

**William J. Devine Golf Course
Cart Boardwalk at Scarborough Pond
WSE Project No. 2160342.E**

April 4, 2018

Boston Conservation Commission
1 City Hall Square, Suite 500
Boston, MA 02201-2013

Re: *NOI Filing*
William J. Devine Golf Course Cart Boardwalk at Scarborough Pond
1 Circuit Drive

Dear Members of the Commission:

We are providing documents and impact numbers in support of the Notice of Intent submittal (dated February 7, 2018) for a new cart boardwalk over Scarborough Pond at the William Devine Golf Course in Franklin Park, located at 1 Circuit Drive, Boston, MA. We are providing you with the following revised documents:

- Appendix A- Revised WPA Form 3
- Appendix B- Dewatering Specification
- Appendix C- Revised Plans and Details

Below is a narrative description outlining the changes to the plans and impact numbers:

Environmental Impact Changes:

Bordering Vegetated Wetland Impacts

Based on the revised resource area delineations and other design changes, an estimated 3 square feet of Bordering Vegetated Wetland (BVW) will be directly impacted due to steel pile installation. An additional 93 square feet of BVW may be impacted by shading. Because of direct and potential impacts to BVW, 96 square feet of wetland will be created, and shaded areas of BVW under the boardwalk will be reviewed to assess possible impacts. Proposed on-site wetland creation shall include; excavation to match existing BVW elevations, amending or spreading new hydric soils to 12" depth, and seeding with a custom wetland seedmix. The custom wetland seedmix is comprised mainly of lower growing (below 4' height) sedges and grasses, as well as shade tolerant plant species. Where excavations occur near the BVW, filter sock erosion controls will be placed at the downgradient-most edge of the work site, between the work area and BVW, to protect the neighboring bordering vegetated wetland areas from sediment migration associated with stormwater events.

Meeting Bordering Vegetated Wetland Performance Standards:

310 CMR 10.55(4):

General Performance Standards:

(a) Work in a Bordering Vegetated Wetland shall not destroy or otherwise impair any portion of said area.

(b) the issuing authority may issue an Order of Conditions permitting work which results in the loss of up to 5000 square feet of Bordering Vegetated Wetland when said area is replaced in accordance with the following general conditions and any additional, specific conditions the issuing authority deems necessary to ensure that the replacement area will function in a manner similar to the area that will be lost:

1. *The surface of the replacement area to be created ("the replacement area") shall be equal to that of the area that will be lost ("the lost area"); - **Met – An estimated 3 square feet of Bordering Vegetated Wetland (BVW) will be directly impacted due to steel pile installation. An additional 93 square feet of BVW may be impacted by shading. Approximately 96 SF of wetland creation will occur adjacent to the impacted BVW.***
2. *The ground water and surface elevation of the replacement area shall be approximately equal to that of the lost area; **Met – the new area will be constructed to a similar elevation adjacent to the lost area.***
3. *The overall horizontal configuration and location of the replacement area with respect to the bank shall be similar to that of the lost area; ; **Met – the new area will be constructed to a similar horizontal configuration and location adjacent to the lost area.***
4. *The replacement area shall have an unrestricted hydraulic connection to the same water body or waterway associated with the lost area; **Met – the new area will be constructed to a be hydraulically connected to the adjacent resource area.***
5. *The replacement area shall be located within the same general area of the water body or reach of the waterway as the lost area; **Met – the new area will occur adjacent to the same wetland resource where area will be lost.***
6. *At least 75% of the surface of the replacement area shall be reestablished with indigenous wetland plant species within two growing seasons, and prior to said vegetative reestablishment any exposed soil in the replacement area shall be temporarily stabilized to prevent erosion in accordance with standard U.S. Soil Conservation Service methods; and **Met – Indigenous wetland plant species are being proposed. Stabilization matting will be used until plant material is established.***
7. *The replacement area shall be provided in a manner which is consistent with all other General Performance Standards for each resource area in Part III of 310 CMR 10.00. **Met –proposed replacement procedures are consistent with the General Performance***

Standards.

Land Under Water Impacts:

The Land Under Water (LUW) impacts are minimal (20 SF), and associated with the installation of 8" diameter driven steel piles. This construction method is anticipated to have very minimal impacts, which will be isolated and spread out along the length of the boardwalk, per the required pile spacing. Based on these considerations, no significant or permanent impact or alteration of the Land Under Water (LUW) is anticipated.

