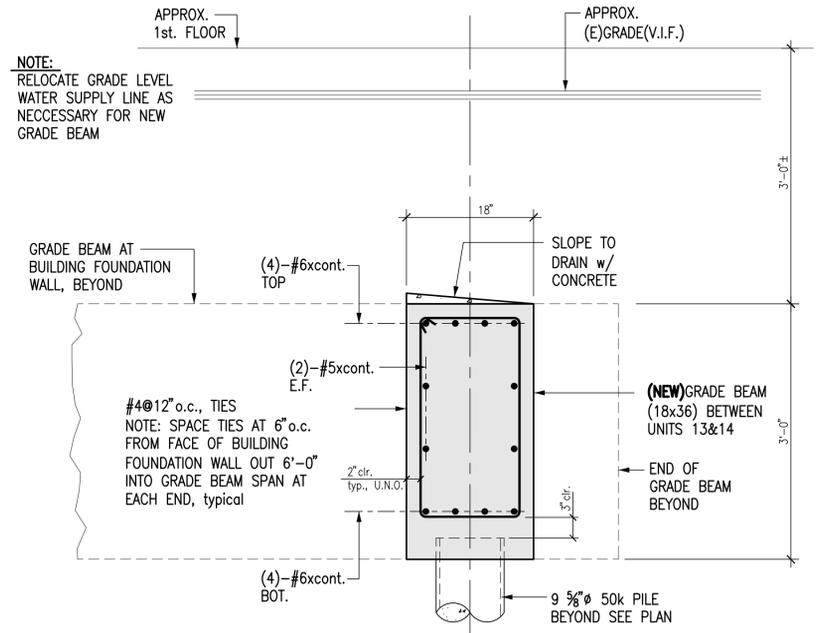
**7 SECTION AT NEW MAT SLAB AT EXISTING PARTY WALL-TYPICAL**

- SCALE: 1"=1'-0"  
 NOTES:  
 1.) FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS.  
 2.) EXCAVATE EXISTING COMPACTED GRAVEL BASE AS NECESSARY TO LEVEL CONDITION AND CLEAN THE SUBGRADE SURFACE TO THE APPROVAL OF THE GEOTECHNICAL ENGINEERS.



**8 SECTION AT ALT PILE SCHEME AT CANTILEVER SLAB**

- SCALE: 1"=1'-0"  
 NOTES:  
 1.) COORDINATE WITH TYPICAL DIAGRAMMATIC PILE DETAIL 1 ON SHEET S301.  
 2.) PILE CENTERBAR REINFORCING PLATE AT GRADE BEAM HEIGHT VARIES WITH PILE TYPE-SEE 1/S301.



**9 SECTION AT UNIT #13 & #14 GRADE BEAM**

SCALE: 1"=1'-0"



PROJECT NUMBER: 13130.00  
 DATE: JULY 31, 2014  
 SCALE:  
 DRAWING NAME:  
 SECTIONS & DETAILS SHEET IV  
 DRAWING NUMBER:

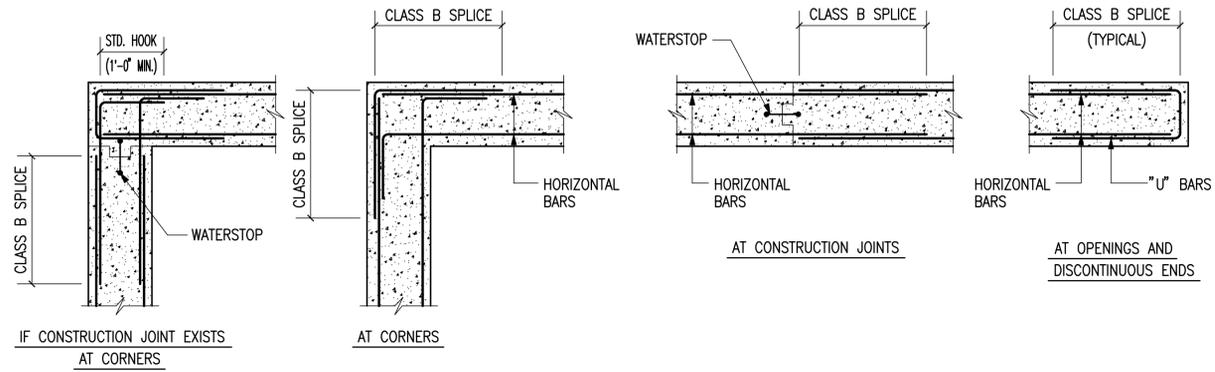
TENSION DEVELOPMENT LENGTH (Lap Class A) AND LAP SPLICE LENGTHS (Lap Class B)  
FOR GRADE 60 DEFORMED REINFORCING BARS (inches)  
(UNLESS SHOWN OTHERWISE ON DRAWINGS)

