

LIME

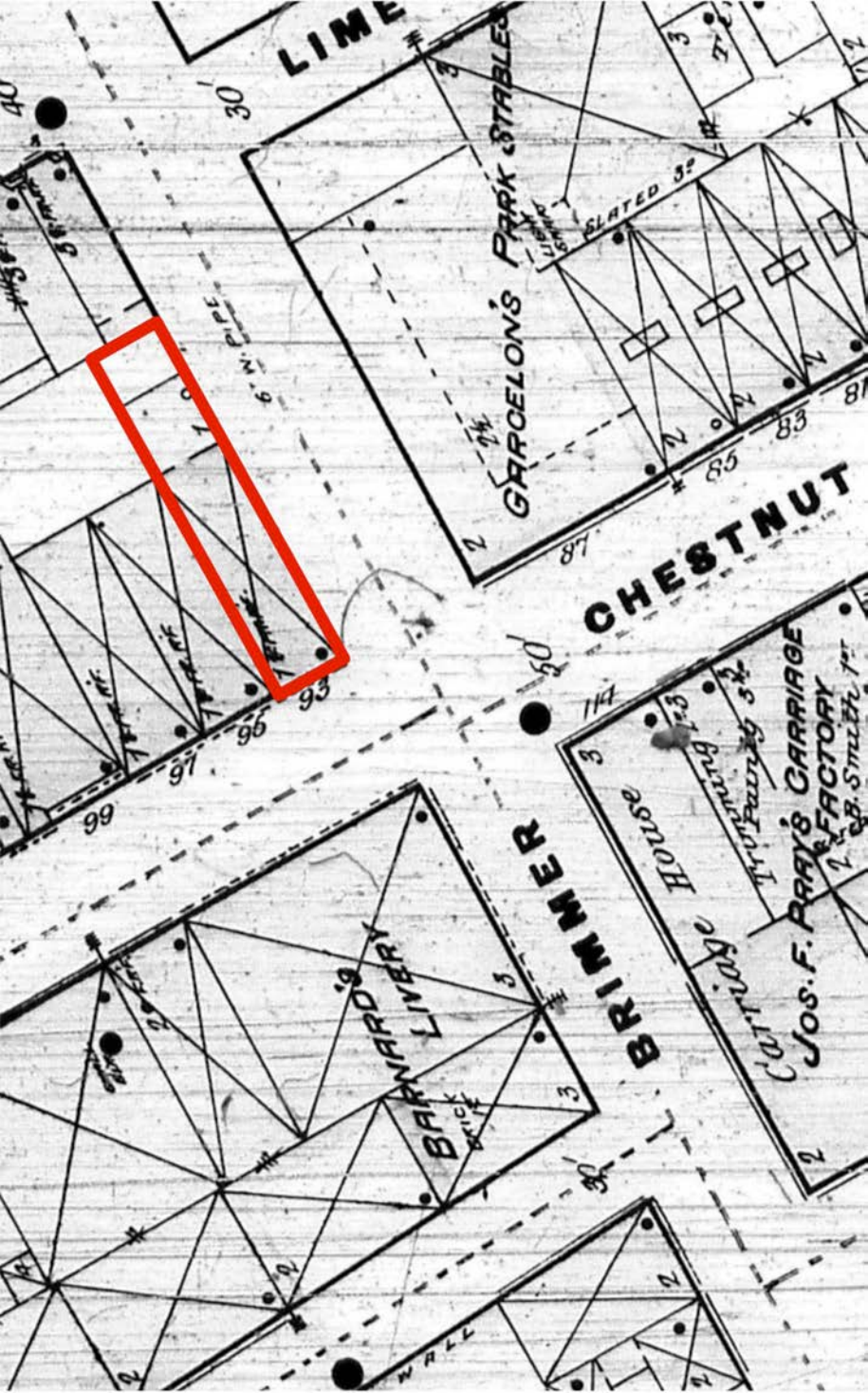
GARCELON'S PARK STABLES

CHESTNUT

BRIMMER

BARNARD'S LIVERY

JOS. F. PARYS' GARRIAGE & FACTORY
CARRIAGE HOUSE
Preparatory Shop
C.B. Smith Jr.



NEIGHBORHOOD CONTEXT

180708-IMG_6041.JPG



Westerly View Down Chestnut Street from Front of the Building

NEIGHBORHOOD CONTEXT

180708-IMG_6037.JPG



Southerly View Along Brimmer Street from East of Building Across the Street

NEIGHBORHOOD CONTEXT

180708-IMG_6035.JPG



Northwesterly View of Otis Place & Brimmer Street

NEIGHBORHOOD CONTEXT

180708-IMG_6036.JPG



Southwesterly View of Building from Brimmer Street

NEIGHBORHOOD CONTEXT

180718-IMG_8970.jpg



Westerly View of Rear Structure from Brimmer Street

NEIGHBORHOOD CONTEXT

180718-IMG_8943.jpg



Northwesterly View of Abutting Buildings from Upper Roof of 57 Brimmer Street

NEIGHBORHOOD CONTEXT

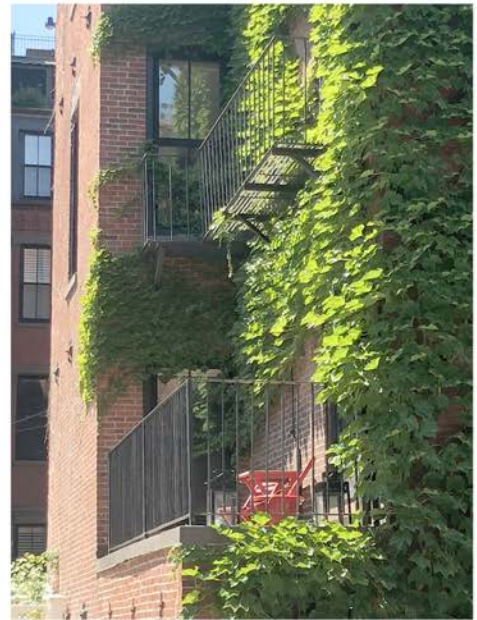
180718-IMG_8971.jpg



Adjacent Buildings on Otis Place Abutting 57 Brimmer Street (At Left)

NEIGHBORHOOD CONTEXT

180718-IMG_8977.jpg



Roof Decks and Fire Escape Balconies at Otis Place Buildings Adjacent to 57 Brimmer Street