Meeting Land Under Water Performance Standards:

All work within the Land Under Water will meet the following performance standards as outlined in 310 CMR 10.56:

(4) *General Performance Standards.*

(a) *Where the presumption set forth in 310 CMR 10.56(3) is not overcome, any proposed work within Land under Water Bodies and Waterways shall not impair the following:*

1. *The water carrying capacity within the defined channel, which is provided by said land in conjunction with the banks; **Met - Water carrying capacity is not impacted due to minimal, isolated impacts associated with steel pile installation.***
2. *Ground and surface water quality; **Met - No impacts to ground or surface water quality are anticipated by steel pile installation.***
3. *The capacity of said land to provide breeding habitat, escape cover and food for fisheries; **Met - Breeding habitat, escape cover and food for fisheries are not impacted due to minimal, isolated impacts associated with steel pile installation.***
4. *The capacity of said land to provide important wildlife habitat functions. A project or projects on a single lot, for which Notice(s) of intent is filed on or after November 1, 1987, that (cumulatively) alter(s) up to 10% or 5,000 square feet (whichever is less) of land in this resource area found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. Additional alterations beyond the above threshold may be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures established under 310 CMR 10.60. **Met – Habitat functions are not impacted due to minimal, isolated impacts associated with steel pile installation.***

(b) *Notwithstanding the provisions of 310 CMR 10.56(4)(a), the issuing authority may issue an Order in accordance with M.G.L. c. 131, § 40 to maintain or improve boat channels within Land Under Water Bodies and Waterways when said work is designed and carried out using the best practical measures so as to minimize adverse effects such as the suspension or transport of pollutants, increases in turbidity, the smothering of bottom organisms, the accumulation of pollutants by organisms or the destruction of fisheries habitat or nutrient source areas.- **Not applicable, as***

this water body is not a navigable channel subject to boating.

*(c) Notwithstanding the provisions of 310 CMR 10.56(4) (a) or (b), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.59. - **Not applicable, there are no rare species with in the limit of work.***

Bank Impacts:

An estimated 3 LF of Bank will be directly impacted by steel pile installation. An additional 15 LF (120 SF) may be impacted by shading. Steel pile impacts are small and spread out, and are not being considered a significant impact or alteration of bank area. Overseeding with wetland and shade tolerant species will occur at shade impacted areas, to mitigate any potential bank destabilization as a result of shade impact.

Meeting Bank Performance Standards:

All work within the Bank will meet the following performance standards as outlined in 310 CMR 10.54:

(4) General Performance Standard.

(a) Where the presumption set forth in 310 CMR 10.54(3) is not overcome, any proposed work on a Bank shall not impair the following:

- 1. the physical stability of the Bank; **Met – Steel pile installation will not alter the physical stability of the Bank, and overseeding with wetland and shade tolerant plant species will mitigate potential destabilization from shade impacts.***
- 2. the water carrying capacity of the existing channel within the Bank; **Met – The proposed work will not alter the carrying capacity of the pond.***
- 3. ground water and surface water quality; **Met –No impacts to ground or surface water quality are anticipated by steel pile installation or shading.***
- 4. the capacity of the Bank to provide breeding habitat, escape cover and food for fisheries; **Met -Steel pile impacts are minor and will not alter habitat. Overseeding with wetland and shade tolerant plant species will mitigate potential destabilization from shade impacts.***
- 5. the capacity of the Bank to provide important wildlife habitat functions. A project or projects on a single lot, for which Notice(s) of Intent is filed on or after November 1, 1987, that (cumulatively) alter(s) up to 10% or 50 feet (whichever is less) of the length of the bank found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. Additional alterations beyond the above threshold may be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures contained in 310 CMR 10.60. **Met - Steel pile impacts are minor***

and will not alter habitat functions. Overseeding with wetland and shade tolerant plant species will mitigate potential destabilization from shade impacts.

(b) Notwithstanding the provisions of 310 CMR 10.54(4)(a), structures may be permitted in or on a Bank when required to prevent flood damage to facilities, buildings and roads constructed prior to the effective date of 310 CMR 10.51 through 10.60 or constructed pursuant to a Notice of Intent filed prior to the effective date of 310 CMR 10.51 through 10.60 (April 1, 1983), including the renovation or reconstruction (but not substantial enlargement) of such facilities, buildings and roads, provided that the following requirements are met:

*1. The proposed protective structure, renovation or reconstruction is designed and constructed using best practical measures so as to minimize adverse effects on the characteristics and functions of the resource area; **Met- The applicant demonstrates that there is no reasonable method of protecting, renovating or rebuilding the facility in question other than the one proposed. Additionally, with the construction of the proposed boardwalk, existing impervious cart paths are being removed and replaced with lawn area. The runoff and cart traffic from these impervious surfaces have contributed to erosion and degradation of bank area. Elimination of these cart paths will improve the quality of bank.***

*(c) Notwithstanding the provisions of 310 CMR 10.54(4)(a) or (b), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.59. **Work along the bank will meet all of the performance standards listed in 10.54 (4) (a).***

Plan Changes:

Resource Area Delineation

The plans have been revised to more accurately delineate the resource areas at the project location. The 'Top of Bank' delineation line has been extended on both sides of the pond, and matches the approximate Top of Bank elevation (65.50) previously delineated on the plans. Environmental impact numbers have been revised based on the new Top of Bank delineation.

The 100-Year FEMA Flood line delineation has been removed from the plans. After more research, Weston & Sampson believes this line had been erroneously included and misidentified in the survey of the existing conditions. Per the FEMA NFHL Firmette map previously provided, there is no Land Subject to Flooding or 100-Year Flood Elevation indicated at Scarborough Pond. Environmental impact numbers have been revised based on the removal of the erroneous 100-Year FEMA Flood line.

Design Changes

The design of the boardwalk has been modified and the plans have been revised to accurately depict the changes. The proposed steel pile spacing has been changed to sets of two piles spaced 6' apart, with pile sets spaced 8' O.C. along the length of the boardwalk. If driven piles meet refusal before reaching an adequate depth, pile sets will be cross-braced. No lateral piles will be used as previously

indicated. Environmental impact numbers have been revised based on the revised pile spacing and layout.

The proposed grades and elevation of the boardwalk have also been revised. The boardwalk elevations have been slighting revisits to slope at 4.5% down towards the water, levels off for approximately 155 linear feet and slopes back up at 4.5% on the opposite side of the pond. This is consistent with the boardwalk at Wards Pond, permitted by the Boston Conservation Commission and built by the Boston Parks and Recreation Department. It is also similar to other boardwalks in the city (Massachusetts Audubon's Boston Nature Center) and region (Hall's Pond Sanctuary, Brookline; Dolan Pond Conservation Area, Newton). The level boardwalk portion has also been raised 6" to elevation 67.00, providing an additional 6" of free board space below the boardwalk. However, it should be noted that the even if the entire boardwalk was submerged during a flood event, the water level of the pond would only be displaced by approximately 4/100's of an inch. In this regard, potential displacement of flood waters due to the presence of the boardwalk is considered minor, and not does not pose a hazard to the site or adjacent properties.

The plans have also been revised to include 96 SF of new wetland area, to mitigate for possible environmental impacts (as previously described in the Environmental Impacts section of this memo). The wetland work will occur adjacent to the southern end of the proposed boardwalk, and all relevant plans have been revised to delineate this work.

The project will require overseeding of custom wetland seed mix at BVW/TOB areas below the proposed boardwalk. This is intended to help mitigate potential shade impacts by introducing additional wetland and shade tolerant vegetation. In addition to spot repair of eroded areas (as previously submitted), the project will also require overseeding of upland areas with an erosion control seed mix, and overseeding of BVW/TOB areas with custom wetland seedmix on the northern slope of the pond. This work has been more clearly articulated on the plans.

Additional Information:

A dewatering specification has been included with this submission. This specification provides the approved methods and procedures for dewatering excavations, specifically at the boardwalk abutment locations where groundwater may be encountered.

If you have any questions regarding this submittal, please contact me at (978) 532-1900.