f'c = 5000 PSI, NORMAL WEIGHT CONCRETE

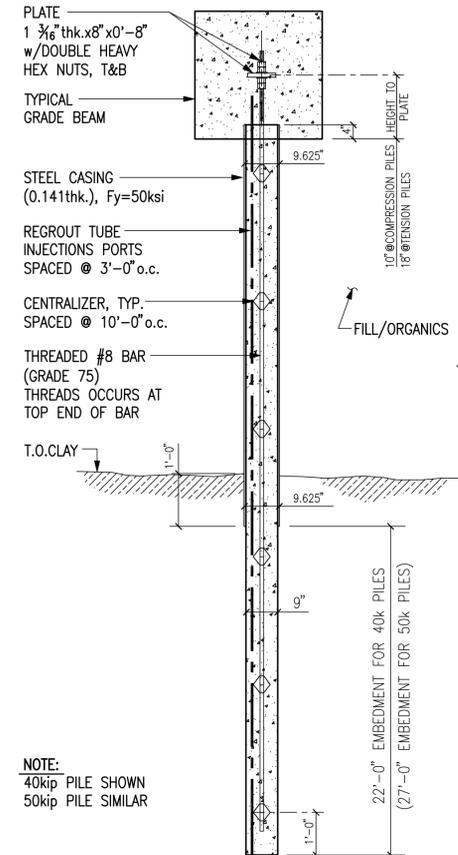
BAR SIZE	LAP CLASS	CONCRETE COVER >=0.75 in. CLEAR BAR SPACING <sup>2</sup> >=1.5 in.				CONCRETE COVER >=1.00 in. CLEAR BAR SPACING <sup>2</sup> >=2.0 in.				CONCRETE COVER >=1.50 in. CLEAR BAR SPACING <sup>2</sup> >=3.0 in.				CONCRETE COVER >=2.00 in. CLEAR BAR SPACING <sup>2</sup> >=4.0 in.				CONCRETE COVER >=3.00 in. CLEAR BAR SPACING <sup>2</sup> >=6.0 in.			
		UNCOATED		EPOXY-COATED		UNCOATED		EPOXY-COATED		UNCOATED		EPOXY-COATED		UNCOATED		EPOXY-COATED		UNCOATED		EPOXY-COATED	
		TOP <sup>1</sup>	OTHER	TOP <sup>1</sup>	OTHER	TOP <sup>1</sup>	OTHER	TOP <sup>1</sup>	OTHER	TOP <sup>1</sup>	OTHER	TOP <sup>1</sup>	OTHER	TOP <sup>1</sup>	OTHER	TOP <sup>1</sup>	OTHER	TOP <sup>1</sup>	OTHER	TOP <sup>1</sup>	OTHER
#3	A	12	12	13	12	12	12	13	12	12	12	12	12	12	12	12	12	12	12	12	12
#3	B	16	16	17	16	16	16	17	16	16	16	16	16	16	16	16	16	16	16	16	16
#4	A	17	13	22	19	14	12	18	16	14	12	16	13	14	12	18	13	14	12	16	13
#4	B	22	17	28	25	18	16	23	20	18	16	21	16	18	16	21	16	18	16	21	16
#5	A	25	19	32	28	20	15	26	23	17	13	22	19	17	13	20	16	17	13	20	16
#5	B	32	25	42	37	26	20	34	30	22	17	28	25	22	17	26	20	22	17	26	20
#6	A	33	26	44	38	27	21	36	32	20	16	26	23	20	16	26	23	20	16	24	19
#6	B	43	33	57	50	35	27	46	41	26	20	34	30	26	20	34	30	26	20	31	24
#7	A	54	41	70	62	44	34	58	51	33	25	43	38	29	23	38	34	29	23	35	27
#7	B	70	54	91	80	58	44	75	66	43	33	56	49	38	29	50	44	38	29	45	35
#8	A	66	51	87	77	55	43	72	64	42	32	54	48	33	26	44	38	33	26	40	31
#8	B	86	66	113	100	72	55	94	83	54	42	71	62	43	33	57	50	43	33	52	40
#9	A	80	62	105	93	68	52	88	78	51	40	67	59	41	32	54	48	38	29	49	43
#9	B	104	80	136	120	88	68	115	101	67	51	87	77	54	41	70	62	49	38	64	56
#10	A	97	74	126	111	82	63	107	94	63	48	82	72	51	39	67	59	42	33	55	49
#10	B	126	97	164	145	106	82	139	123	82	63	107	94	66	51	86	76	55	42	72	63
#11	A	113	87	148	131	97	75	126	112	75	58	98	86	61	47	80	70	47	36	61	54
#11	B	147	113	192	170	126	97	164	145	97	75	127	112	79	61	104	92	61	47	80	70

NOTES:

- TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12 INCHES OF CONCRETE CAST BELOW THE BARS.
- CLEAR BAR SPACING = CENTER TO CENTER SPACING - BAR DIAMETER.
- AVOID SPLICES IN REGIONS OF MAXIMUM MOMENT. IF THIS IS NOT POSSIBLE, STAGGER SPLICES SO THAT SPLICES DO NOT REQUIRE MORE THAN 50% OF THE BARS ARE SPLICED WITHIN A REQUIRED SPLICE LENGTH OTHERWISE INCREASE SPLICE LENGTH BY 30%.



TYPICAL PLAN OF HORIZONTAL WALL REINFORCING



NOTE:  
40kip PILE SHOWN  
50kip PILE SIMILAR

TYPICAL DIAGRAMMATIC PILE SECTION  
SCALE: N.T.S.



PROJECT NUMBER: 13130.00

DATE: JULY 31, 2014

SCALE:

DRAWING NAME:

UNION WHARF  
TYPICAL CONCRETE  
SECTIONS, DETAILS &  
SCHEDULES  
SHEET I

DRAWING NUMBER: