

Notice of Intent

Roadway Foundation Repair

88 Black Falcon

Boston, MA



Submitted to:

The Boston Conservation Commission

1 City Hall Sq.

Boston, MA

Submitted by:

The Davis Company

125 High Street

Boston, MA



CHILDS ENGINEERING CORPORATION

34 William Way, Bellingham, Massachusetts 02019

PILE PROTECTION PROJECT

88 BLACK FALCON

Project Description

In general, the proposed repairs are intended to stabilize and protect the existing roadway support piles from further deterioration. Some of the piles have undergone both mechanical and biological degradation. The deterioration noted appears to be fungal attack which has softened the timber surface. Piles which remain encased in the original concrete are assumed to be in good condition since they have been protected from exposure to oxygen and abrasion. In some cases, the overall cross-section of the piles has been reduced and/or the piles have lost contact with the concrete pile caps/beams.

Eliminating oxygen exposure will protect the piles from additional fungal deterioration. The encapsulation in concrete will also protect the piles from abrasion. The encapsulation repair will maintain the piles in their current “structural” condition.

The proposed repairs include protection of the piles by encapsulating them in low strength concrete. This will protect them from further fungal attack and abrasion. The repair also includes creating a concrete connection from the top of the new slab to the underside of the pile cap/beam. The extent of this reconnection repair is based on the required live load capacity of the roadway structure. The attached plans illustrate the proposed repair concept and the extent to which it will be implemented.

The proposed sequence of construction is “cleaning” the piles by washing with fresh water under pressure. The pressure wash will remove loose surface material which will enhance the bond of the concrete to the timber. Material which is removed during cleaning will be collected and disposed of properly. Once the cleaning is complete the concrete will be placed around the footings and in the bays. Once the slabs are placed and concrete has gained full strength, concrete will be placed from the slab to the bottom of the existing pile caps/beams. The proposed concrete extensions will occur directly over existing piles. The exposed piles under the building support footing at the east end of the structure will be protected in the same way as the piles in each roadway support bent. The extent of cleaning of the piles under the footing will be limited to the available access. No excavation of soil will be performed to access piles for cleaning.

Coastal Resource Areas

All work will occur behind the existing seawall and below the roadway surface. As such the repairs will have no impact on flood storage capacity or water circulation. The proposed work will not result in any change or impact to existing stormwater systems or drainage patterns.

Alternatives

The proposed repairs will protect the existing roadway support piles from continued deterioration. If the piles are not protected it is estimated that the roadway capacity will be reduced to a point that load restriction will be required which will require modification of vehicle operations on the site.

If the piles aren't protected it is possible that the roadway foundation will need be replaced at some time in the future. The replacement would include removing the roadway surface and associated support beams and pile caps. New piles would have to be driven and new pile caps and a roadway surface installed. We estimate that rebuild would have a significant impact on flood storage during the construction phase.

Childs Engineering Corporation
David L. Porter, P.E.

TABLE OF CONTENTS

NOI APPLICATION

EXHIBITS

A – USGS VICINITY MAP

B – PROJECT NARRATIVE

C – 2016 FEMA FLOOD MAP

D – ABUTTERS LIST AND NOTIFICATION

E – PLANS PREPARED BY CHILDS ENGINEERING CORPORATION

F – NOI FEE TRANSMITTAL FORMS



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>88 Black Falcon Avenue</u>	<u>Boston</u>	<u>02127</u>
a. Street Address	b. City/Town	c. Zip Code
<u>Latitude and Longitude:</u>	<u>42.343953N</u>	<u>71.023962E</u>
	d. Latitude	e. Longitude
<u>Assessors Map/Plat Number</u>	<u>0602674015</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Brian</u>	<u>Bishop</u>	
a. First Name	b. Last Name	
<u>The Davis Companies</u>		
c. Organization		
<u>125 High Street</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02110</u>
e. City/Town	f. State	g. Zip Code
<u>617-799-4341</u>	<u>Brian Bishop <bbishop@TheDavisCompanies.com></u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

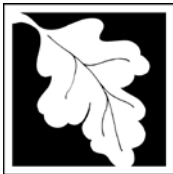
<u>Massachusetts Port Authority</u>	<u>One Harborside Drive</u>	
c. Organization	d. Street Address	
<u>East Boston</u>	<u>MA</u>	<u>020128</u>
e. City/Town	f. State	g. Zip Code
<u>h. Phone Number</u>	<u>i. Fax Number</u>	<u>j. Email address</u>

4. Representative (if any):

<u>David</u>	<u>Porter</u>	
a. First Name	b. Last Name	
<u>Childs Engineering Corporation</u>		
c. Company		
<u>34 William Way</u>		
d. Street Address		
<u>Bellingham</u>	<u>MA</u>	<u>02019</u>
e. City/Town	f. State	g. Zip Code
<u>508-966-9092</u>	<u>porterd@childseng.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>a. Total Fee Paid</u>	<u>b. State Fee Paid</u>	<u>c. City/Town Fee Paid</u>
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Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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Document Transaction Number
Boston
City/Town

A. General Information (continued)

6. General Project Description:

The project will protect the pile foundation of the access roadway and parking area at 88 Black Falcon Avenue. The piles will be cleaned with fresh water and encased in concrete. Where the concrete pile cap no longer engages the piles do to lost concrete new concrete will be installed.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

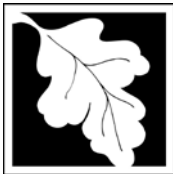
8. Property recorded at the Registry of Deeds for:

Suffolk	
a. County	b. Certificate # (if registered land)
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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 Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland _____	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input checked="" type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	0 1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input checked="" type="checkbox"/> Coastal Banks	0 1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	Approximately 50,000 s.f. 1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

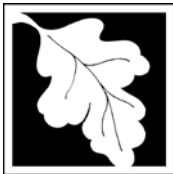
a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- Oct. 1, 2008
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

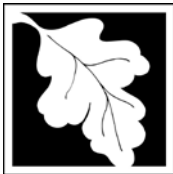
- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Boston
City/Town

C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_fee_schedule.htm).
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # b. Date submitted to NHESP

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
1213 Purchase Street – 3rd Floor
New Bedford, MA 02740-6694
Email: DMF.EnvReview-South@state.ma.us

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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Document Transaction Number
Boston
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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Concrete Cap Repair 8 sheets

a. Plan Title

Childs Engineering Corporation

David Porter PE

b. Prepared By

c. Signed and Stamped by

as noted

as noted

d. Final Revision Date

e. Scale

Notice of Intent

12/28/17

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

Childs Engineering Corporation

6. Payor name on check: First Name

7. Payor name on check: Last Name



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 Bureau of Resource Protection - Wetlands
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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

DEV BLACK FALCON, LLC

[Handwritten signature]

1. Signature of Applicant

5/24/18

2. Date

James Stolecki

3. Signature of Property Owner (if different)

5/24/18

4. Date

[Handwritten signature]

5. Signature of Representative (if any)

5/24/18

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

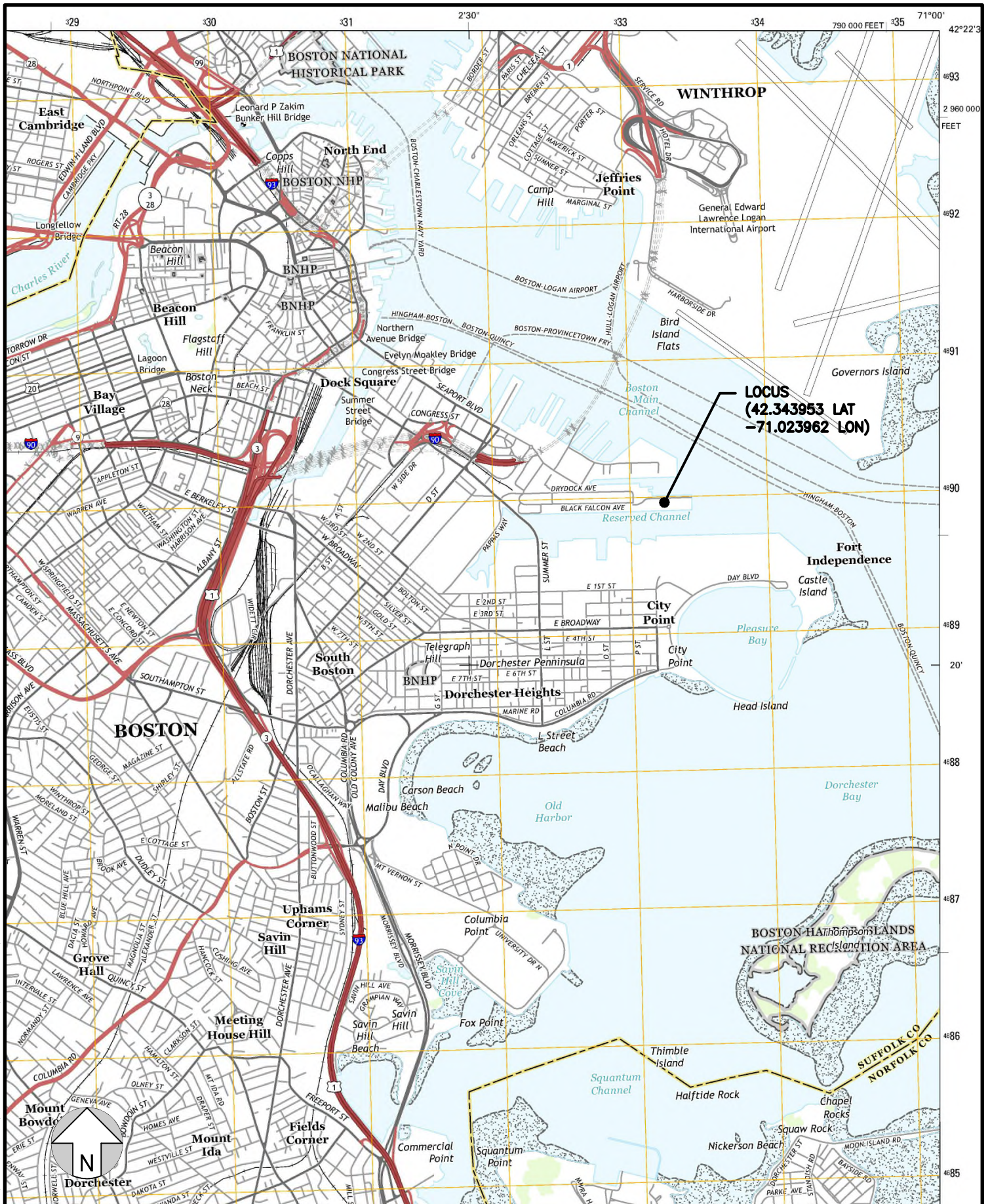
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

EXHIBIT A

USGS PROJECT VICINITY MAP

TOM QUINN L:\CADD\STANDARDS\GENERAL\BORDERS\CEC-STD\STD-A.DWG Jan 08, 2018 - 11:28am



LOCUS
 (42.343953 LAT
 -71.023962 LON)



CHILDS ENGINEERING CORPORATION
 34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
 Phone: (508) 966-9092 Fax: (508) 966-9096
 E-mail: mail@childseng.com

Designed by:	DLP	Date:	01/08/18
Down by:	TEQ	Ckd by:	DLP
Reviewed by:	DLP	Design file no.:	271516 FIG-1
		Scale:	NONE

BLACK FALCON PIER
DAVIS COMPANIES
 BOSTON, MA

LOCUS MAP

Sheet reference number:
FIG-1
 Sheet 1 of 2

EXHIBIT B

PROJECT NARRATIVE

PILE PROTECTION PROJECT

88 BLACK FALCON

In general, the proposed repairs are intended to stabilize and protect the existing roadway support piles from further deterioration. Some of the piles have undergone both mechanical and biological degradation. The deterioration noted appears to be fungal attack which has softened the timber surface. It is estimated that the softened surface has been abraded. Piles which remain encased in the original concrete are assumed to be in good condition since they have been protected from exposure to oxygen and abrasion. In some cases, the overall cross-section of the piles has been reduced and/or the piles have lost contact with the concrete pile caps/beams.

Eliminating oxygen exposure will protect the piles from additional fungal deterioration. The encapsulation in concrete will also protect the piles from abrasion. The encapsulation repair will maintain the piles in their current "structural" condition.

The proposed repairs include protection of the piles by encapsulating them in low strength concrete. This will protect them from further fungal attack and abrasion. The repair also includes creating a concrete connection from the top of the new slab to the underside of the pile cap/beam. The extent of this reconnection repair is based on the required live load capacity of the roadway structure. To achieve 250 pounds per square foot live load capacity it is estimated that every other pile in each bent will need to be connected to the beam. In most areas, the pile to concrete connection is still intact. The attached plans illustrate the proposed repair concept and the extent to which it will be implemented.

The proposed sequence of construction is will call for the "cleaning" the piles by washing with fresh water under pressure. The pressure wash will remove loose surface material which will enhance the bond of the concrete to the timber. Once the cleaning is complete the concrete will be placed around the footings and in the bays. Once the slabs are placed and concrete has gained full strength, concrete will be placed from the slab to the bottom of the existing pile caps/beams. The proposed concrete extensions will occur directly over existing piles and only over enough piles (every other pile) to develop the 250 psf load capacity on the roadway surface. The exposed piles under the building support footing at the east end of the structure will be protected in the same way as the piles in each roadway support bent. The extent of cleaning of the piles under the footing will be limited to the available access. No excavation of soil will be performed to access piles for cleaning.

Childs Engineering Corporation
David L. Porter, P.E.

EXHIBIT C

2016 FEMA FLOOD MAPS

TOM QUINN K:\2715-16.00 88 BLACK FALCON - DAVIS COMPANIES\CADD\PERMIT DWGS\NOI\271516 FIG-2 FEMA MAP.DWG Jan 08, 2018 - 11:46am



LOCUS
(42.343953 LAT
-71.023962 LON)



CHILDS ENGINEERING CORPORATION
 34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
 Phone: (508) 966-9092 Fax: (508) 966-9096
 E-mail: mail@childseng.com

Designed by:	DLP	Date:	01/08/18
Down by:	TEQ	Ckd by:	DLP
Reviewed by:	DLP	Design file no.:	271516 FIG-2
		Scale:	NONE

BLACK FALCON PIER
 DAVIS COMPANIES
 BOSTON, MA

FEMA MAP

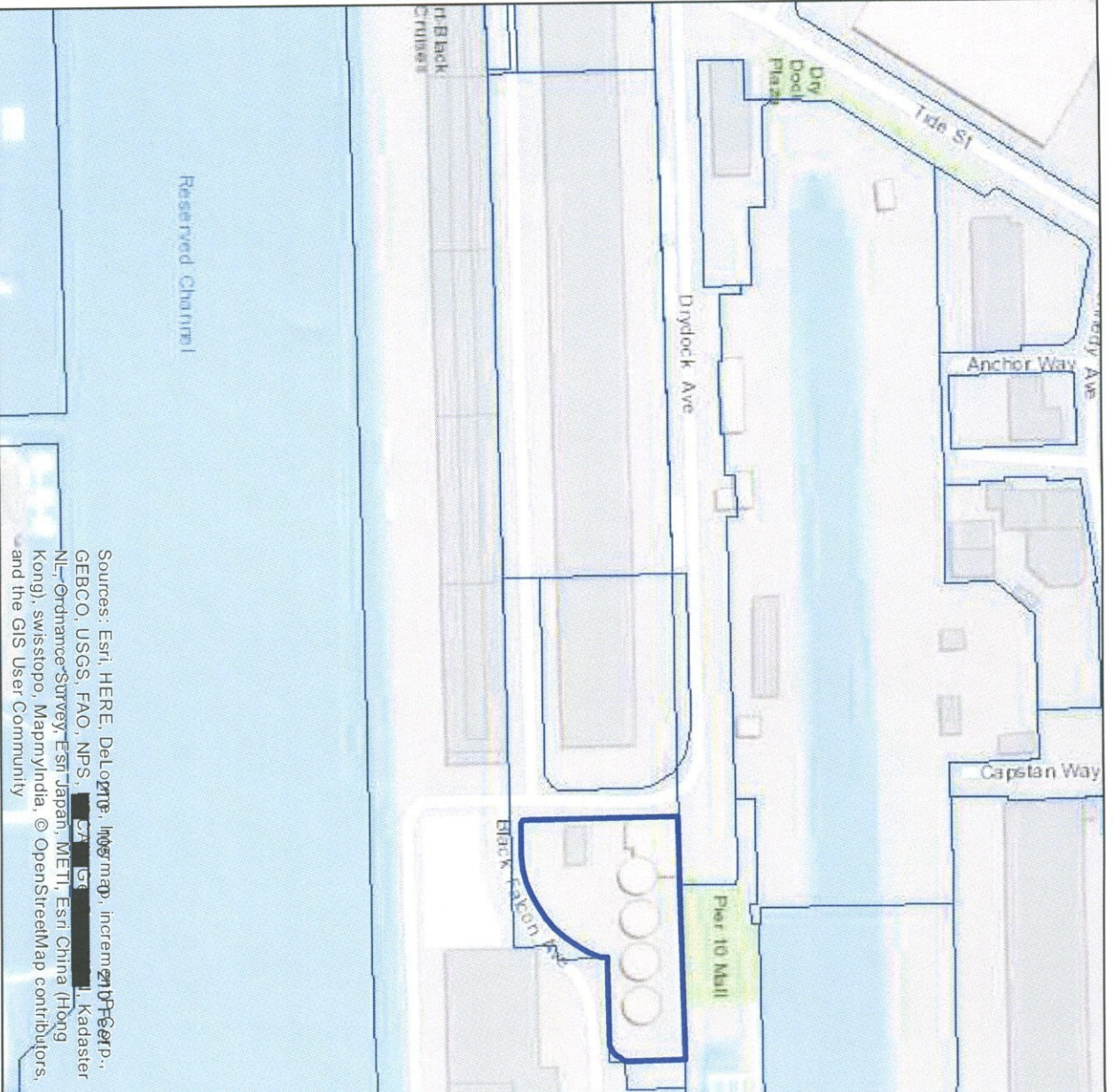
Sheet reference number:
FIG-2
 Sheet 2 of 2

EXHIBIT D

ABBUTTERS LIST AND NOTIFICATION

Abutter

January 16, 2018



Sources: Esri, HERE, DeLorme, Mapbox, Aermap, increment P Corp., GEBCO, USGS, FAO, NPS, NGA, Swisstopo, Mapbox, Kadaster, NLS, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

Parcel ID: 0602674019
 Address: 36 DRYDOCK AV
 Zipcode: 02127
 Owner: ECONOMIC DEVELOPMENT AND
 Land Use: Tax-exempt
 Lot Size: 74,426.00 sq ft
 Living Area: 11,052.00 sq ft
 Total Value: \$5,919,200.00
 Land Value: \$5,142,900.00
 Building Value: \$776,300.00
 Gross Tax: \$0.00



MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

The City of Boston makes no claims, no representations, and no warranties, expressed or implied, concerning the validity (expressed or implied), the reliability, or the accuracy of the GIS data and GIS data products furnished by the City. Including the implied validity of any uses of such data. The use of this data, in any such manner, shall not supersede any federal, state or local laws or regulations.





CHILDS ENGINEERING CORPORATION

34 WILLIAM WAY, BELLINGHAM, MA 02019 (508) 966-9092 FAX (508) 966-9096

July 12, 2018

Notification to Abutters
Under the Massachusetts Wetlands Protection Act

RE: Notice of Intent for Roadway Pile Foundation Protection
88 Black Falcon Avenue
South Boston, MA

The Davis Companies are proposing a project to protect the piles supporting the roadway and repair areas of deterioration of the concrete support beams at 88 Black Falcon Avenue in South Boston.

As an abutter to this project, in accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified that a Notice of Intent (NOI) has been filed with the City of Boston Conservation Commission. The NOI describes the proposed roadway repair.

Copies of the Notice of Intent may be examined at the Office of the Boston Conservation Commission, Boston City Hall – Room 709, between the hours of 9:00 AM to 4:00 PM Monday through Friday. For additional project information, you may also contact Brian Bishop of the Davis Companies at (617) 499-4341.

A Public Hearing will be held by the Boston Conservation Commission on August 1, 2018, at 6:00 PM in Boston City Hall Piedmont Room, 5th Floor. The following website provides information regarding the agenda for Conservation Commission Hearings, and you are encouraged to check this website for any changes and the exact time of each agenda item, should you plan to attend:

<http://www.boston.gov/publicnotices>

Notice of the Public Hearing, including its date, time and place, will be published at least five (5) days in advance in the Boston Herald, and will also be posted in the City Hall not less than forty-eight (48) hours in advance.

You may also contact the Department of Environmental Protection, Northeast Region Office, at (978) 694-3200 for more information about this application or the Wetlands Protection Act.

CHILDS ENGINEERING CORPORATION

ABUTTER NOTIFICATION

88 BLACK FALCON

Requirements

Per the NOI filing guidelines the applicant must provide notification to abutters within 100 feet of the property line from where the work is proposed.

The roadway support pile repair project has one abutter within 100 feet:

Parcel ID:.0602674019

Parcel Address: 36 Drydock Avenue, Boston, MA 02127

Current Owner: Economic Development & Industrial Corporation

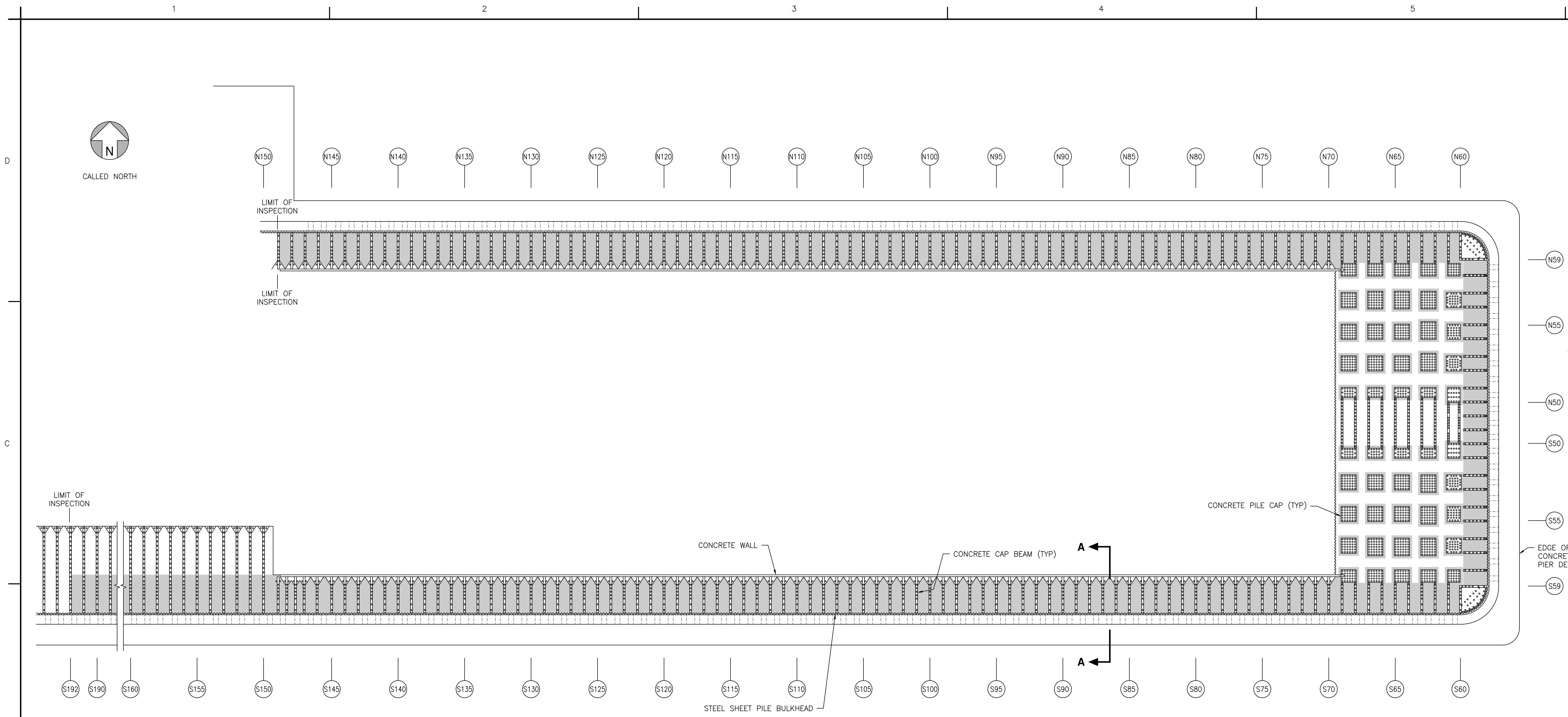
Mailing Address: 1 City Hall Plaza, 9th Floor

Boston, MA 02201

EXHIBIT E

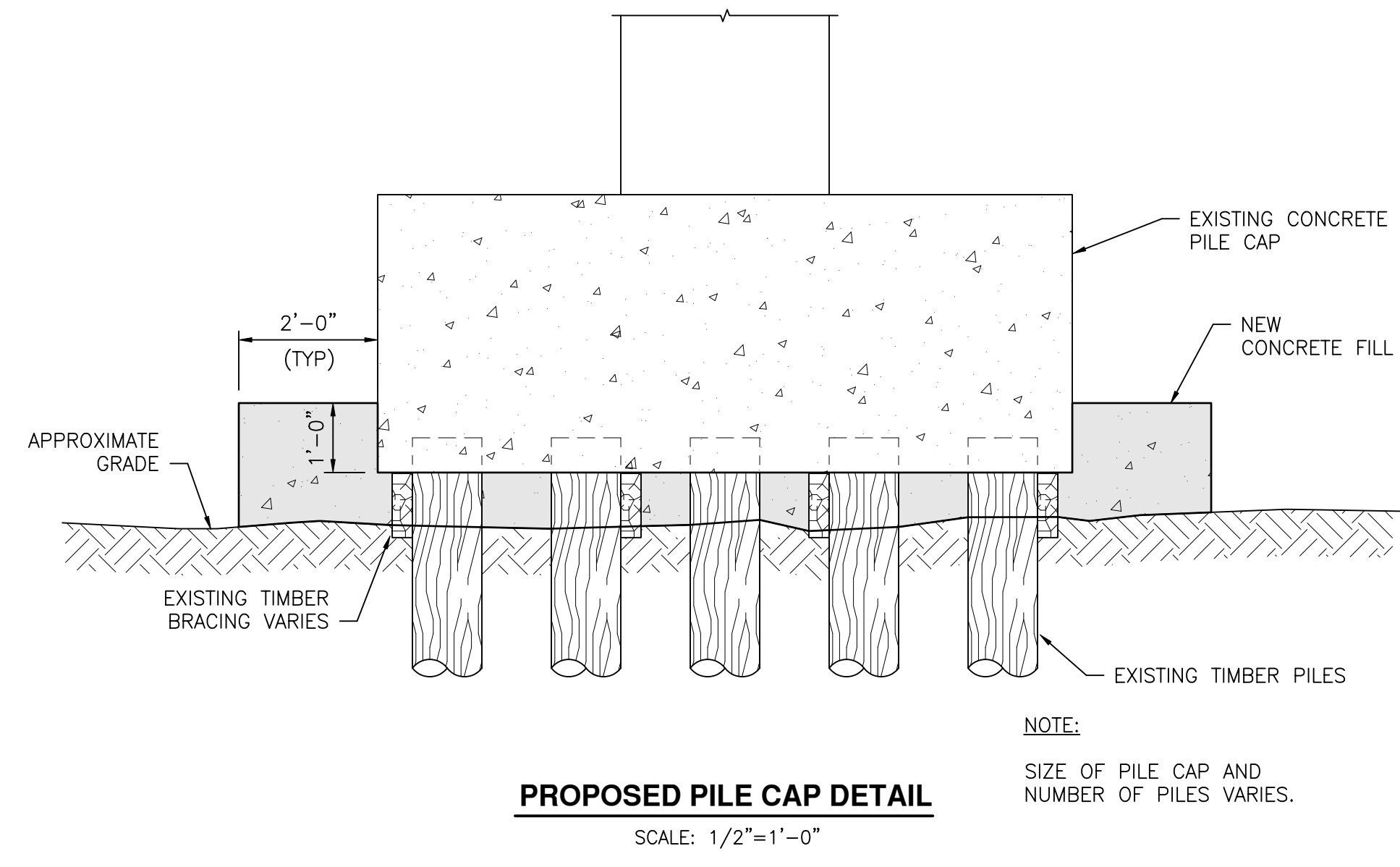
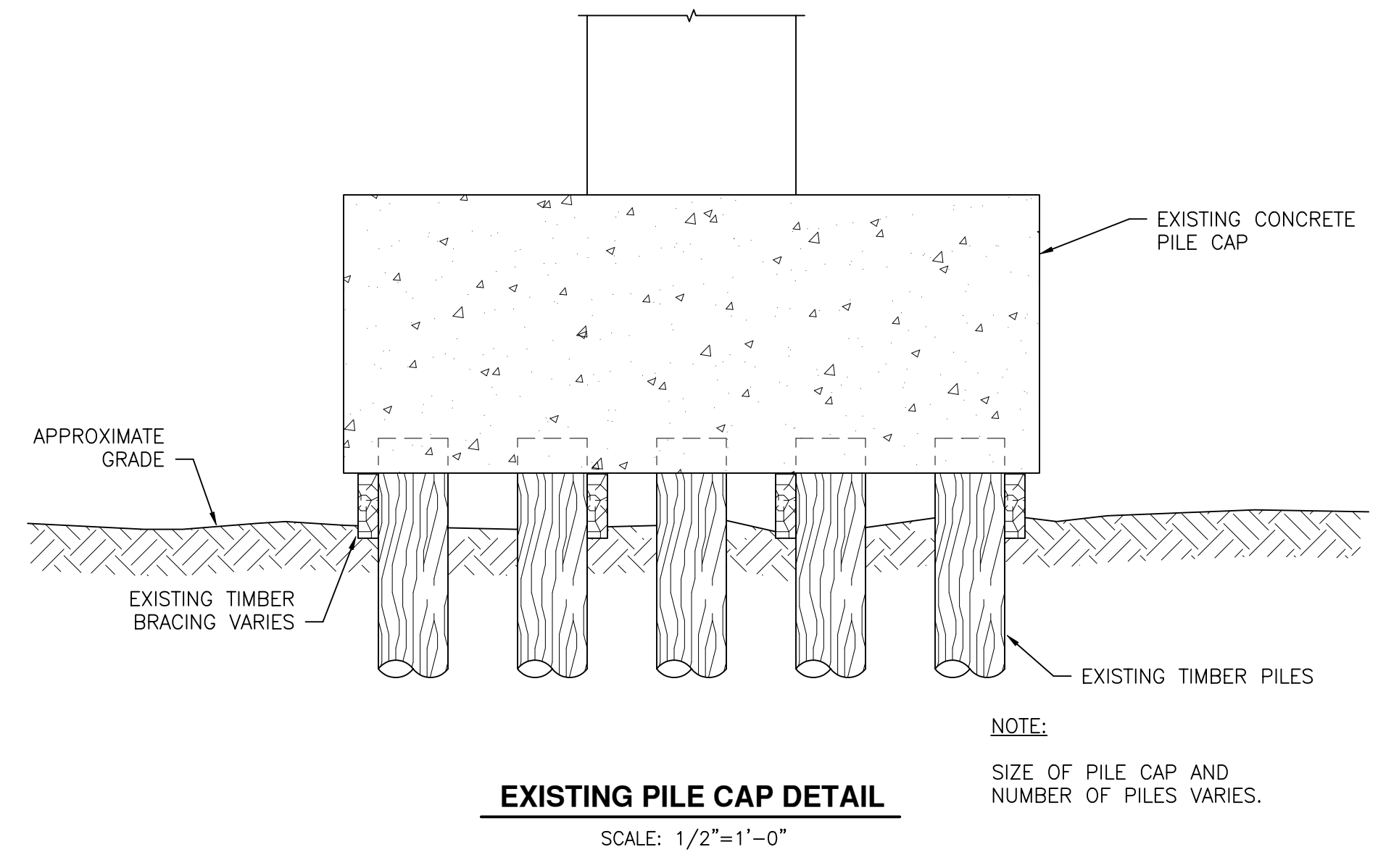
PLANS PREPARED BY CHILDS ENGINEERING

TOM QUINN K:\2715-16.00 88 BLACK FALCON - DAVIS COMPANIES\CADD\PERMIT DWGS\NO\271516 X-101 CONCRETE CAP REPAIRS.DWG Jun 15, 2018 - 12:54pm



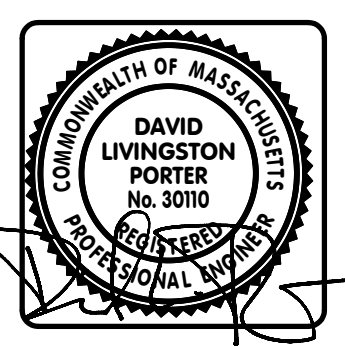
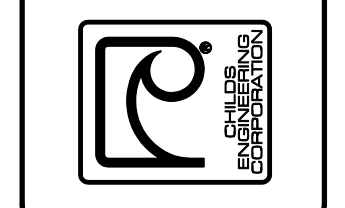
FOUNDATION PLAN
SCALE: 1"=40'-0"

- LEGEND**
- APPROXIMATE AREA OF CONCRETE FILL = 61,845 SF
 - (N85) NORTH PILE CAP WALL NUMBERS
 - (S85) SOUTH PILE CAP WALL NUMBERS



FOR NOTICE OF INTENT

CHILDS ENGINEERING CORPORATION
34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
Phone: (508) 966-9092 Fax: (508) 966-9096
E-mail: mol@childseng.com

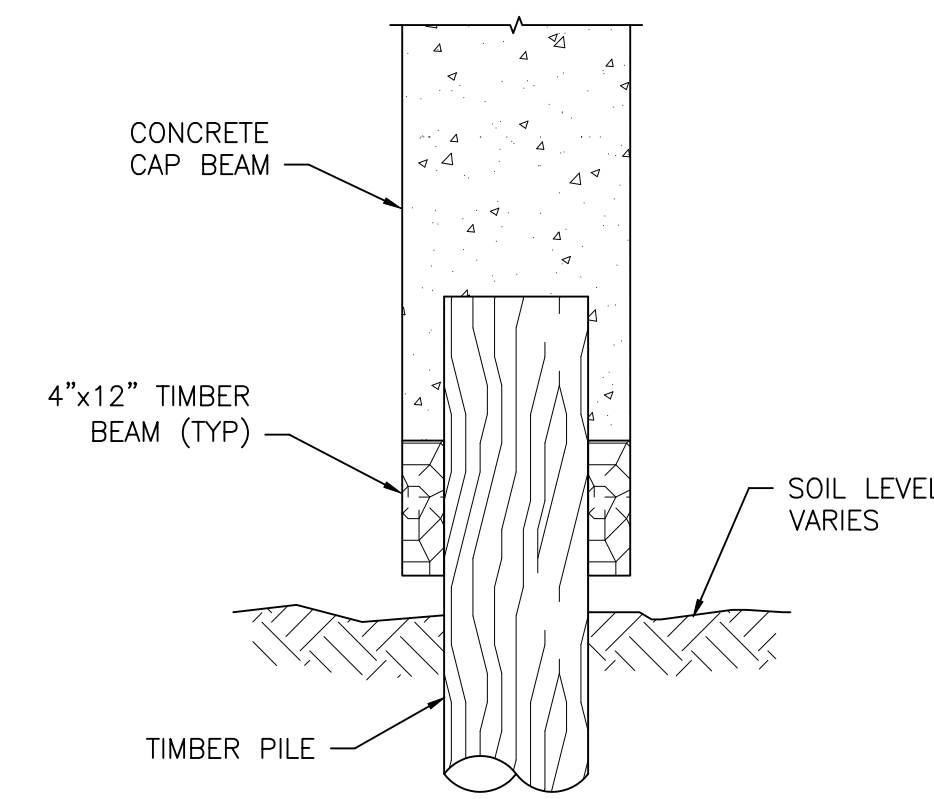
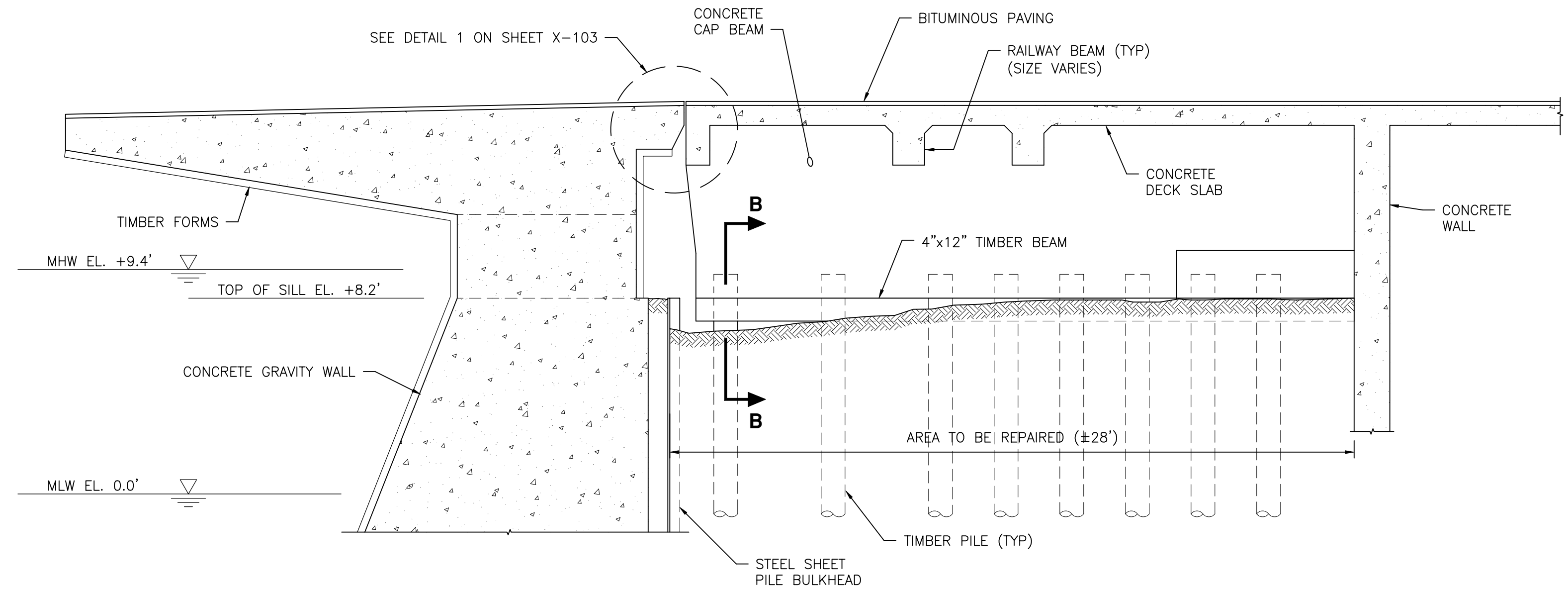


Date	Appr.	Description

Designed by:	Date:	12/28/17
Drawn by:	Design file no.:	271516 X-101
TEQ	Scale:	AS NOTED
DLP	Reviewed by:	DLP

BLACK FALCON PIER
DAVIS COMPANIES
BOSTON, MA
**CONCRETE CAP
REPAIR PLAN**

Sheet reference number:
X-101
Sheet 1 of 8

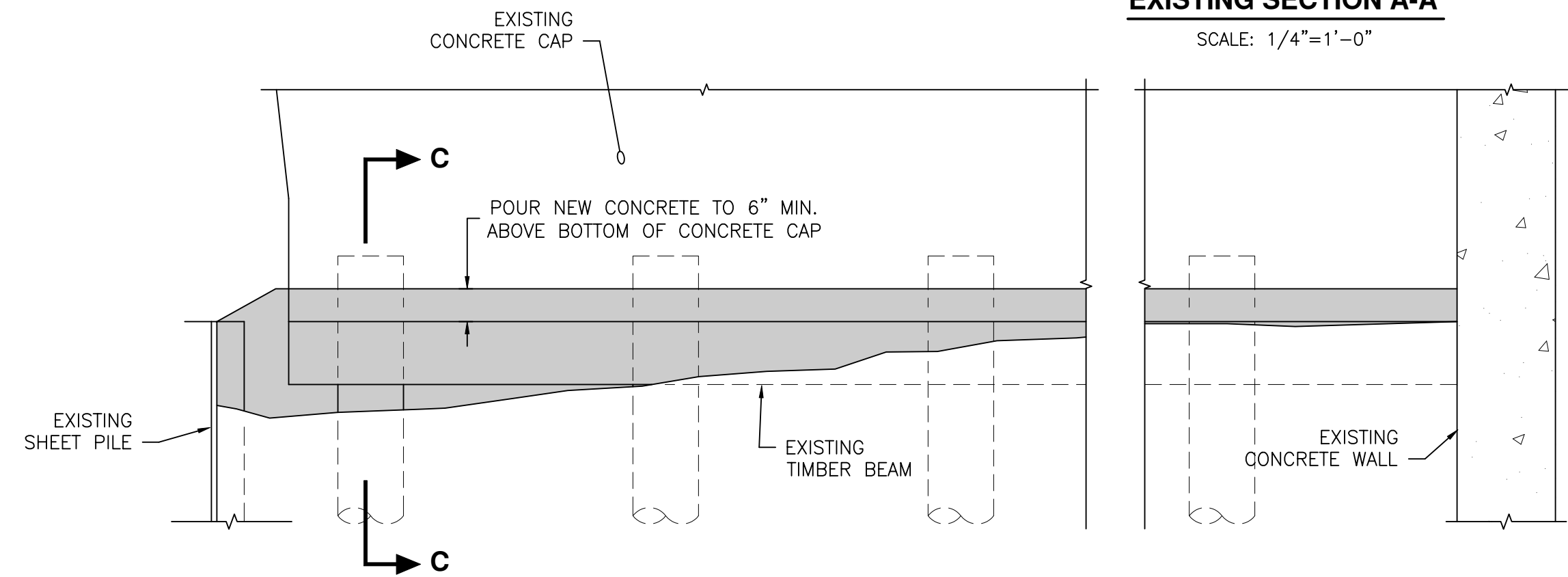


EXISTING SECTION A-A

SCALE: 1/4"=1'-0"

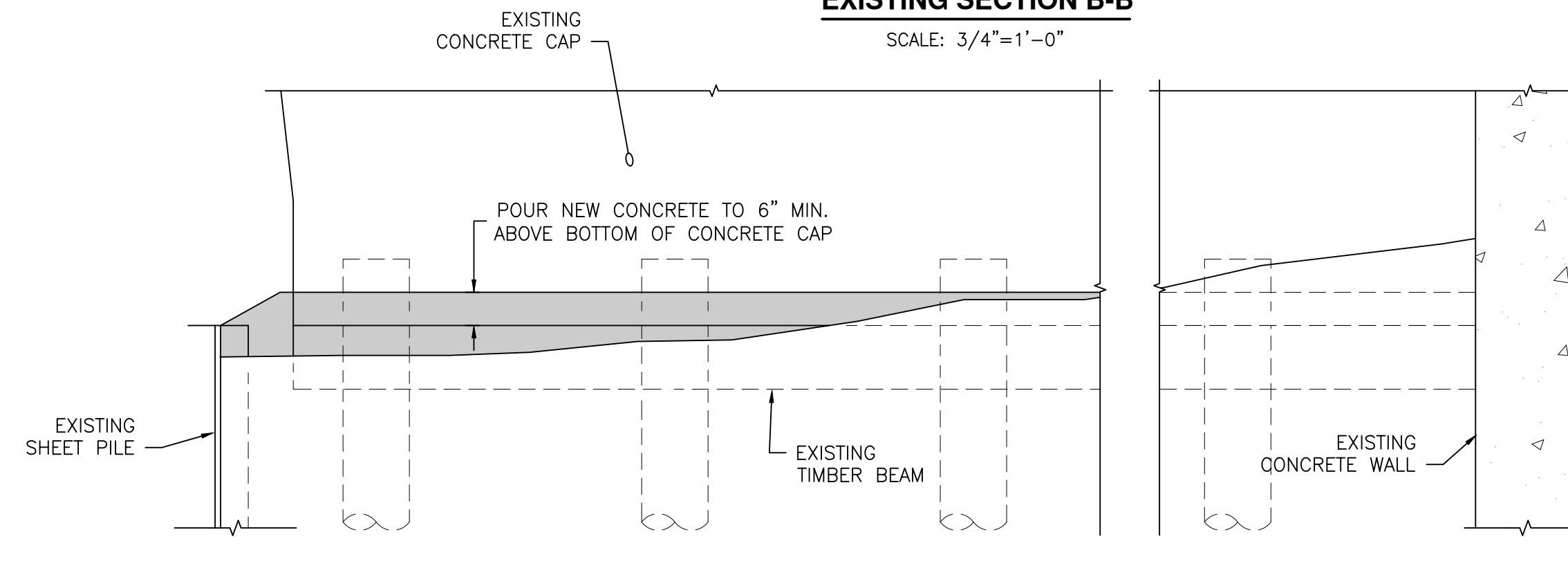
EXISTING SECTION B-B

SCALE: 3/4"=1'-0"



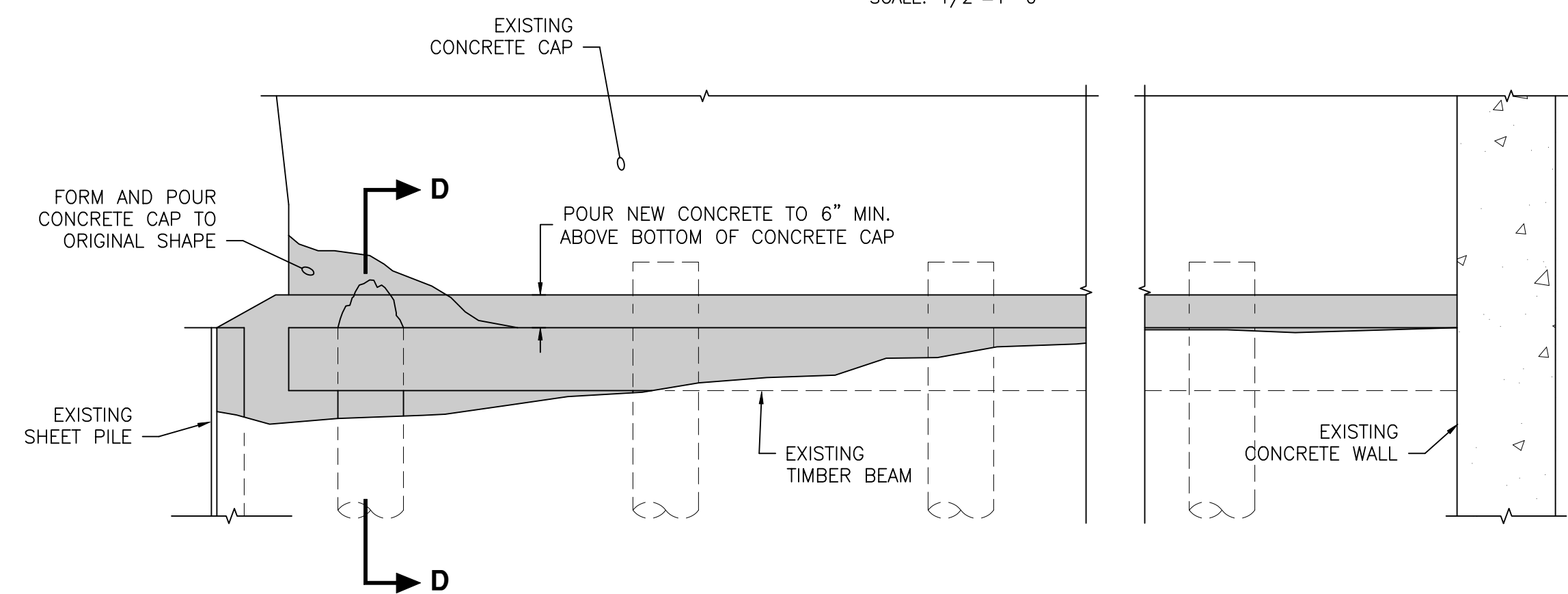
PROPOSED SECTION W/MAJOR SOIL EROSION AND NO CONCRETE CAP DETERIORATION

SCALE: 1/2"=1'-0"



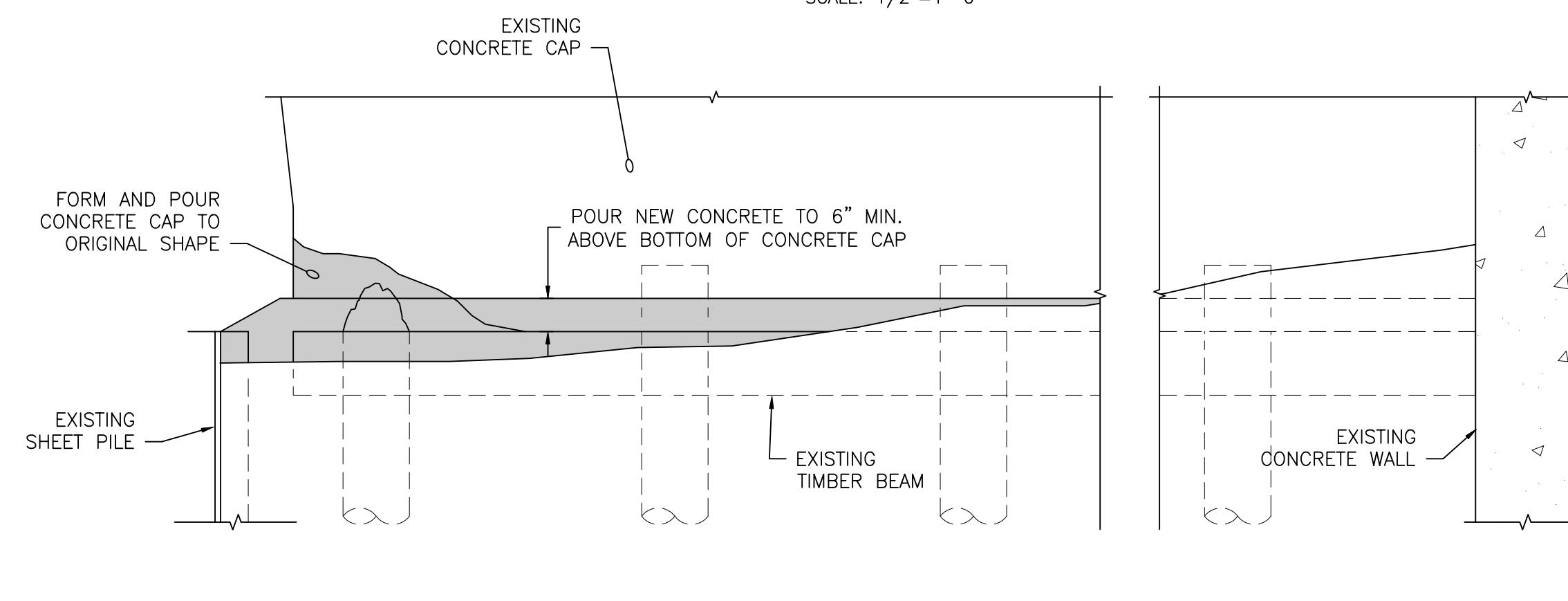
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SCALE: 1/2"=1'-0"



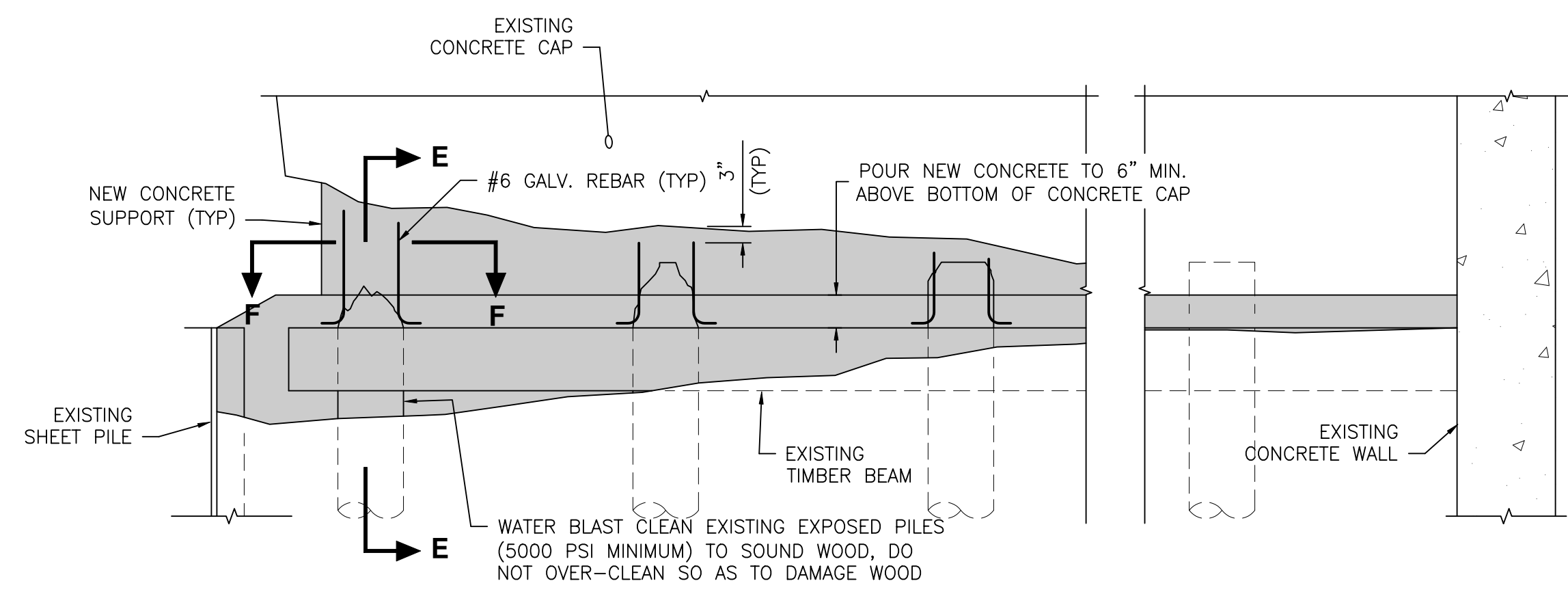
PROPOSED SECTION W/MAJOR SOIL EROSION AND MINIMAL CONCRETE CAP DETERIORATION

SCALE: 1/2"=1'-0"



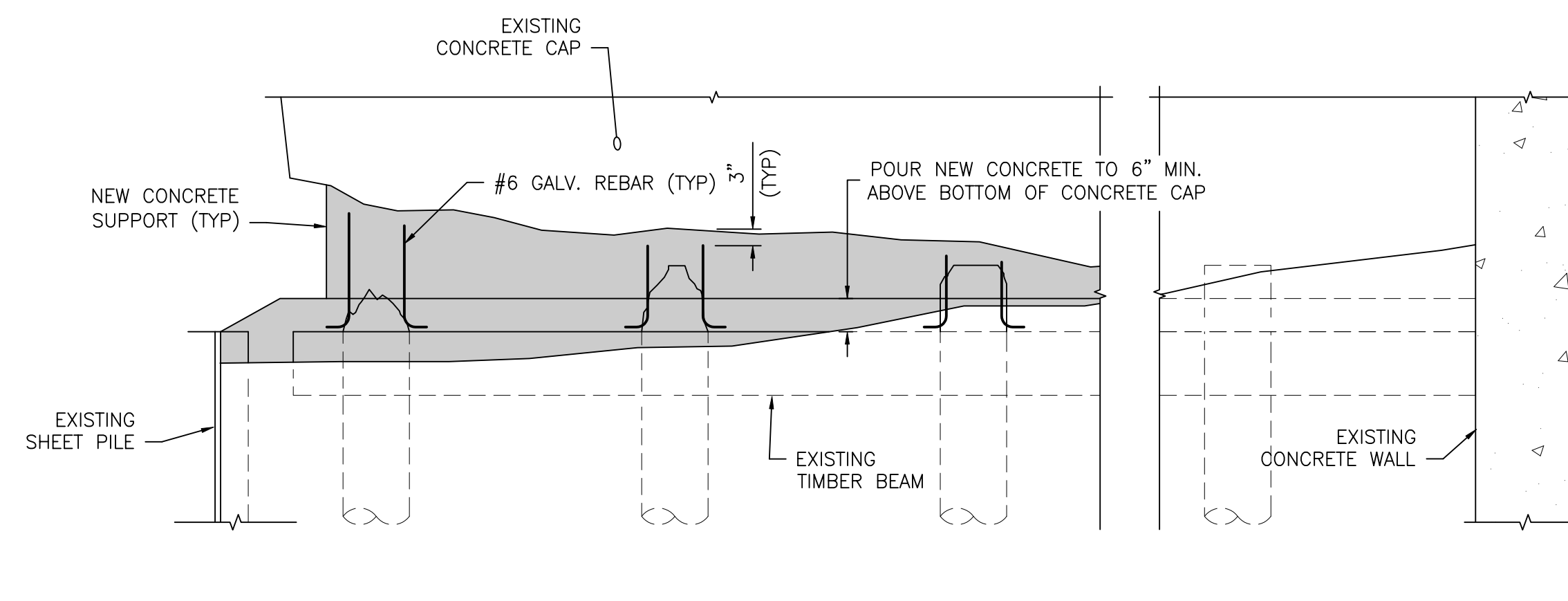
PROPOSED SECTION W/MINIMAL SOIL EROSION AND MINIMAL CONCRETE CAP DETERIORATION

SCALE: 1/2"=1'-0"



PROPOSED SECTION W/MAJOR SOIL EROSION AND MAJOR CONCRETE CAP DETERIORATION

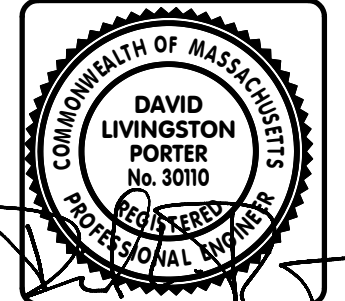
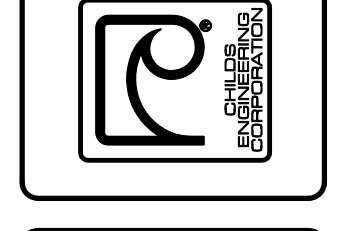
SCALE: 1/2"=1'-0"



PROPOSED SECTION W/MINIMAL SOIL EROSION AND MAJOR CONCRETE CAP DETERIORATION

SCALE: 1/2"=1'-0"

CHILDS ENGINEERING CORPORATION
 34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
 Phone: (508) 966-9052 Fax: (508) 966-9056
 E-mail: mol@childseng.com



Rev.	Description	Date	Appr.

Designed by:	DLP	Date:	12/28/17
Drawn by:	TEC	Design file no.:	271516 X-101
Checked by:	DLP	Scale:	AS NOTED
Reviewed by:	DLP		

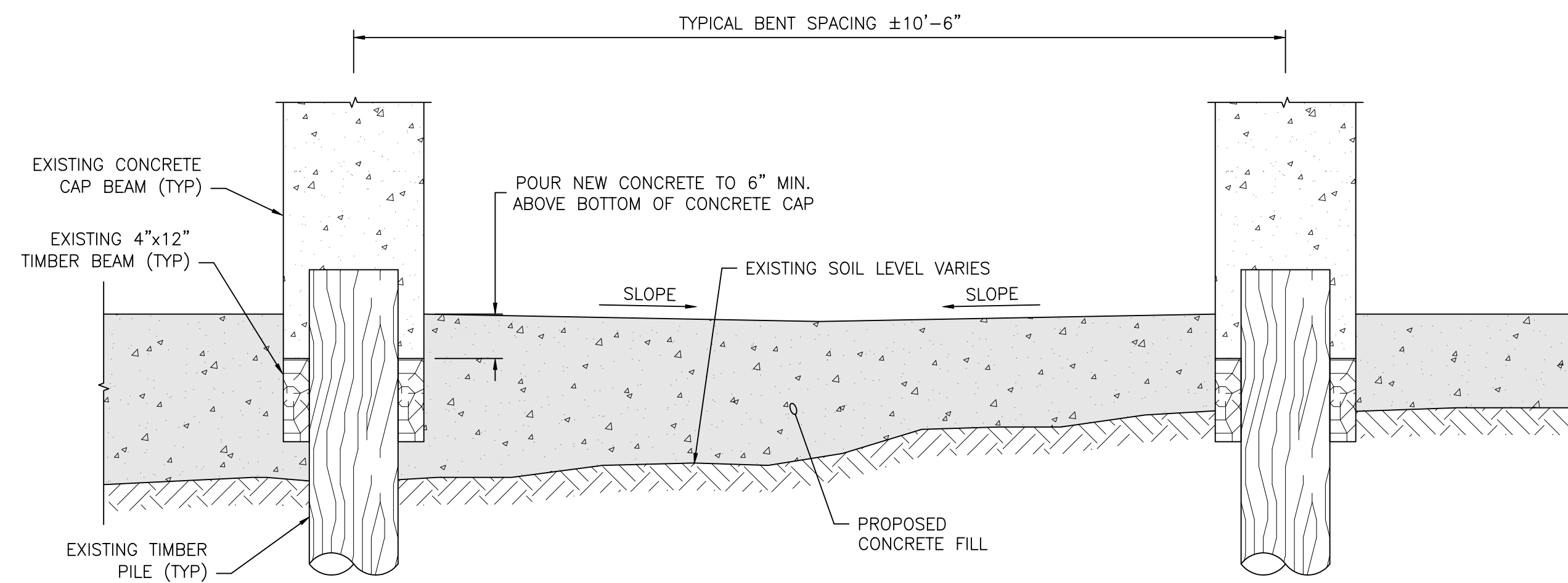
BLACK FALCON PIER DAVIS COMPANIES BOSTON, MA	CONCRETE CAP REPAIR DETAILS
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Sheet reference number:	X-102
Sheet of	2 of 8

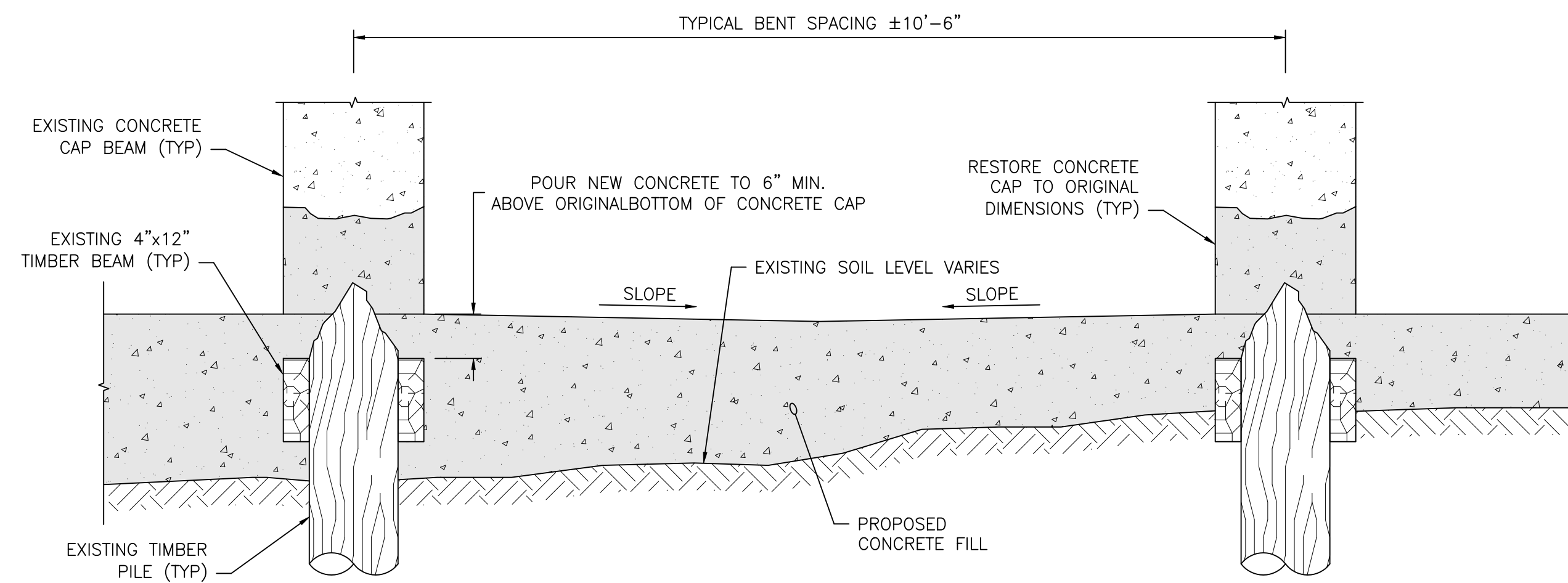
**FOR NOTICE
 OF INTENT**

TOM QUINN K:\2715-16.00 88 BLACK FALCON - DAVIS COMPANIES\CADD\PERMIT DWGS\NO\271516 X-101 CONCRETE CAP REPAIRS.DWG Jan 15, 2018 12:55pm

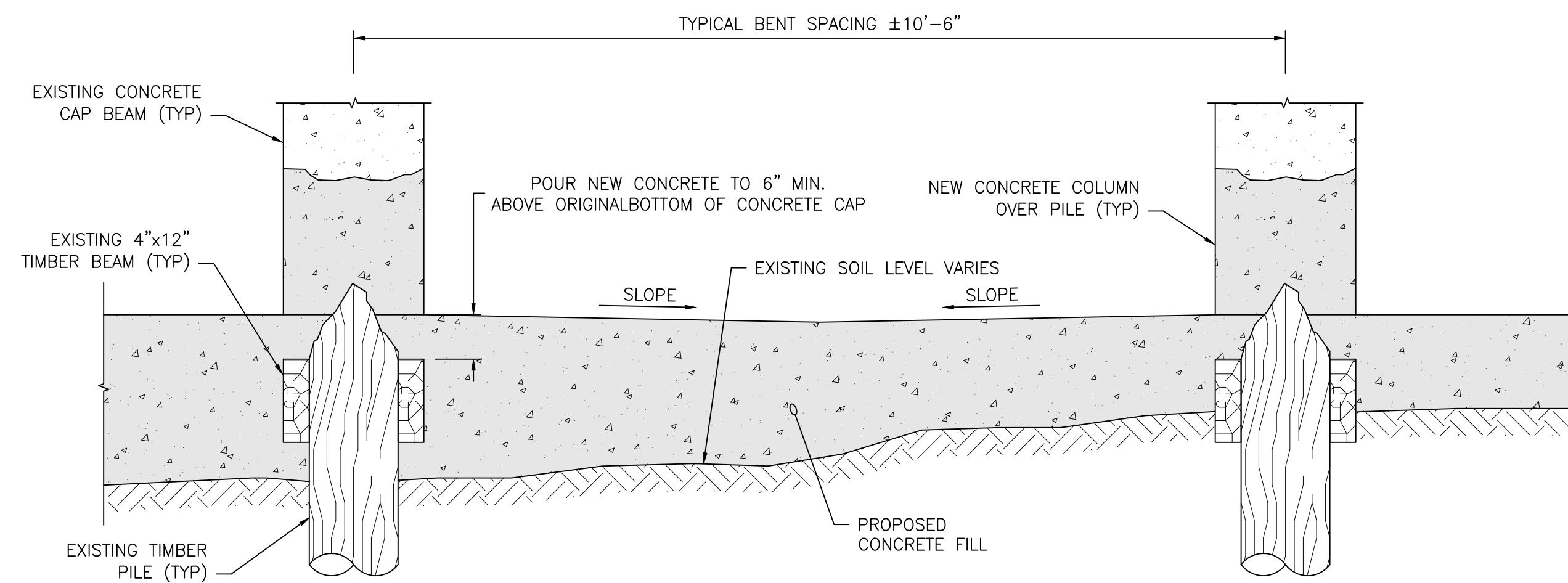
TOM QUINN K:\2715-16.00 88 BLACK FALCON - DAVIS COMPANIES\CADD\PERMIT DWGS\NOI\271516 X-101 CONCRETE CAP REPAIRS.DWG Jan 15, 2018 - 12:55pm



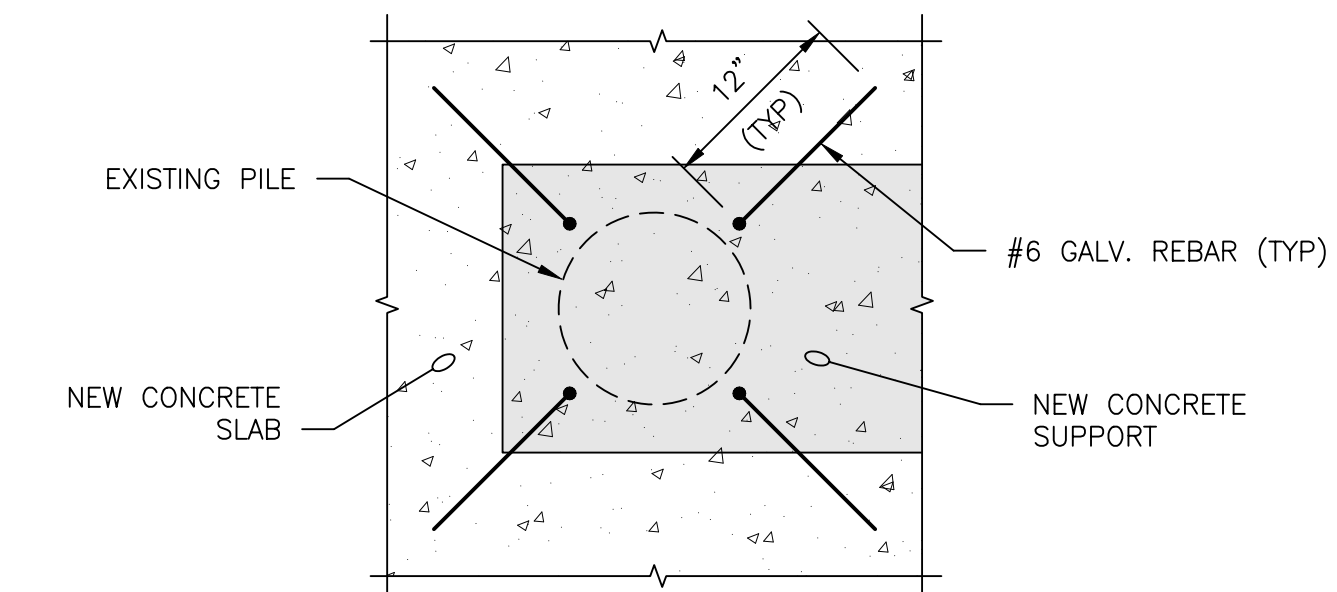
PROPOSED SECTION C-C
SCALE: 3/4"=1'-0"



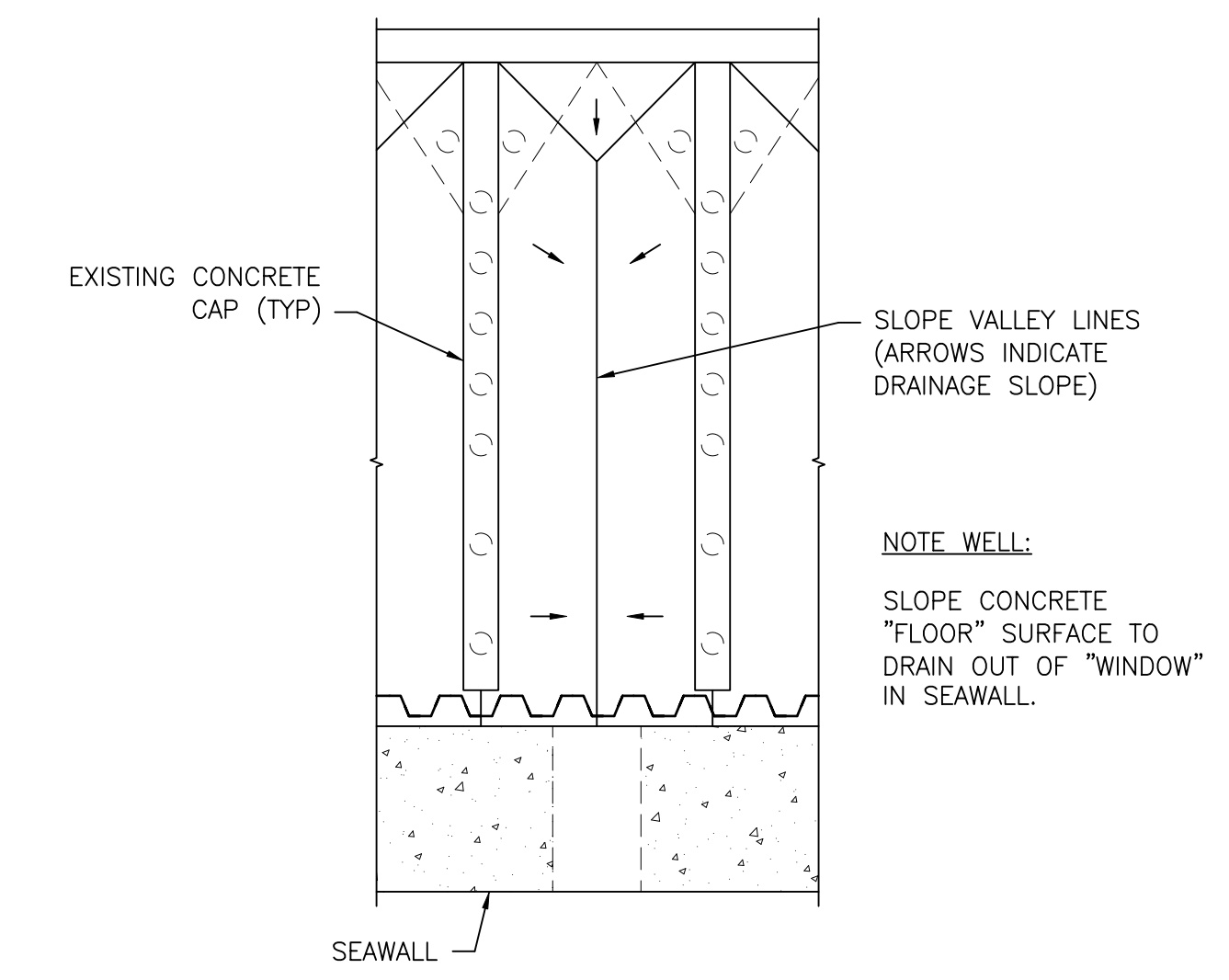
PROPOSED SECTION D-D
SCALE: 3/4"=1'-0"



PROPOSED SECTION E-E
SCALE: 3/4"=1'-0"

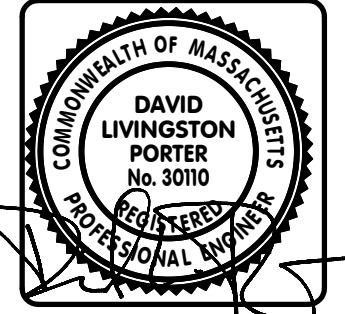
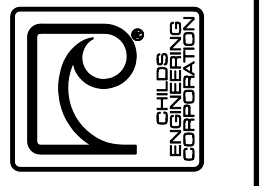


SECTION F-F
SCALE: 1"=1'-0"



TYPICAL SLAB DRAINAGE
SCALE: 1/8"=1'-0"

CHILDS ENGINEERING CORPORATION
34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
Phone: (508) 966-9092 Fax: (508) 966-9096
E-mail: mol@childseng.com



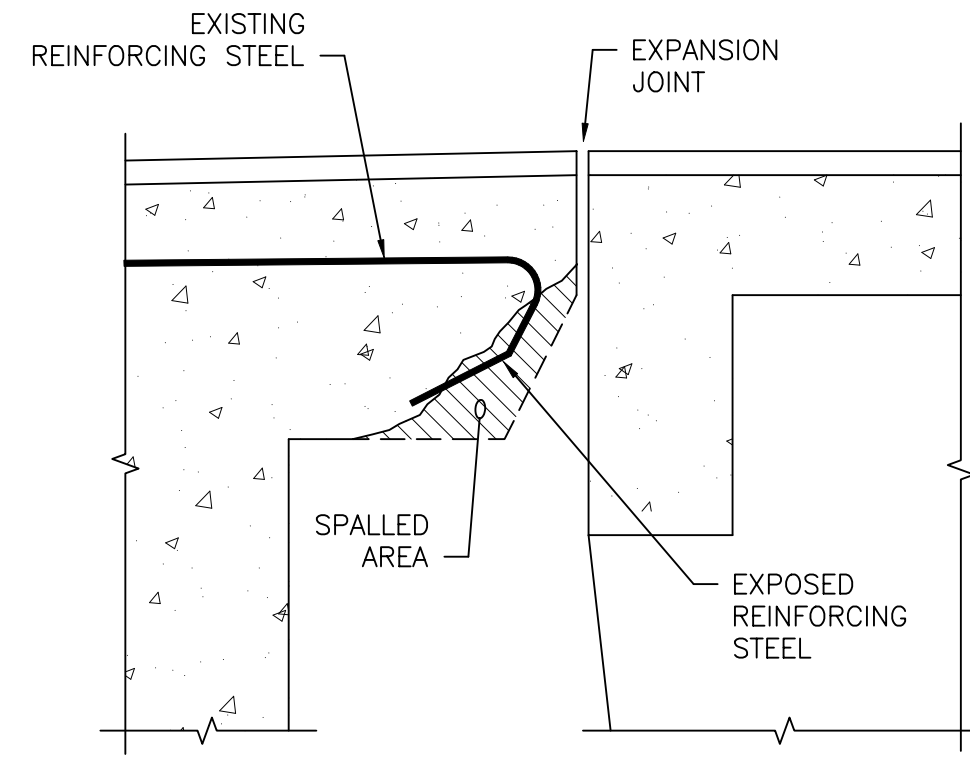
Mark	Description	Date	Appr.

Designed by:	DLP	Date:	12/28/17
Drawn by:	TEQ	Design file no.:	271516 X-101
Checked by:	DLP	Scale:	AS NOTED
Reviewed by:	DLP		

BLACK FALCON PIER
DAVIS COMPANIES
BOSTON, MA
CONCRETE CAP
REPAIR DETAILS

Sheet reference number:
X-103
Sheet 3 of 8

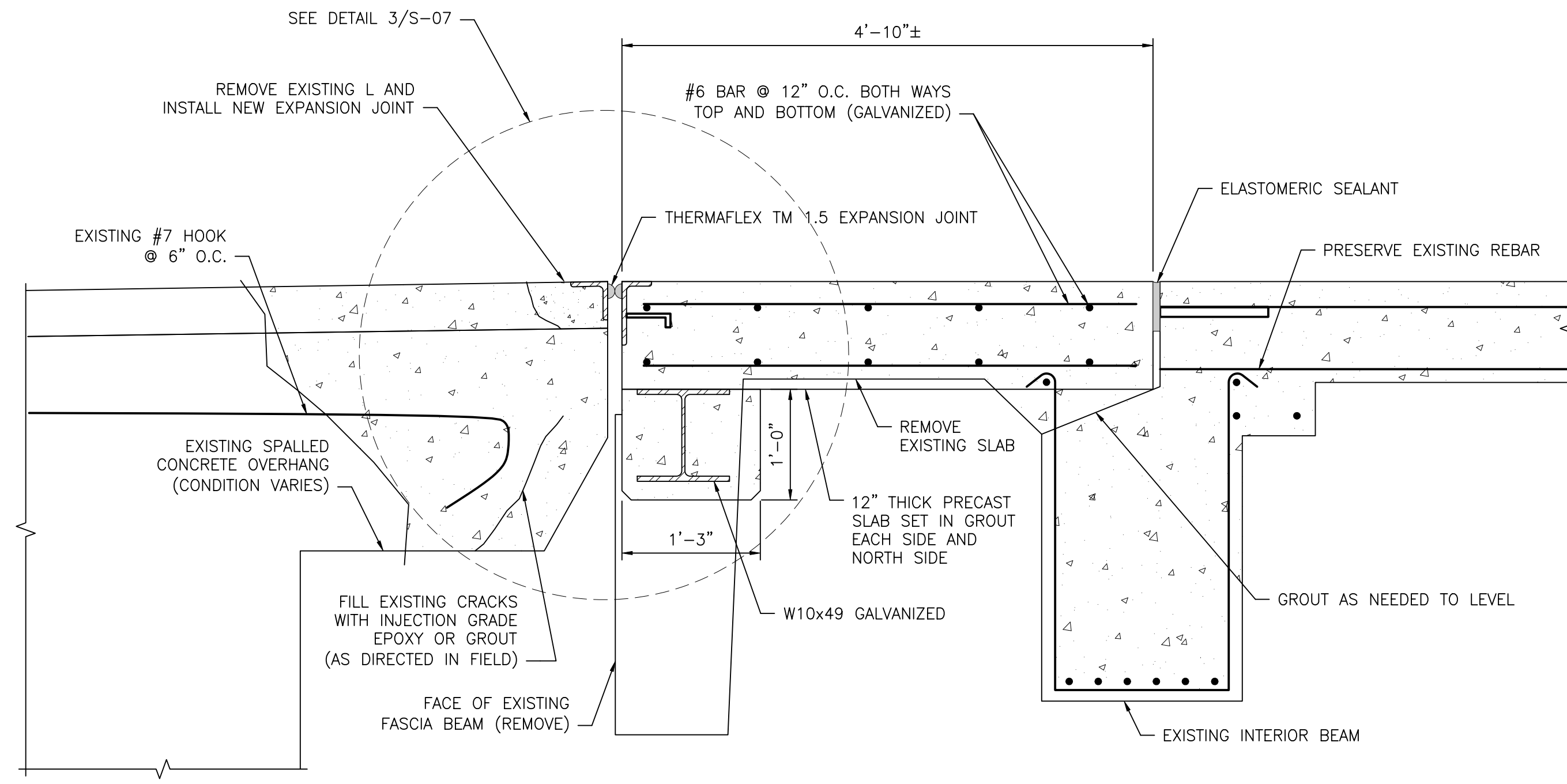
FOR NOTICE OF INTENT



DETAIL 1 - EXPANSION JOINT REPAIR

SCALE: 3/4"=1'-0"

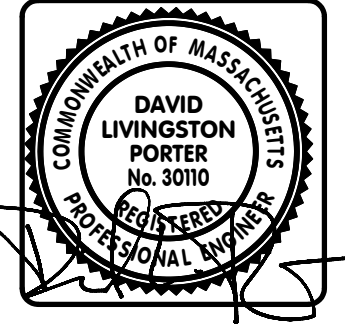
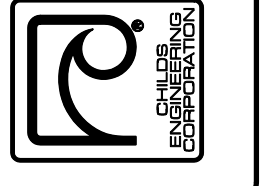
NOTE:
CLEAN REINFORCING STEEL AND APPLY SIKA ARMATEC 110 EPOCEM ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.



DETAIL 2 - EXPANSION JOINT REPLACEMENT

SCALE: 1"=1'-0"

CHILDS ENGINEERING CORPORATION
34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
Phone: (508) 966-9092 Fax: (508) 966-9096
E-mail: mail@childsendg.com



Mark	Date	Appr.	Description

Designed by:	DLP	Date:	12/28/17
Drawn by:	TEQ	Design file no.:	271516 X-101
Checked by:	DLP	Scale:	AS NOTED
Reviewed by:	DLP		AS NOTED

BLACK FALCON PIER
DAVIS COMPANIES
BOSTON, MA
**EXPANSION JOINT
REPAIR DETAILS**

Sheet reference number:
X-104
Sheet 4 of 8

**FOR NOTICE
OF INTENT**

SPECIFICATIONS CONTINUED

3.7.4.1 Placing

The placing foreman shall not permit placing to begin until he has verified that appropriate placement, consolidation and finishing equipment, which are in working order and have competent operators, are available.

3.7.4.2 Time and Mix Pot Life

Dispose of material if it is beyond the designated time or pot life.

3.7.4.3 Air Content

Whenever a test result is outside the specification limits, do not deliver the concrete to the forms and adjust the dosage of the air-entrainment admixture.

3.7.4.4 Slump

Whenever a test result is outside the specification limits, do not deliver the concrete to the forms and an adjustment should be made in the batch weights of water and fine aggregate. The adjustments are to be made so that the water-cementitious materials ratio does not exceed that specified in the submitted concrete mixture proportion.

3.7.4.5 Temperature

Whenever a test result is outside the specified limits, dispose of material and prepare a new batch.

3.7.4.6 Curing

- a. Moist-Curing Corrective Action – When a daily inspection report lists an area of inadequate curing, take immediate corrective action, and extend the required curing period for such areas by one (1) day.
- b. Sheet-Curing Corrective Action – When a daily inspection report lists any tears, holes, or laps or joints that are not completely closed, promptly repair the tears and holes or replace the sheets, close the joints, and extend the required curing period for those areas by one (1) day.

3.7.4.7 Laboratory Test Results

If compression, air content, splitting tensile and/or dry shrinking test results fall outside of specified limits, remove defective material and install material meeting specified limits.

3.7.5 Final Inspection and Acceptance Testing

Following completion of the work, inspect repairs for cracking, crazing, delamination, unsoundness, staining and other defects. Inspect the finish and surface tolerances of the repairs to verify that all requirements have been met. Repair all surfaces exhibiting defects as directed at no cost to the Owner when defects are due to Contractor workmanship or procedures.

3.7.6 Reports

Report the results of all tests and inspections conducted at the project site informally at the end of each shift and in writing weekly and deliver within 3 days after the end of each weekly reporting period.

Reports on lab tests shall be submitted within 35 days of pouring operations.

3.7.7 Manufacturer Field Service

Provide the services of the manufacturer's technical representative experienced in mixture proportioning and placement procedures approved for the repair materials.

Provide, at no additional cost to the Owner, the services of the manufacturer's experienced technical representative during mixture proportioning, planning and production. The manufacturer's representative shall be available for consultation by both the Contractor and the Engineer during mixture proportioning, planning, and production of the materials and shall be on-site immediately prior to and during at least the first placement of the material, and at other times if directed.

3.8 CLEAN UP

Clean all surfaces of concrete and adjacent facilities which are stained by dirt, oil, grease, fuel, or other byproducts that are created by the construction operations with detergent and pressure wash. Dispose of debris in accordance with applicable local, state, and federal laws.

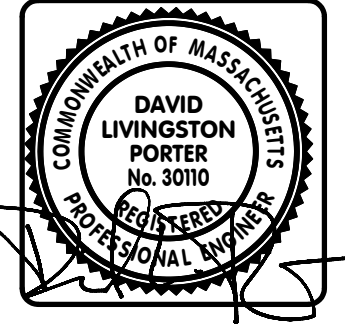
3.9 PROTECTION PRIOR TO ACCEPTANCE

Where shelter or other protective measures are provided for repair during inclement weather, maintain such protective measures until the repair material has cured and discontinuance of the measures is authorized.

3.10 FINAL ACCEPTANCE

Contractor to seal all cracks in repairs prior to the end of the warranty period at the 11 month period. Cracks shall be repaired with a flexible sealer such as Sikaflex 1A.

CHILDS ENGINEERING CORPORATION
 34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
 Phone: (508) 966-9052 Fax: (508) 966-9086
 E-mail: mail@childseng.com

Mark	Date	Appr.	Description

Designed by: DLP	Date: 12/28/17
Drawn by: TEQ	Design file no: 271516 X-101
Checked by: DLP	State: AS NOTED
Reviewed by: DLP	

**BLACK FALCON PIER
 DAVIS COMPANIES
 BOSTON, MA**

SPECIFICATIONS

Sheet
 reference
 number:
X-108
 Sheet 8 of 8

**FOR NOTICE
 OF INTENT**

EXHIBIT F

NOI FEE TRANSMITTAL FORMS



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

88 Black Falcon Avenue Boston
 a. Street Address b. City/Town
 State share \$512.50
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Brian Bishop
 a. First Name b. Last Name
 The Davis Companies
 c. Organization
 125 High Street
 d. Mailing Address
 Boston MA 02110
 e. City/Town f. State g. Zip Code
 617-799-4341 bbishop@TheDavisCompanies.com
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

Massachusetts Port Authority
 a. First Name b. Last Name
 c. Organization
 One Harborside Drive
 d. Mailing Address
 East Boston MA 02128
 e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 3 - Roadway Repair	1	\$1050	\$1050
City of Boston	%3M Cost	0.075%	\$1500 (max)
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
Step 5/Total Project Fee:			\$2550
Step 6/Fee Payments:			
Total Project Fee:			<u>\$2550</u>
			a. Total Fee from Step 5
State share of filing Fee:			<u>\$512.50</u>
			b. 1/2 Total Fee less \$12.50
City/Town share of filing Fee:			<u>\$1500</u>
			c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

PILE PROTECTION PROJECT

88 BLACK FALCON

This summary outlines the proposed project activities, existing conditions, anticipated impacts and mitigation measures to ensure that the proposed project minimizes impacts on wetland resource areas.

1.0 Project Purpose and Need

The proposed repairs are intended to stabilize and protect the existing roadway support piles from further deterioration. Some of the piles have undergone both mechanical and biological degradation. The deterioration noted appears to be fungal attack which has softened the timber pile surface. Piles which remain encased in the original concrete are assumed to be in good condition since they have been protected from exposure to oxygen and abrasion. In some cases, the overall cross-section of the piles has been reduced and/or the piles have lost contact with the concrete pile caps/beams.

Eliminating oxygen exposure will protect the piles from additional fungal deterioration. The encapsulation in concrete will also protect the piles from abrasion. The encapsulation repair will maintain the piles in their current “structural” condition.

The proposed repairs include protection of the piles by encapsulating them in low strength concrete. This will protect them from further fungal attack and abrasion. The repair also includes creating a concrete connection from the top of the new slab to the underside of the pile cap/beam. The extent of this reconnection repair is based on the required live load capacity of the roadway structure. The attached plans illustrate the proposed repair concept and the extent to which it will be implemented.

The proposed sequence of construction is “cleaning” the piles by washing with fresh water under pressure. The pressure wash will remove loose surface material which will enhance the bond of the concrete to the timber. Material which is removed during cleaning will be collected and disposed of properly. Once the cleaning is complete the concrete will be placed around the footings and in the bays. Once the slabs are placed and concrete has gained full strength, concrete will be placed from the slab to the bottom of the existing pile caps/beams. The proposed concrete extensions will occur directly over existing piles. The exposed piles under the building support footing at the east end of the structure will be protected in the same way as the piles in each roadway support bent.

2.0 Anticipated Impacts and Mitigation Measures

Resource Areas and Anticipated Impacts

Designated Port Area

A Designated Port Area means those areas designated in 301 CMR 25.00: Designation of Port Areas. The proposed project will not affect the concrete seawall which is located above Mean High Water within a Designated Port Area. Under section 310 CMR 26.00, when land under the ocean in designated port areas is found to be significant to the protection of marine fisheries, storm damage, prevention of flood control, 310 CMR 10.26 (3) and (4) shall apply.

There will be no permanent alterations to the land under the ocean within the designated port area as part of this project. The proposed repairs will be made within the same footprint of the roadway and will not change the overall footprint of the structure. The concrete repairs will be behind the existing seawall and any impacts to the harbor/resource area will be temporary in nature. Any construction debris will be collected and removed from the construction area daily. Thus there should be no adverse effects on the land under the ocean within the designated port area.

Coastal Banks

A Coastal Bank means the seaward face or side of any elevated landform, other than a coastal dune, which lies at the landward edge of land subject to tidal action or other wetland. The roadway is located inshore of a concrete seawall which is considered a manmade coastal bank and is significant to storm damage prevention or flood control because it is a vertical buffer to storm waters, thus the repairs performed inshore of the seawall will be subject 310 CMR 10.30, more specifically 10.30 (6) through (8).

The timber piles are inshore of the coastal bank and the repairs will be completed in the dry. The repairs will not significantly affect the coastal bank since they will have no adverse effects on the stability of the coastal bank. Additionally, the project site is not located within an estimated habitat of rare wildlife so it will not adversely affect this resource area.

Mitigation Measures

One of the proposed mitigation measures to reduce impacts due to the construction activities will be to have the Contractor deploy a floating debris boom around the proposed repair areas. This will prevent dispersal of debris material during construction work from migrating into the harbor. Additionally, the contractor shall be required to have hazardous materials spill prevention and clean up kits available on site for any waterborne equipment.

It is anticipated that the contractor will stage the construction, including all equipment and materials, from the roadway surface behind the seawall. We anticipate the contractor will use a small work skiff to remove all construction debris on a daily basis.

At the completion of the project, all construction equipment, material, and debris will be removed from the site.

Floodplain

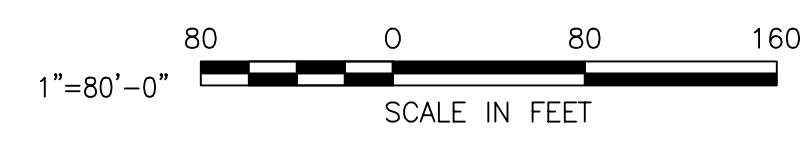
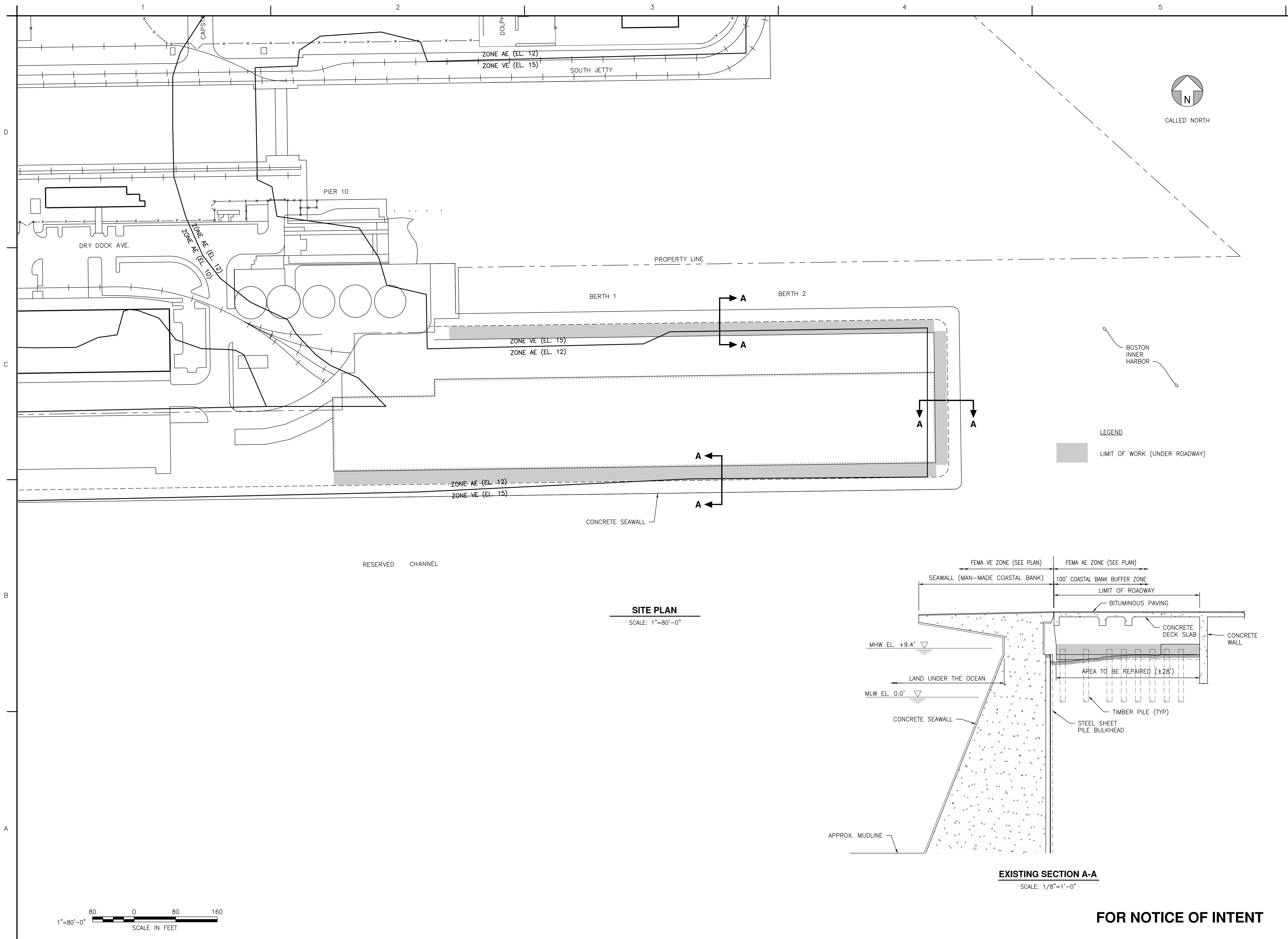
Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM) for the City of Boston FEMA Community Panel 25025C0081J was reviewed. As per review of the FIRM map, the project is located in Zone AE (EL. 12.0) and a VE (EL. 15.0) of this resource area. The proposed will not alter the topography of the site so it will have no impact on flood storage.

Alternatives

The proposed repairs will protect the existing roadway support piles from continued deterioration. If the piles are not protected it is estimated that the roadway capacity will be reduced to a point that load restriction will be required which will require modification of vehicle operations on the site.

If the piles aren't protected it is possible that the roadway foundation will need be replaced at some time in the future. The replacement would include removing the roadway surface and associated support beams and pile caps. New piles would have to be driven and new pile caps and a roadway surface installed. We estimate that rebuild would have significantly greater impacts on flood storage during the construction phase.

TOM QUINN K:\2715-16.00 88 BLACK FALCON - DAVIS COMPANIES\CADD\PERMIT DWGS\NOI\271516 X-001 SITE PLAN.DWG Sep. 28, 2018 - 3:09pm

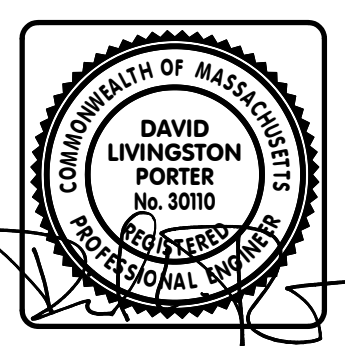


SITE PLAN
SCALE: 1"=80'-0"

EXISTING SECTION A-A
SCALE: 1/8"=1'-0"

LEGEND
 LIMIT OF WORK (UNDER ROADWAY)

CHILDS ENGINEERING CORPORATION
 34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
 Phone: (508) 966-9092 Fax: (508) 966-9096
 E-mail: noi@childseng.com



Mark	Date	Appr.	Description

Designed by:	DLP	Date:	09/28/18
Drawn by:	TEQ	Drawn file no.:	271516 X-001
Checked by:	DLP	Scale:	1"=80'-0"
Reviewed by:	DLP		

BLACK FALCON PIER
 DAVIS COMPANIES
 BOSTON, MA

SITE PLAN

Sheet reference number:
X-001
 Sheet 1 of 1

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