MT VERNON ST

OTIS PL

LIME ST

N2

N1



NE

E1

E2

SW

SE

CHESTNUT ST

W2

W1

S1

BEAVER PL

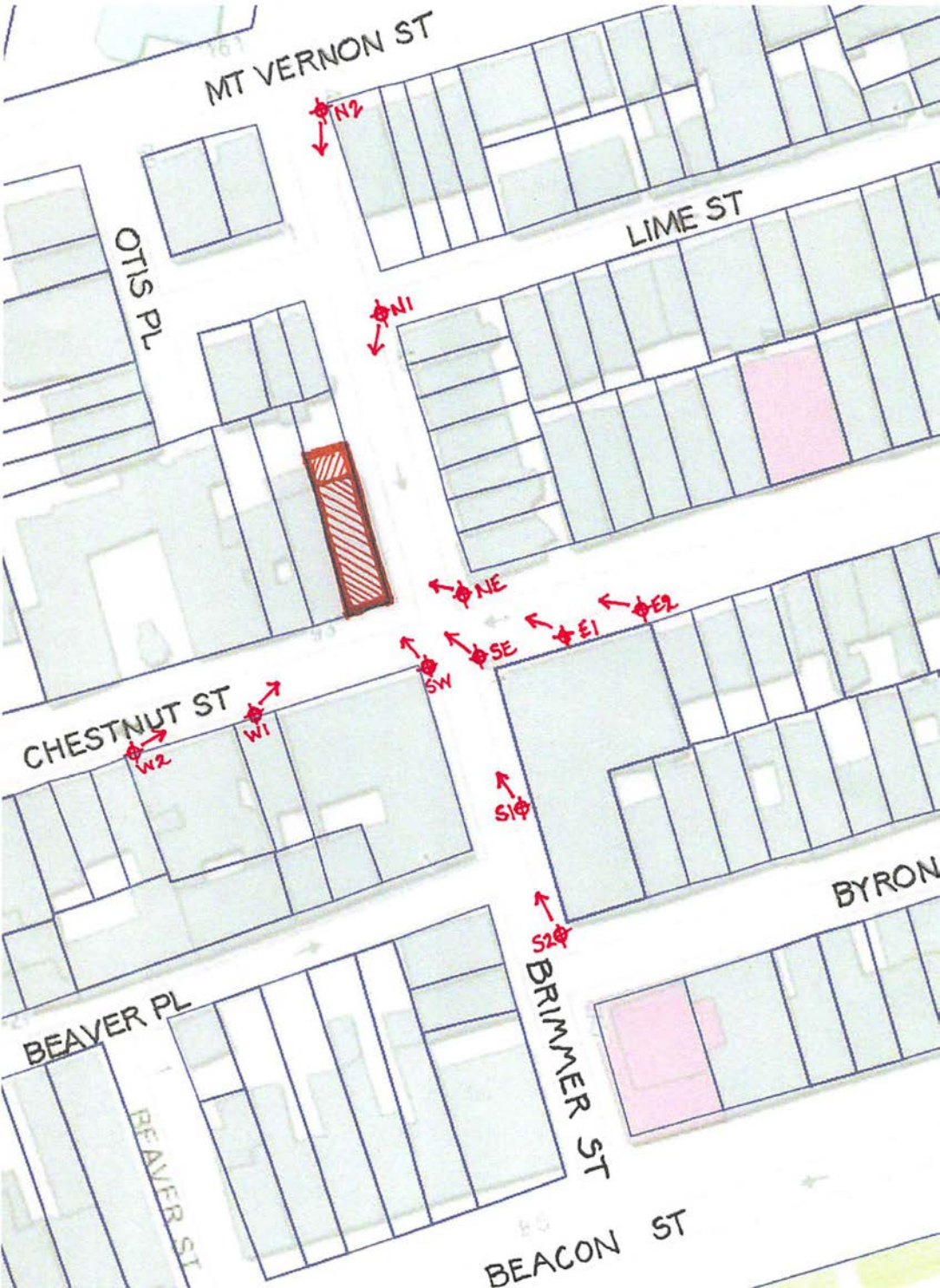
BEAVER ST

BRIMMER ST

BYRON

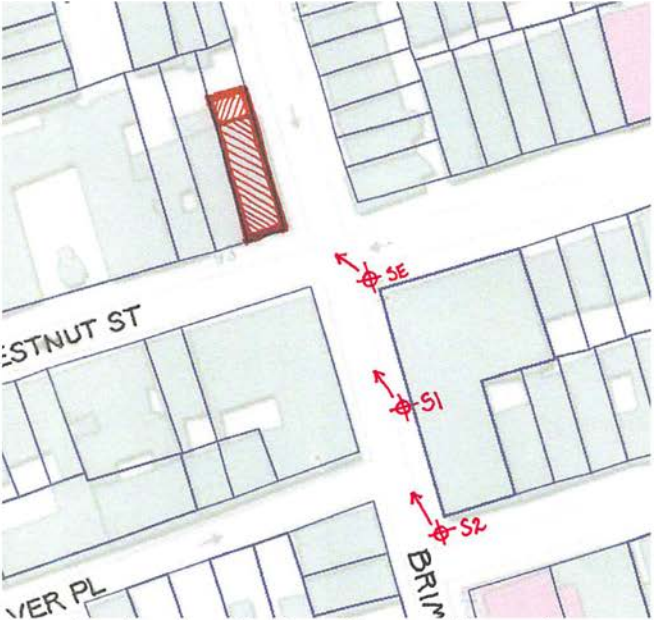
BEACON ST

66



VIEWS FROM PUBLIC WAYS

01 Views S.pdf



SE: View from Southeast Corner of Intersection;
S1: View from Middle of Brimmer Street Garage;
S2: View from Brimmer and Byron Streets

VIEWS FROM PUBLIC WAYS

180718-IMG_8963.jpg



SE: View from Southeast Corner of Intersection;
No Visible Change to Skyline From This View

VIEWS FROM PUBLIC WAYS

180718-IMG_8965.jpg



S1: View from Middle of Brimmer Street Garage;
No Visible Change to Skyline From This View

VIEWS FROM PUBLIC WAYS

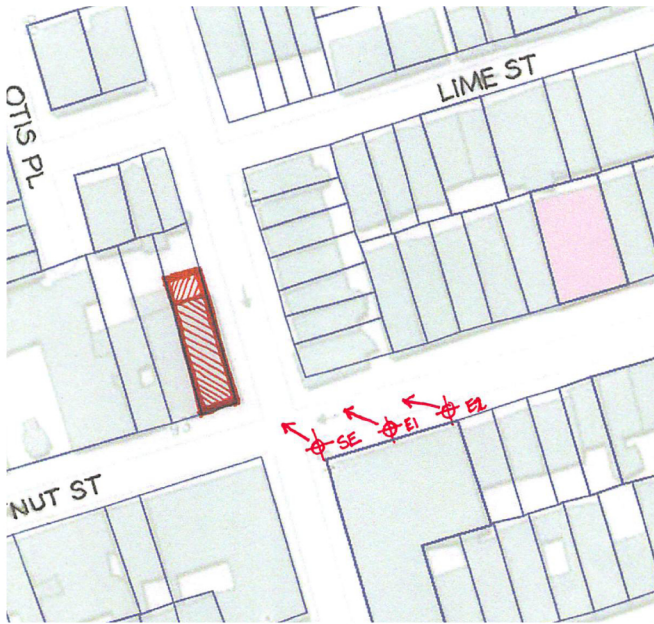
180718-IMG_8964.jpg



S2: View from Brimmer and Byron Streets;
No Visible Change to Skyline From This View

VIEW FROM PUBLIC WAYS

02 Views E.pdf



SE: View from Southeast Corner of Intersection;
E1: View from Middle of Brimmer Street Garage;
E2: View from East End of Brimmer Street Garage

VIEW FROM PUBLIC WAYS

180718-IMG_8968.jpg



SE: View from Southeast Corner of Intersection;
E1: View from Middle of Brimmer Street Garage;
E2: View from East End of Brimmer Street Garage

VIEW FROM PUBLIC WAYS

180718-IMG_8967.jpg



E1: View from Middle of Brimmer Street Garage;
No Visible Change to Skyline From This View

VIEW FROM PUBLIC WAYS

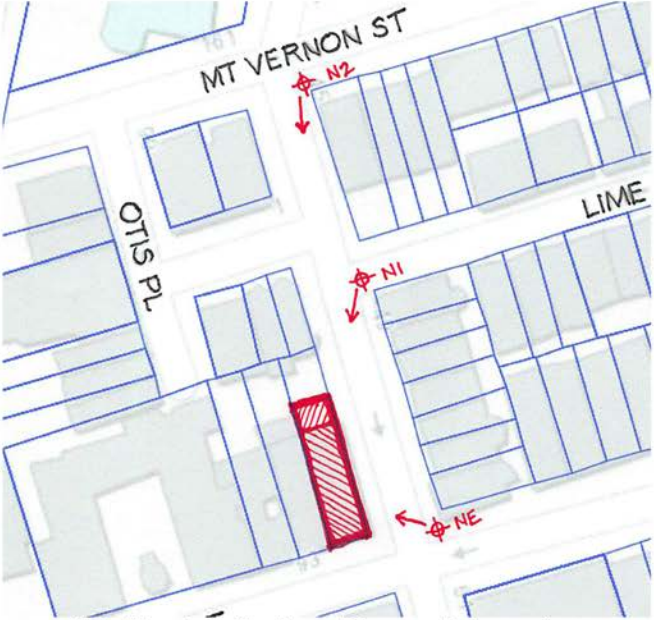
180718-IMG_8966.jpg



E2: View from East End of Brimmer Street Garage;
No Visible Change to Skyline From This View

VIEWES FROM PUBLIC WAYS

03 Views N.pdf



NE: View from Northeast Corner of Intersection;
N1: View from Lime & Brimmer Street Intersection;
N2: View from Mt. Vernon & Brimmer Street

VIEWES FROM PUBLIC WAYS

180718-IMG_8969.jpg



NE: View from Northeast Corner of Intersection;
No Visible Change to Skyline From This View

VIEWES FROM PUBLIC WAYS

180712-IMG_8820.jpg



N1: View from Lime & Brimmer Street Intersection;
No Visible Change to Skyline From This View

VIEWES FROM PUBLIC WAYS

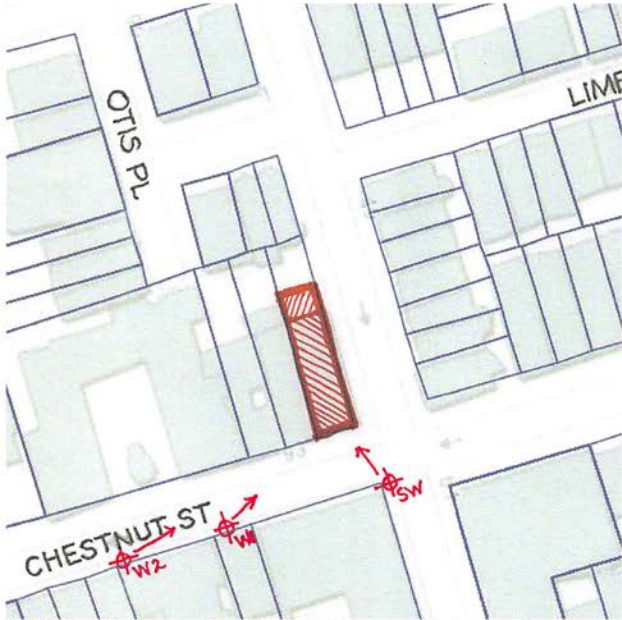
180712-IMG_8821.jpg



N2: View from Mt. Vernon & Brimmer Street;
No Visible Change to Skyline From This View

VIEWS FROM PUBLIC WAYS

04 Views W.pdf



SW: View from Southwest Corner of Intersection;
W1: View from 124 Chestnut Street;
W2: View from 130 Chestnut Street

VIEWS FROM PUBLIC WAYS

180718-IMG_8962.jpg



SW: View from Southwest Corner of Intersection;
No Visible Change to Skyline From This View

VIEWS FROM PUBLIC WAYS

180718-IMG_8975.jpg



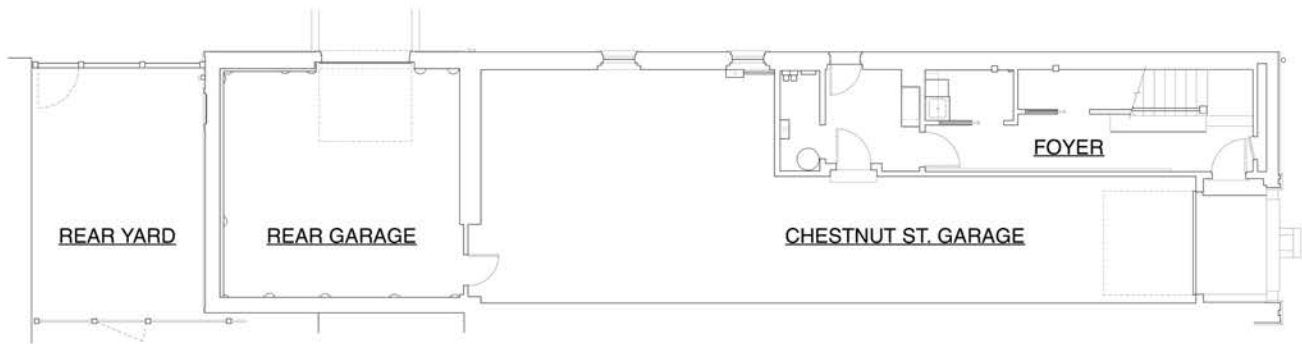
W1: View from 124 Chestnut Street;
No Visible Change to Skyline From This View

VIEWS FROM PUBLIC WAYS

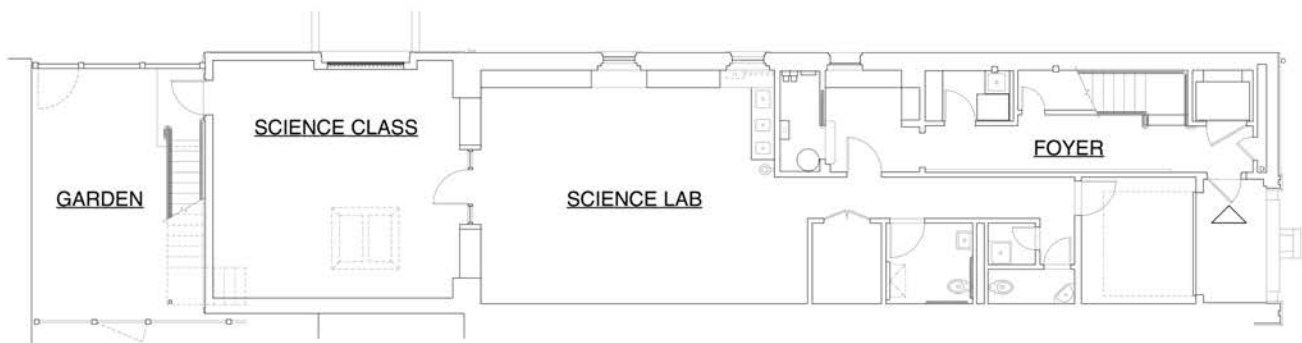
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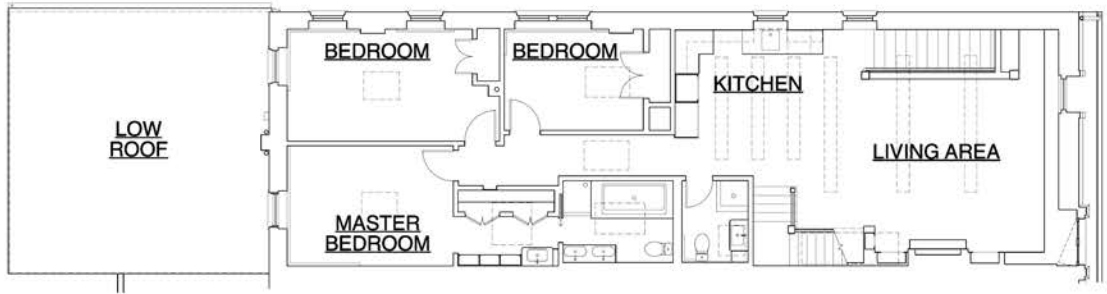
W2: View from 130 Chestnut Street;
No Visible Change to Skyline From This View



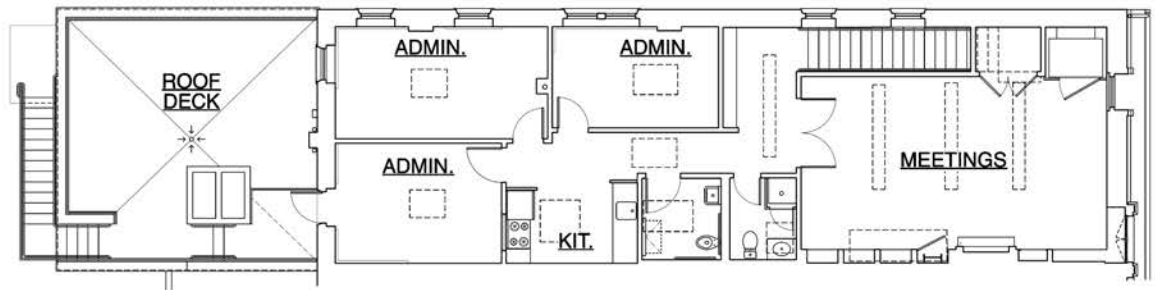
*EXISTING FIRST FLOOR (Chestnut Street at Right; Brimmer Street Above);
Chestnut Street Garage Portico and Interior Has Repaired Pile Foundations & Recently Constructed Wood-Framed Foyer;
Rear Garage Deteriorated with Cracked Slab, Sonotube Piers and Pressure-Treated Sills at Grade*



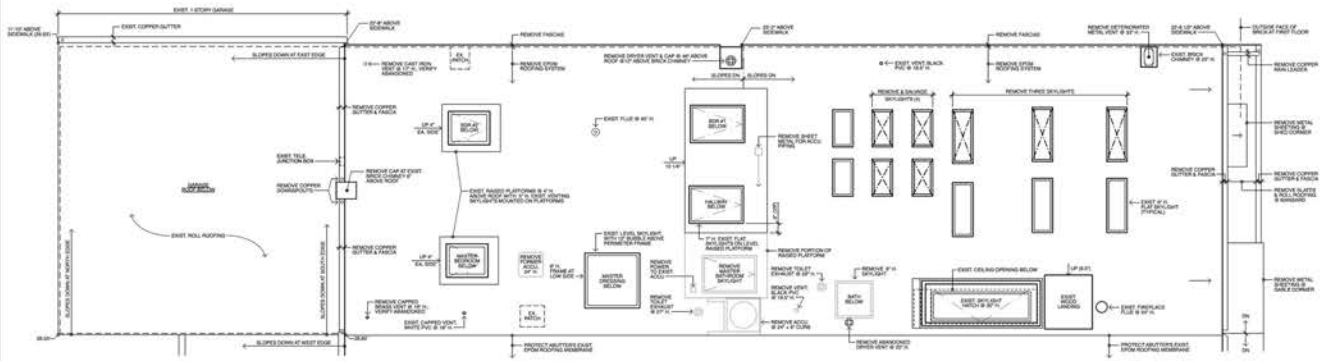
*PROPOSED FIRST FLOOR (Chestnut Street at Right; Brimmer Street Above);
Exterior Portico Unchanged at Chestnut Street with Exception of Passage Door Lowered for Outswing Accessible Entry;
Rear Garage Reconstructed for Pile Foundations, Rated Party Wall and Egress into Rear Yard Thru Former Door*



*EXISTING SECOND FLOOR (Chestnut Street at Right; Brimmer Street Above);
Living Area, Kitchen, Three Bedrooms, Two Baths, One Means of Egress, Low Roof at Rear*



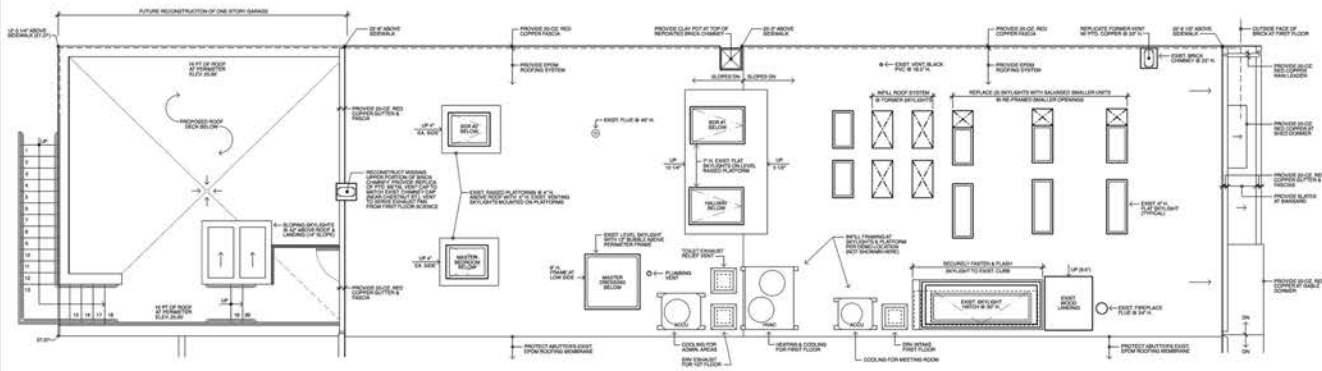
*PROPOSED SECOND FLOOR (Chestnut Street at Right; Brimmer Street Above);
Meeting Room at Former Living Room, Vertical Wheelchair Lift for Access, Administrative Offices;
Reconstructed Rear One-Story Structure for Roof Deck & Second Means of Egress via Fire Escape*



1.0 EXISTING ROOF PLAN
Scale: 1/4" = 1'-0"

NORTH

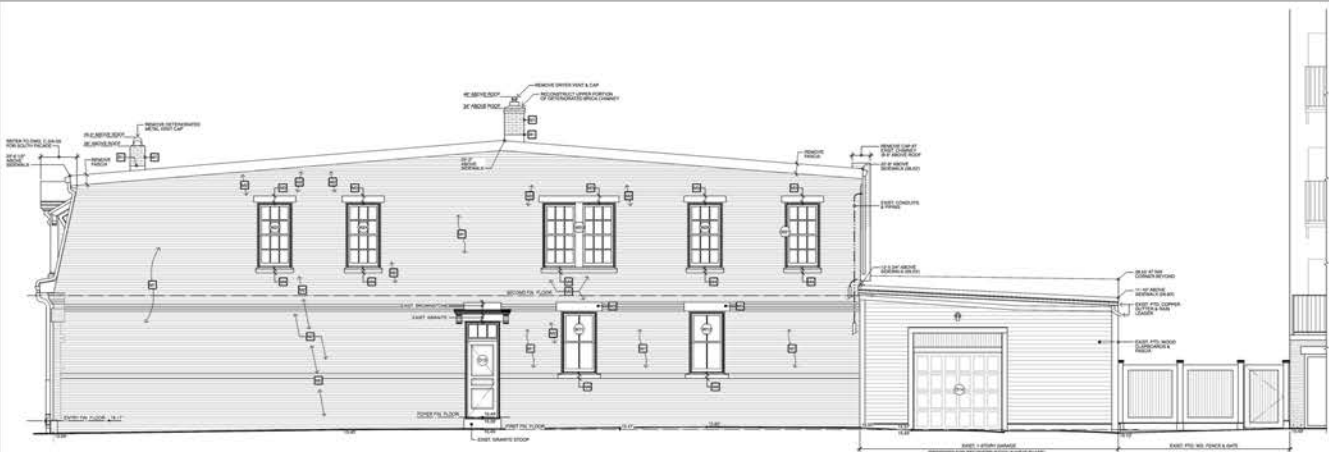
*EXISTING ROOF PLAN (Chestnut Street at Right; Brimmer Street Above);
Most Skylights to Remain; Roof Hatch to Remain; ACCUs to be Replaced;
Rear Garage to be Demolished for Reconstruction*



1.1 ROOF PLAN
Scale: 1/4" = 1'-0"

NORTH

*PROPOSED ROOF PLAN (Chestnut Street at Right; Brimmer Street Above);
Replacement ACCUs & ERV Vents Clustered in Same Locations as Existing;
Rear Garage Reconstruction to Include Roof Deck and Fire Escape Stair*



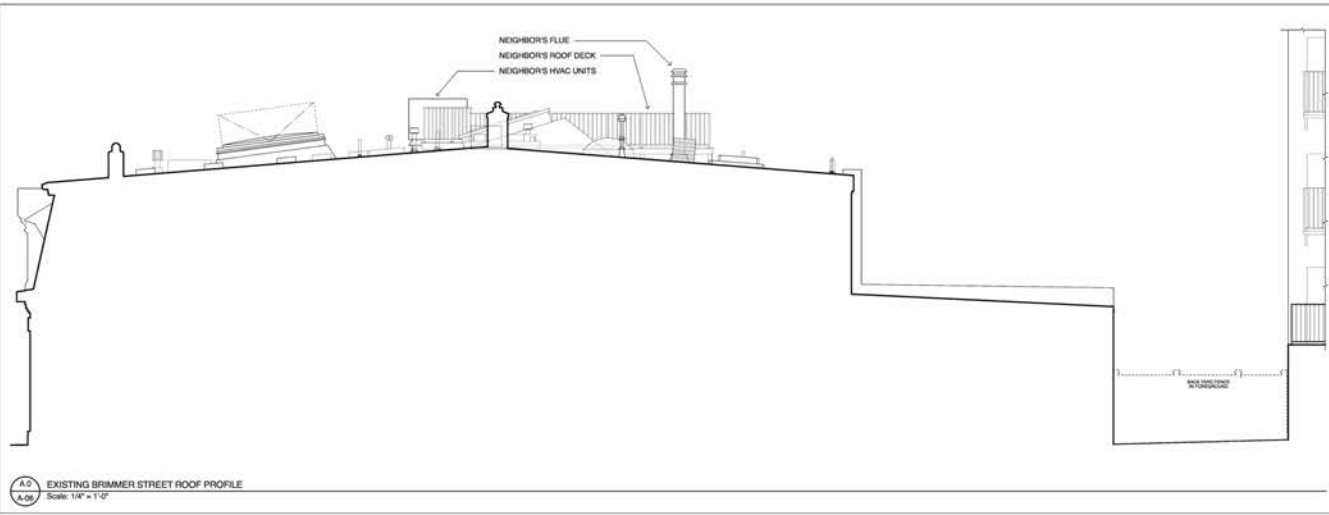
A.0
A.04
EXISTING EAST ELEVATION - BRIMMER STREET
Scale: 1/4" = 1'-0"

EXISTING EAST ELEVATION at BRIMMER STREET
*Two-Story Brick Portion to be Preserved (In-Kind Repairs);
 One-Story Wood Portion to be Demolished for Reconstruction*

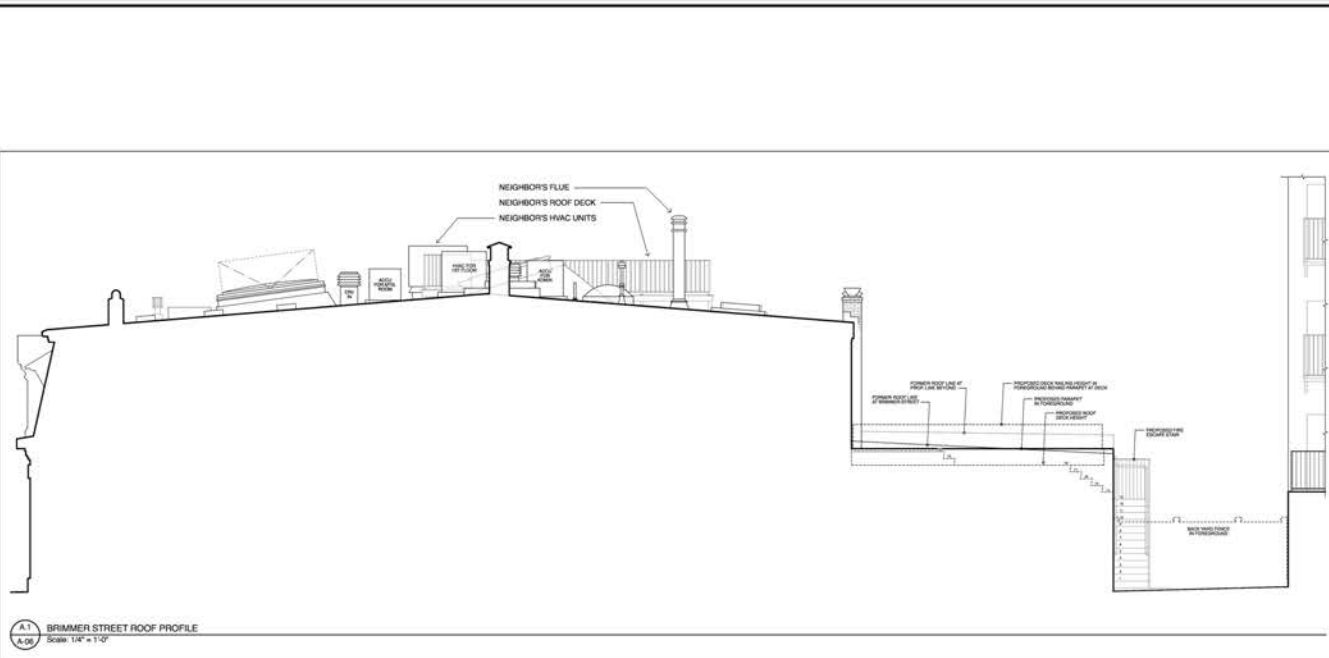


A.1
A.04
PROPOSED EAST ELEVATION - BRIMMER STREET
Scale: 1/4" = 1'-0"

PROPOSED EAST ELEVATION at BRIMMER STREET
*Two-Story Brick Portion to be Preserved (In-Kind Repairs);
 One-Story Reconstruction Includes Roof Deck & Fire Escape*



EXISTING ROOF PROFILE in EAST ELEVATION
 Showing Upper Roofscape Including Neighbor's Deck, HVAC Units & Boiler Flue;
 Existing 57 Brimmer's Roof Mounted Items Have Lower Profile Than Adjacent



PROPOSED ROOF PROFILE in EAST ELEVATION
 Showing Upper Roofscape Including Neighbor's Deck, HVAC Units & Boiler Flue;
 Proposed 57 Brimmer's Roof Mounted Items Have Lower Profile Than Adjacent



Photograph of Existing Conditions at Rear One-Story Structure



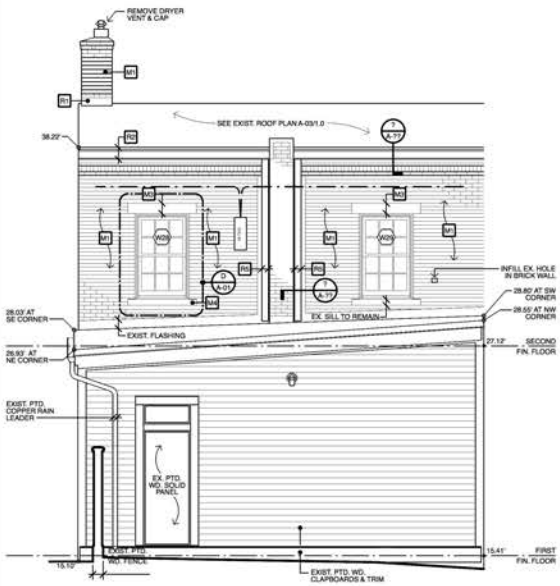
Photo Montage of Proposed Reconstruction of One-Story Structure



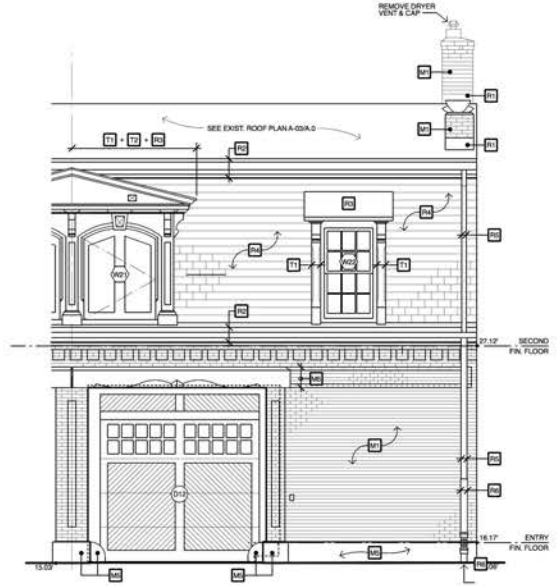
Detail of Reconstructed Rear Structure in Context of Neighborhood Features



Notes Regarding Ironwork at Existing and Proposed Roof Decks and Fire Escapes

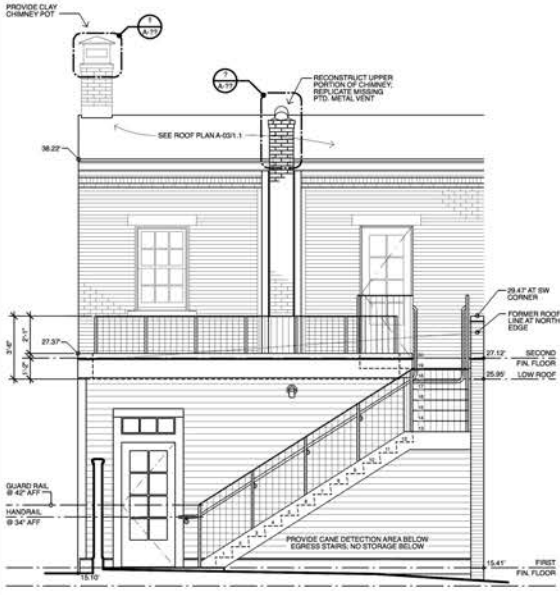


B.0 EXISTING NORTH ELEVATION: EXTERIOR PRESERVATION SCOPE
A-05 Scale: 1/4" = 1'-0"

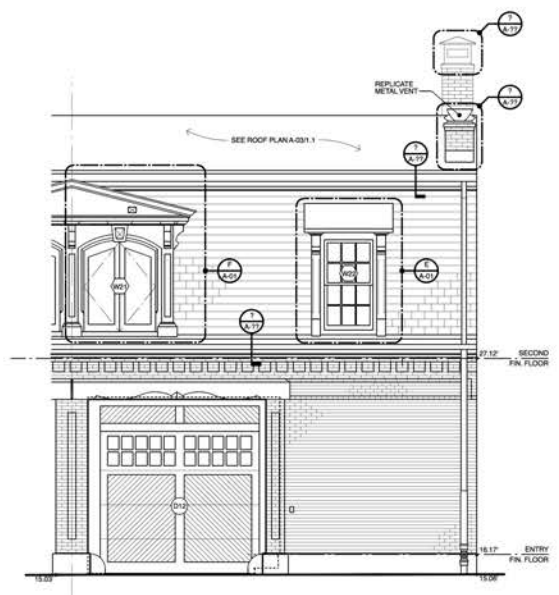


A.0 EXISTING SOUTH ELEVATION - CHESTNUT STREET
A-05 Scale: 1/4" = 1'-0"

EXISTING ELEVATIONS:
 NORTH (Back at Left) and SOUTH (Front at Right)

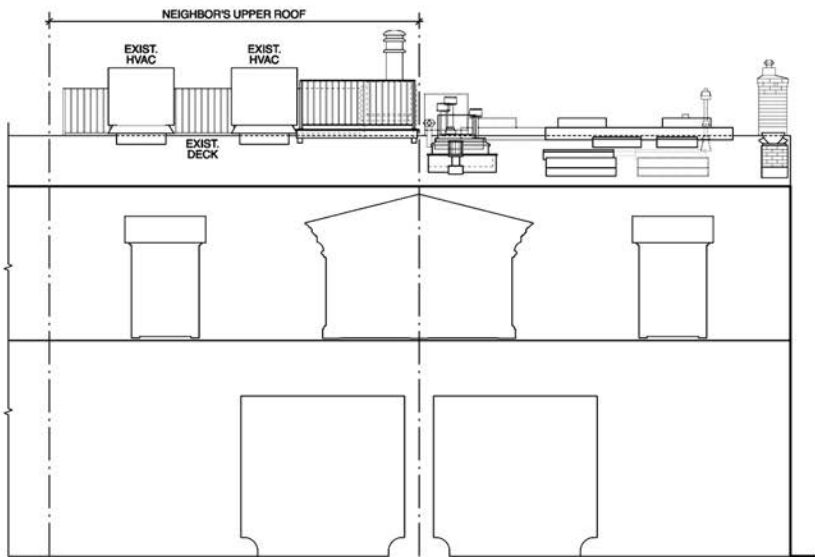


B.1 NORTH ELEVATION: FUTURE ONE-STORY RECONSTRUCTION
A-05 Scale: 1/4" = 1'-0"

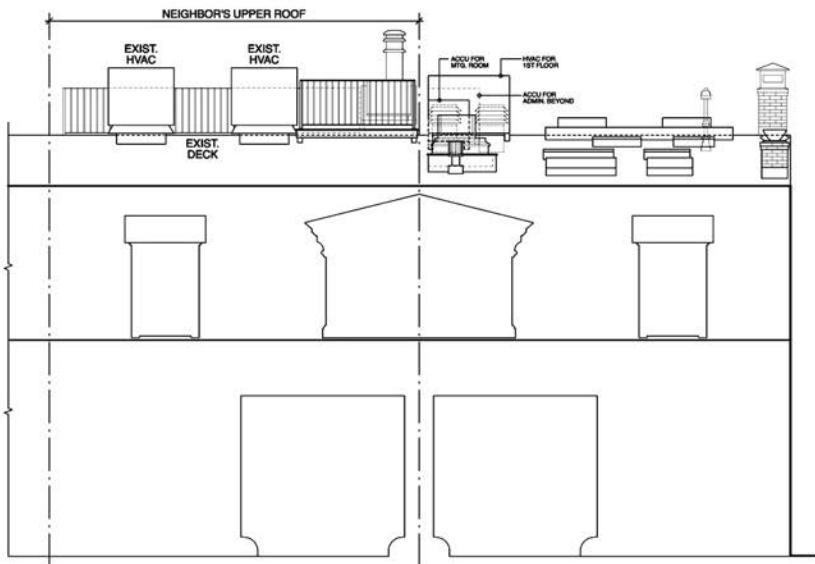


A.1 SOUTH ELEVATION - CHESTNUT STREET
A-05 Scale: 1/4" = 1'-0"

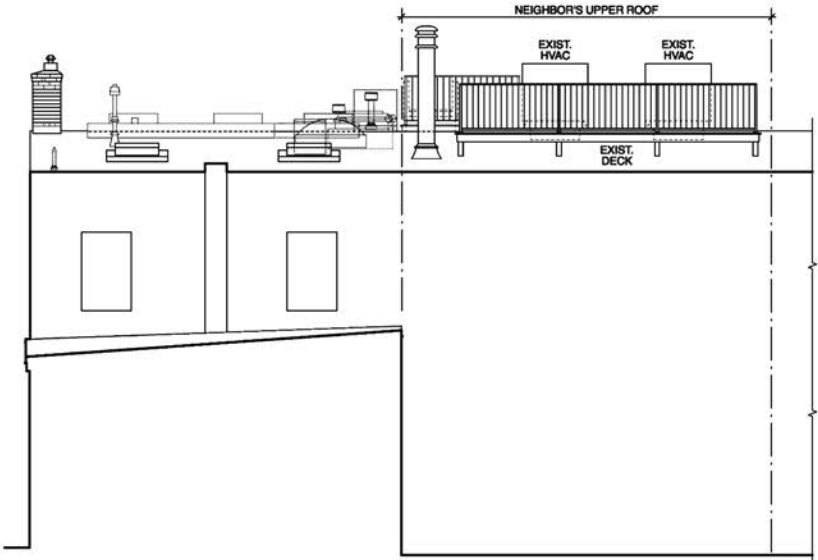
PROPOSED ELEVATIONS:
 NORTH (Back at Left) and SOUTH (Front at Right)



A.0 EXISTING SOUTH ROOF PROFILE
 Scale: 1/4" = 1'-0"

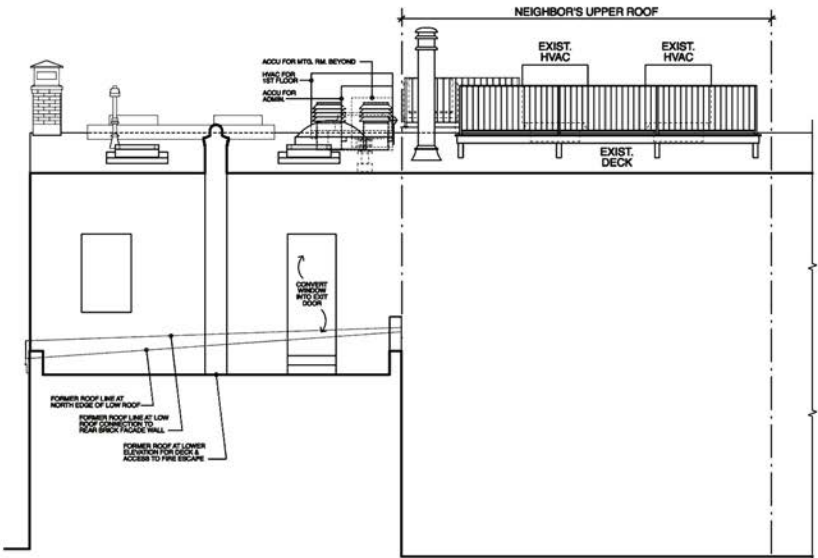


A.1 PROPOSED SOUTH ROOF PROFILE
 Scale: 1/4" = 1'-0"



B.0 EXISTING NORTH ROOF PROFILE

A-07 Scale: 1/4" = 1'-0"



B.1 PROPOSED NORTH ROOF PROFILE

A-07 Scale: 1/4" = 1'-0"

DOORS & ENTRIES

180712-IMG_8802.jpg



*Historic Primary Entrance at 57 Brimmer Street;
Tall 12" High Granite Stoop Up from Sidewalk*

DOORS & ENTRIES

170608-IMG_6535.JPG



*Contemporary Hardware to be Removed; Door to be
Patched, Painted & Fixed in Place; Will not be
Used as an Entrance or Exit for the School*

DOORS & ENTRIES

170608-IMG_6536.JPG



*Hooded Stone Lintel and Glass Transom Panel;
Door & Transom Frames to be Retained & Painted*

DOORS & ENTRIES

180712-IMG_8854.jpg



*Glass Transom Sash to be Repaired; Broken Glass to be
Replaced with Restoration Glass; Interior Decorative
Panel of Faux Stained Glass to be Removed*

DOORS & ENTRIES

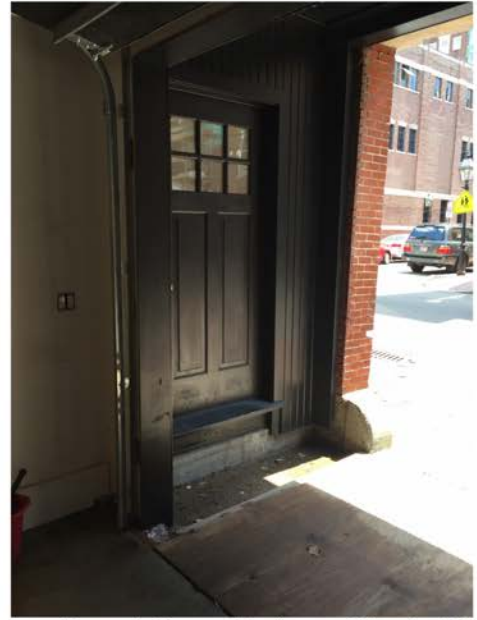
161209_IMG_5752.jpg



*Chestnut Street Garage Door with Upper Lights;
Plywood Floor Infill to be Removed for Brick Pavers;
No Other Changes to Door & Surround*

DOORS & ENTRIES

150522_IMG_2516.jpg



*Entrance Door at Garage Portico on Chestnut Street;
Door Threshold to be Lowered to Grade to Serve as
Accessible Entrance with Existing Door for Out-Swing*

DOORS & ENTRIES

170608-IMG_6548.JPG



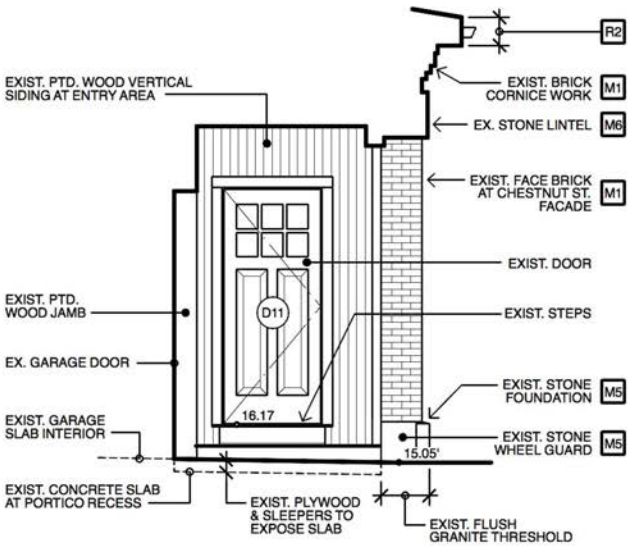
*Contemporary Garage Door at One-Story Addition with
Paneling above Transom Bar; Door to be Replaced with
Fixed Door to Match Main Garage Door on Chestnut St;
Transom Panel to be Replaced with 6-Light Glass Sash*

DOORS & ENTRIES

170608-IMG_6563.JPG



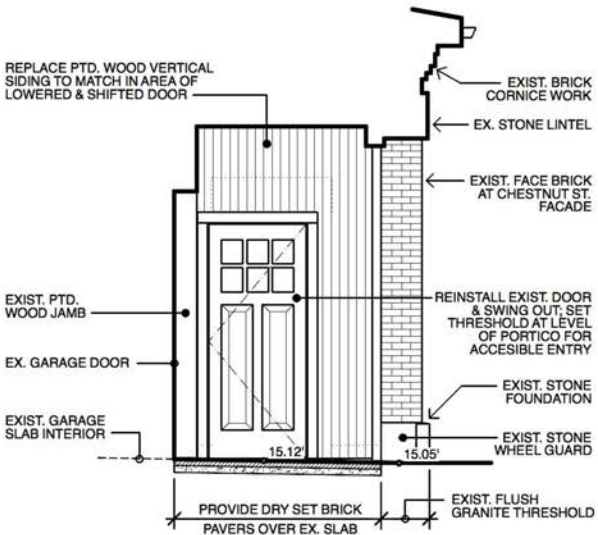
*North Elevation of One-Story Garage with Service Door
Opening and Transom (No Door or Transom at Present);
Door & Transom to be Provided into Rear Yard as
Replication of Missing Components*



C.0
A-05

EXISTING WEST @ MAIN ENTRY

Scale: 1/4" = 1'-0"



C.1
A-05

FUTURE WEST @ ACCESSIBLE ENTRY

Scale: 1/4" = 1'-0"

MASONRY

180718-IMG_8991.jpg



Granite Plinth and Brick Facade at Chestnut Street

MASONRY

180718-IMG_8993.jpg



Selective Deteriorated Bricks on Chestnut Street Facade to be Replaced in Kind Where Needed

MASONRY

180526-IMG_8548.jpg



Chipped Brick at Chestnut Street Portico Opening; Granite Plinth and Wheel Guard

MASONRY

180526-IMG_8549.jpg



Missing & Chipped Bricks at Chestnut Street Portico; Granite Plinth and Wheel Guard

MASONRY

170608-IMG_6588.JPG



Granite Lintel Over Garage Portico at Chestnut Street

MASONRY

170608-IMG_6585.JPG



Granite Lintel Over Garage Portico at Chestnut Street

MASONRY

170608-IMG_6587.JPG



Central Carved Feature of Granite Lintel Over Portico

MASONRY

170608-IMG_6590.JPG



Brick Coping Over Granite Lintel on Chestnut Street

MASONRY

170608-IMG_6591.JPG



Rotated Bricks in Band Adjacent to Granite Lintel

MASONRY

170608-IMG_6592.JPG



Rotated Brick Banding on Chestnut Street Facade

MASONRY

180718-IMG_8995.jpg



Damaged Bricks at Rain Leader by SE Corner

MASONRY

170608-IMG_6574.JPG



Southeast Corner at Brimmer & Chestnut Street; Front Facade Bricks Differs from Side Facade Bricks

MASONRY

180712-IMG_8792.jpg



*Vertical Cracks in Brimmer Street Facade;
Damage was Prior to Foundation Repairs*

MASONRY

180526-IMG_8534.jpg



*Smaller Vertical Cracks on Brimmer Street;
Repairs and Repointing to be Performed
Followed by Gentle Masonry Restoration Cleaning*

MASONRY

180526-IMG_8533.jpg



MASONRY

170608-IMG_6544.JPG



*Detail of Brimmer Street Brickwork Showing
Former Inappropriate "Scrub Coat" Repointing*

MASONRY

170608-IMG_6530.JPG



Carved Brownstone Bracket at Hooded Lintel Above 57 Brimmer Street Entrance Door

MASONRY

170608-IMG_6539.JPG



Brownstone Lintel Above Hooded Entrance Lintel; Deteriorated Two-Piece Lintel to be Replaced

MASONRY

180712-IMG_8838.jpg



Severely Deteriorated Brownstone Sill at Second Floor

MASONRY

180712-IMG_8839.jpg



Failing Patch at Severely Deteriorated Brownstone Sill

MASONRY

170608-IMG_6543.JPG



Deteriorated Brownstone Sills to be Replaced

MASONRY

180712-IMG_8846.jpg



Brownstone Lintel in Good Condition with Two Iterations of Paint (Black & Brown); Re-Set & Replacement Lintels to be Unpainted

MASONRY

180712-IMG_8837.jpg



Replacement Granite Sill on North Facade of Second Floor to be Reused and Painted to Match Color of Brownstone

MASONRY

180712-IMG_8836.jpg



Replacement Granite Lintel on North Facade of Second Floor to be Reused and Painted to Match Color of Brownstone

MASONRY

170608-IMG_6582.JPG



*Central Main Chimney on Brimmer Street;
Dryer Vent to be Removed & Clay Chimney Pot to be
Installed in its Place; Upper Portion to be Rebuilt*

MASONRY

170608-IMG_6580.JPG



*Reconstruct Upper Part of Main Chimney &
Replace Dryer Vent with Chimney Pot*

MASONRY

180712-IMG_8825.jpg



*Secondary Chimney on Brimmer Street Near
Chestnut Street at SE Corner; Deteriorated
Metal Cap to be Replicated in Gray Copper*

MASONRY

180712-IMG_8827.jpg



*Remnant of Removed Chimney at North Facade;
Missing Upper Portion to be Reconstructed with
Metal Cap to Match Other Secondary Chimney*

WINDOWS

170608-IMG_6596.JPG



Chestnut Street Facade Gable Dormer Shared by Adjacent Buildings (Right Side is 57 Brimmer Street Bldg.); In-Swing Casement Window to be Repaired

WINDOWS

170608-IMG_6595.JPG



Shed Dormer on Chestnut Street Facade; Sash & Frame to be Retained; Storm Window to be Replaced; Wood Surround to be Repaired; Rusted Metal Roof to be Replaced

WINDOWS

180712-IMG_8803.jpg



First of Two 2-over-2 Sash on Brimmer Street Facade; Sash to be Repaired; Frame & Storm Window Replaced; Brownstone Sill & Lintel to be Re-Set and Paint Removed

WINDOWS

180712-IMG_8804.jpg



Second of Two 2-over-2 Sash on Brimmer Street Facade; Sash to be Repaired; Frame & Storm Window Replaced; Brownstone Sill & Lintel to be Re-Set and Paint Removed

WINDOWS

180712-IMG_8793.jpg



Second Floor Windows are 6-over-6 True-Divided Lights; Sash to be Reused; Frames & Storms to be Replaced; Brownstone Lintels & Sills in Good Condition to be Re-Set, or Replaced in Locations Where Severely Deteriorated

WINDOWS

180712-IMG_8800.jpg



Severely Deteriorated Brownstone Window Sill; Wood Sills and Frames Also in Poor Condition; Replacements to Match Profiles, Colors & Materials

WINDOWS

180712-IMG_8798.jpg



Brownstone Lintel, Wood Mullion and Exterior Storm Window at Second Floor 6-over-6 Sash

WINDOWS

180712-IMG_8799.jpg



Deteriorated Brownstone Sill at Second Floor Window

EXTERIOR WINDOW SCHEDULE

UNIT	TYPE	SASH O.A.	EXISTING M.O.	EXTERIOR STORM	GLASS	REMARKS
W11	A: 4-OVER-4 SH	34 x 61 x 1.5	37.5 x 65.5	REPLACE EX	SALVAGE 2; REPLACE 2	REPAIR SASH; REPLICATE FRAME; RE-USE INTACT GLASS
W12	A: 4-OVER-4 SH	34 x 61 x 1.5	36.5 x 65.5	REPLACE EX	SALVAGE 3; REPLACE 1	REPAIR SASH; REPLICATE FRAME; RE-USE INTACT GLASS
W21	F: 2-LT. CSMT	49.5 x 63 x 2	—	—	REPLACE EX	MODIFY FOR INSWING PAIR; REPLACE BOTTOM RAIL
W22	E: 6-OVER-6 SH	33.5 x 60.5	—	REPLACE EX	EX	RE-USE SASH & FRAME
W23	B: 6-OVER-6 SH	30 x 64	36 x 68.5	REPLACE EX	EX	RE-USE SASH; REPLICATE FRAME
W24	B: 6-OVER-6 SH	30 x 64.5	33.5 x 68.5	REPLACE EX	EX	RE-USE SASH; REPLICATE FRAME
W25	C: PR 6/6 EA SH	33.5 x 64.5 EA	78 x 68.5	REPLACE EX	EX	RE-USE SASH; REPLICATE FRAME
W26	B: 6-OVER-6 SH	33.5 x 64.5	37 x 69	REPLACE EX	EX	RE-USE SASH; REPLICATE FRAME
W27	B: 6-OVER-6 SH	33.5 x 64.5	36.5 x 69	REPLACE EX	EX	RE-USE SASH; REPLICATE FRAME
W28	D: 6-OVER-6 SH	33.5 x 53	35.75 x 56.75	REPLACE EX	EX	RE-USE SASH; REPLICATE FRAME
W29	D: 6-OVER-6 SH	33.5 x 53	35.75 x 56.75	EX	EX	KEEP EX. SASH & FRAME (FUTURE DOOR IN NEXT PHASE)

ABBREVIATIONS:

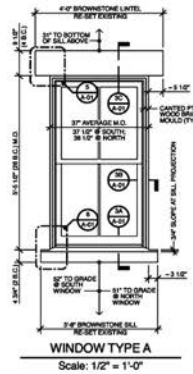
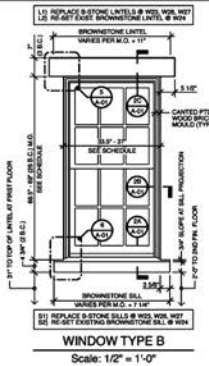
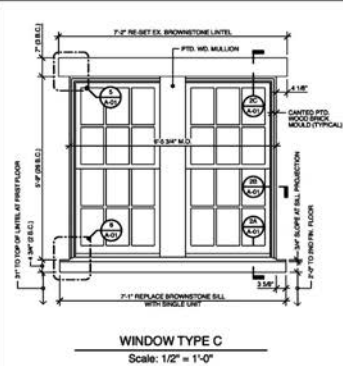
EA = EACH
EX = EXISTING

REL = RELOCATED
SH = SINGLE HUNG

SDL = SIMULATED DIVIDED LIGHT
TRF = TRANSOM / FIXED

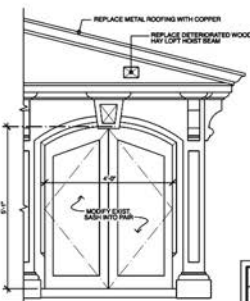
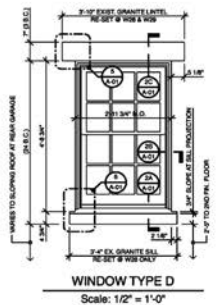
NOTES:

1) VERIFY ALL DIMENSIONS & CONDITIONS IN THE FIELD.
2) SEE DIV 04, 06, 07, 08 & 09 FOR RELATED IN SPECS.



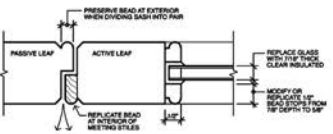
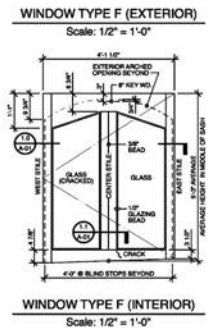
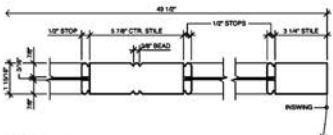
NOTES FOR WINDOW TYPE E

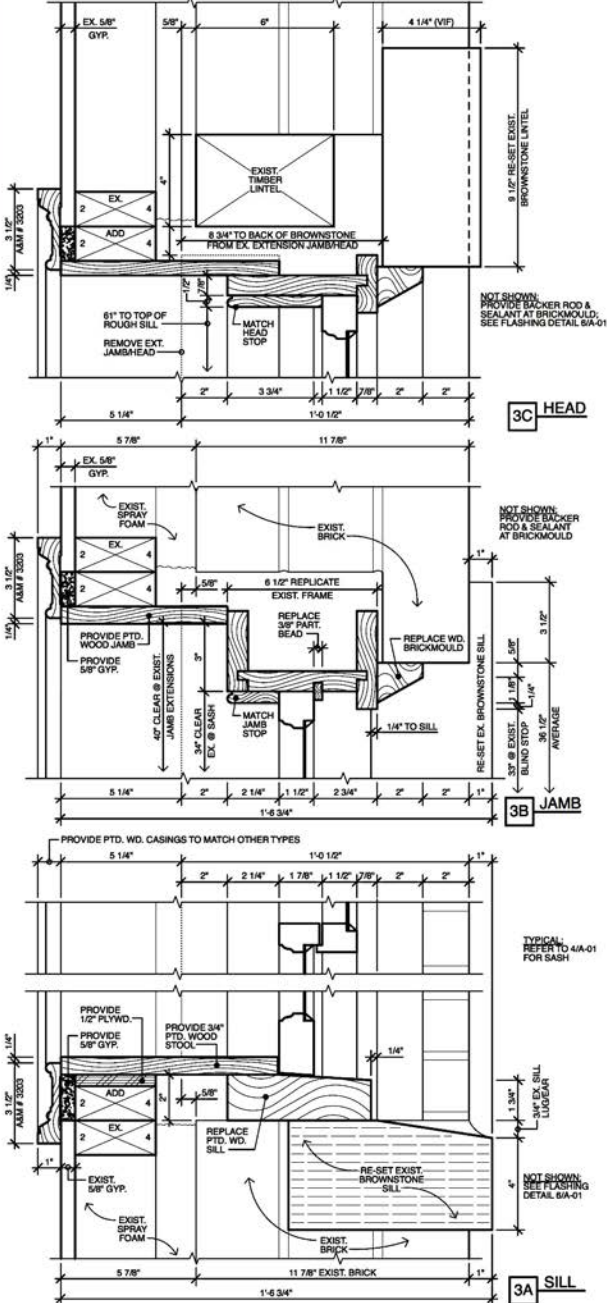
- 1.) RETAIN EXISTING FRAME AND TRUE-DIVIDED LIGHT REPLACEMENT SASH.
- 2.) REPLACE EXTERIOR STORM WINDOW PER DIVISION 08.
- 3.) MAINTAIN AND ADJUST SASH FOR SMOOTH OPERATION.
- 4.) REFER TO SPECS FOR ALL RELATED WORK.



NOTES FOR WINDOW TYPE F

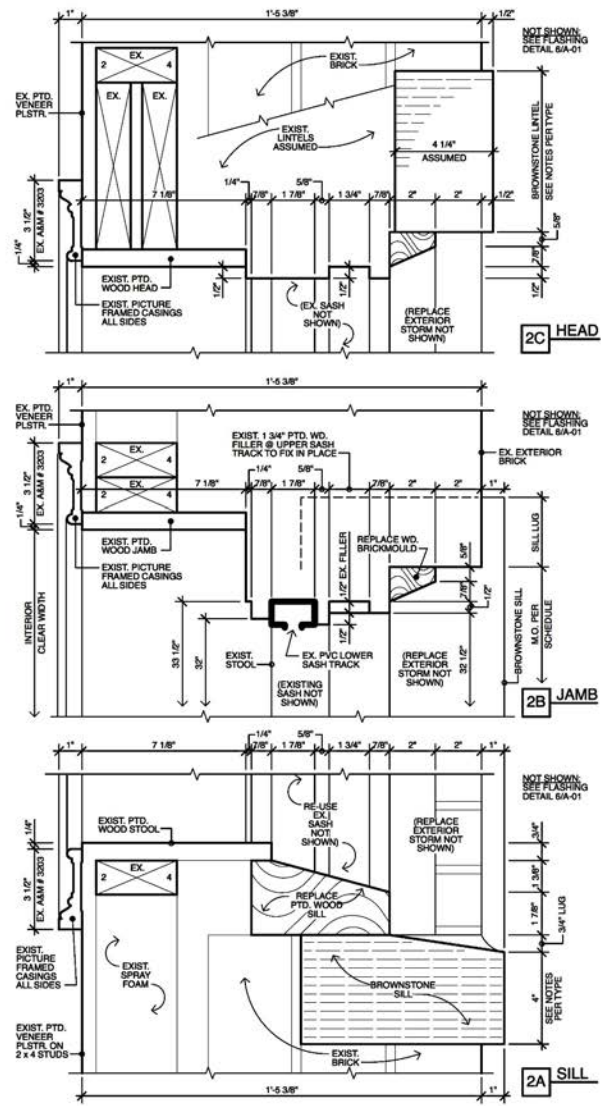
1. RETROFIT SINGLE CASEMENT INTO PAIR WHILE PRESERVING ORIGINAL APPEARANCE.
2. REPLACE DAMAGED BOTTOM RAIL.
3. REPLACE SINGLE GLASS WITH CLEAR INSULATED GLASS.
4. REFER TO DIVISION 08 SPECS FOR WINDOW RESTORATION INFO & RETROFIT HARDWARE.
5. REFER TO DIV 04, 06, 07 & 09 FOR RELATED WORK: MASONRY, CARPENTRY, ROOFING, SEALANTS, FLASHING & PAINTING.



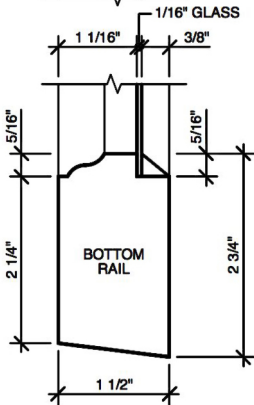
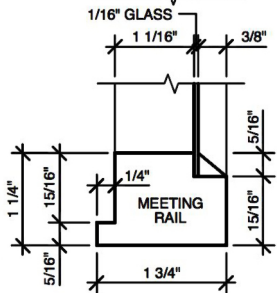
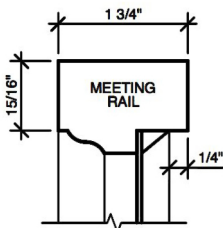
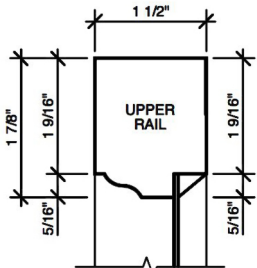
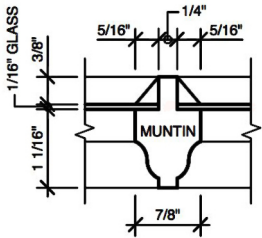
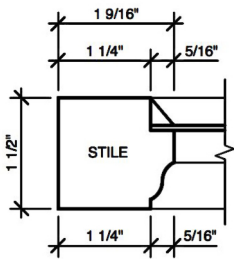


3 WINDOW DETAILS AT TYPE A
Scale: 3" = 1'-0"

- NOTES FOR WINDOW TYPES B, C & D**
- 1.) SALVAGE AND RE-USE 6-OVER-6 SASH (TRUE-DIVIDED REPLACEMENT UNITS) AT TYPES B, C & D; RE-USE OR REPLICATE INTERIOR TRIM.
 - 2.) REPLICATE DETERIORATED WOOD FRAMES. SEE BROWNSTONE SILL & LINTEL NOTES AT TYPE ELEVATIONS FOR INFO. SEE FLASHING DETAILS.
 - 3.) REPLACE EXTERIOR STORM WINDOWS.
 - 4.) REFER TO DIVISIONS 04, 06, 07, 08 & 09 IN SPECS FOR RELATED WORK.



2 WINDOW DETAILS AT TYPES B, C & D
Scale: 3" = 1'-0"



NOTE:
REFER TO DIV. 08
SPECS FOR SASH
REPAIR INFO.

4

TYPE A SASH DETAILS

A-01

Scale: Half Actual Size

MANSARD FACADE

170608-IMG_6594.JPG



South Facade at Chestnut Street with Mansard Roof Above Brick Street Level Facade & Garage Portico; In-Kind Repair and Restoration Intended for Facade

MANSARD FACADE

170608-IMG_6576.JPG



Southeast Corner Showing Transition from Mansard Roof Slope to Adjacent Brick; Roofing Cement to be Removed and Copper Flashing to be Installed

MANSARD FACADE

170608-IMG_6575.JPG



Corbeling Detail at Southeast Corner of Facade

MANSARD FACADE

180712-IMG_8844.jpg



Deteriorated Dark Gray Slate Roof with Copper Gutter, Copper Rain Leader and Painted Wood Fascia

MANSARD FACADE

170608-IMG_6598.JPG



Looking West at Mansard to Gable Roofed Dormer Shared with Neighboring Twin Property; Disrupted Slates on Sidewall & Rusting Metal Roof

MANSARD FACADE

170608-IMG_6601.JPG



Deteriorated Hayloft Timber to be Replicated; Painted Metal Bird Screening to be Replaced with More Subtle Nylon Mesh Recessed into Gable

MANSARD FACADE

170608-IMG_6600.JPG



Wood Cornice, Rake, Fascia & Brackets; Rusted Metal Roofing to be Replaced in Copper to Match Profiles

MANSARD FACADE

170608-IMG_6599.JPG



Corner Detail of Bracketed Eave at Gable Dormer

MANSARD FACADE

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Gable Dormer Bracket in Foreground with Shed Dormer in Background

MANSARD FACADE

180712-IMG_8845.jpg



Loose, Fallen Slate on Roll Roofing at Eave Flare; Slates to be Replaced & Eave to be Copper

MANSARD FACADE

170608-IMG_6597.JPG



Bracket at Shed Dormer Roof with Slates Beyond

MANSARD FACADE

180712-IMG_8840.jpg



Deteriorated Plywood Jambs at Shed Dormer; Loose Replacement Plinth at Outer Casings; All Carpentry to be Replicated, Flashed & Painted

MANSARD FACADE

180712-IMG_8843.jpg



Side of Bracket at Shed Dormer with Roofing Cement to Slated Mansard; Wood to be Restored and Copper Step Flashing to be Provided to Dormer Woodwork

MANSARD FACADE

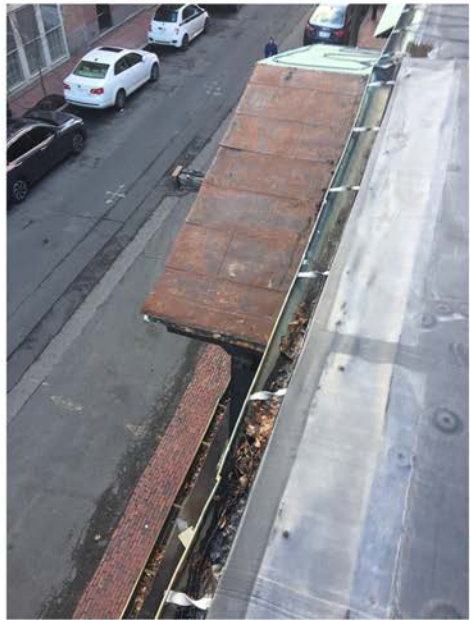
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Aerial View of Rusted Metal Roofing at Gable (Foreground) and Shed (Background) Dormers

MANSARD FACADE

161227-IMG_5968.jpg



Rusted Gable Dormer Roofing; Copper Gutter at High Rubber Roofing Attached with Galvanized Steel Straps (Dissimilar Metals Inappropriate)

MANSARD FACADE

161227-IMG_5970.jpg



Abutter's Copper Roof at Gable Dormer to Right; 57 Brimmer's Rusted Metal Roofing at Left

ROOFSCAPE

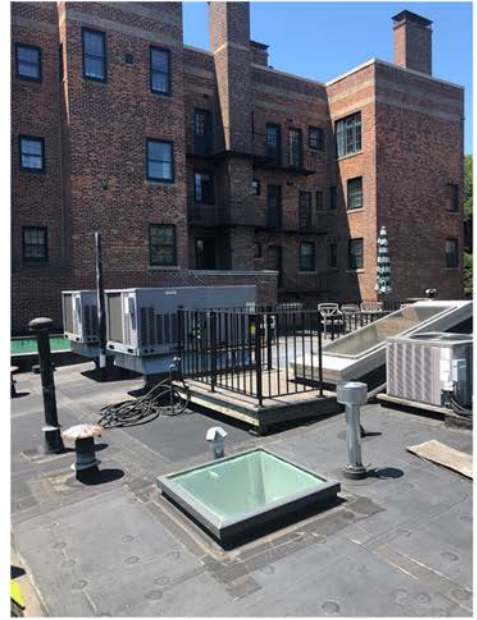
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*Looking West From Front Edge of Roof;
Three Adjacent Properties with Same Roof Slope
with Five-Story Brick Building Beyond*

ROOFSCAPE

180718-IMG_8958.jpg



*Skylight in Foreground on 57 Brimmer Street Property;
Roof Deck & Air Handlers Beyond on Adjacent Building*

ROOFSCAPE

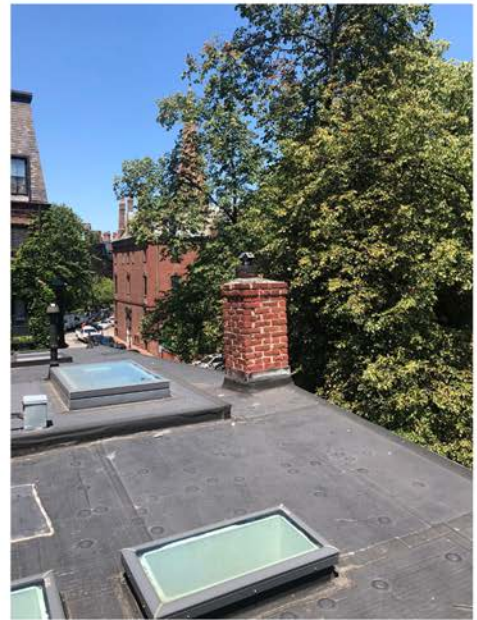
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*57 Brimmer Street Air-Cooled Condensing Unit;
Skylight Hatch & Flue Beyond on Adjacent Property;
Five Story Brick Buildings Beyond*

ROOFSCAPE

180718-IMG_8961.jpg



East Edge of 57 Brimmer Street Roof

ROOFSCAPE

180718-IMG_8986.jpg



*Looking West From Back Edge of Roof;
Three Adjacent Properties with Same Roof Slope
with Five-Story Brick Building Beyond*

ROOFSCAPE

180718-IMG_8955.jpg



Flue and Roof Deck at Neighbor's Property

ROOFSCAPE

180718-IMG_8954.jpg



*Skylight in Foreground and ACCU at Left on
57 Brimmer Street Building; Raised Hatch, Roof Deck &
Air Handlers Beyond on Adjacent Building*

ROOFSCAPE

180718-IMG_8956.jpg



*ACCU for 57 Brimmer Street;
Air Handlers Beyond on Adjacent Building*

ROOFSCAPE

180712-IMG_8809.jpg



Air Handlers & Roof Deck on Adjacent Property

ROOFSCAPE

161227-IMG_5969.jpg



Skylight Roof Hatch for 57 Brimmer Street

ROOFSCAPE

180712-IMG_8811.jpg



Skylight Roof Hatch at 57 Brimmer Street; Six-Story Building Beyond on Otis Street

ROOFSCAPE

180718-IMG_8957.jpg



Roof Deck and Air Handlers at Adjacent Building; Brick Building Beyond on Chestnut Street