Very truly yours,

WESTON & SAMPSON



Mel Higgins, PWS
Senior Environmental Scientist

APPENDIX A

William J Devine Golf Course Cart Boardwalk at Scarborough Pond

Revised WPA Form 3



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>1 Circuit Drive</u>	<u>Boston</u>	<u>02124</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>42deg 18' 9.63" N</u>	<u>71deg 5' 40.88"W</u>	
d. Latitude	e. Longitude	
<u>1203486000</u>	<u>1203486000</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Christopher</u>	<u>Cook</u>	
a. First Name	b. Last Name	
<u>Boston Parks and Recreation Department</u>		
c. Organization		
<u>1010 Massachusetts Avenue</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02118</u>
e. City/Town	f. State	g. Zip Code
<u>617-635-4505</u>	<u>allison.perlman@boston.gov</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Mel</u>	<u>Higgins</u>	
a. First Name	b. Last Name	
<u>Weston & Sampson</u>		
c. Company		
<u>5 Centennial Drive</u>		
d. Street Address		
<u>Peabody</u>	<u>MA</u>	<u>01960</u>
e. City/Town	f. State	g. Zip Code
<u>978-977-0110</u>	<u>higginsm@wseinc.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>exempt</u>	<u></u>	<u></u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Boston
City/Town

A. General Information (continued)

6. General Project Description:

Construction of cart boardwalk over man-made pond and new, shortened pathways at golf course. Project also includes the decommissioning of existing pathways adjacent to pond.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk	_____	b. Certificate # (if registered land)	_____
a. County		b. Certificate # (if registered land)	
Ward 12. Sect. TBD	_____	unknown	_____
c. Book		d. Page Number	

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input checked="" type="checkbox"/> Bank	3 1. linear feet	18 LF (120 SF) 2. linear feet
b. <input checked="" type="checkbox"/> Bordering Vegetated Wetland	3 1. square feet	96 2. square feet
c. <input checked="" type="checkbox"/> Land Under Waterbodies and Waterways	20 1. square feet 0 3. cubic yards dredged	0 2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	0 1. square feet 0 3. cubic feet of flood storage lost	0 2. square feet 0 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	0 1. square feet 0 2. cubic feet of flood storage lost	0 3. cubic feet replaced

- f. Riverfront Area
1. Name of Waterway (if available) - **specify coastal or inland**
2. Width of Riverfront Area (check one):
- 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects
3. Total area of Riverfront Area on the site of the proposed project: _____ square feet
4. Proposed alteration of the Riverfront Area:
- a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No
6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	_____	_____
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input type="checkbox"/> Project Involves Stream Crossings		
	_____	_____
	a. number of new stream crossings	b. number of replacement stream crossings



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- 2017 _____
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage

2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site
- (e) Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following
1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
 2. Separate MESA review ongoing. _____ a. NHESP Tracking # _____ b. Date submitted to NHESP
 3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
1213 Purchase Street – 3rd Floor
New Bedford, MA 02740-6694
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
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WPA Form 3 – Notice of Intent

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C. Other Applicable Standards and Requirements (cont'd)

Online Users:

Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Boston
City/Town

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Improvements to William J. Devine Golf Course Cart Boardwalk at Scarborough Pond

a. Plan Title

Weston & Sampson

b. Prepared By

2/1/2018

d. Final Revision Date

Gene Bolinger

c. Signed and Stamped by

20-Scale

e. Scale

2/1/2018

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

exempt

2. Municipal Check Number

3. Check date

exempt

4. State Check Number

5. Check date

exempt

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

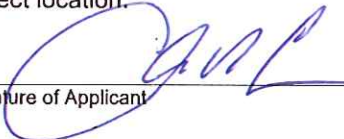

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Boston
City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant		2. Date	4/3/18
3. Signature of Property Owner (if different)		4. Date	4/3/18
5. Signature of Representative (if any)		6. Date	

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

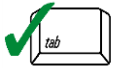
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

a. Street Address	b. City/Town
c. Check number	d. Fee amount

2. Applicant Mailing Address:

a. First Name	b. Last Name	
c. Organization		
d. Mailing Address		
e. City/Town	f. State	g. Zip Code
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

a. First Name	b. Last Name	
c. Organization		
d. Mailing Address		
e. City/Town	f. State	g. Zip Code
h. Phone Number	i. Fax Number	j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee: _____
 a. Total Fee from Step 5

State share of filing Fee: _____
 b. 1/2 Total Fee **less** \$12.50

City/Town share of filing Fee: _____
 c. 1/2 Total Fee **plus** \$12.50

C. Submittal Requirements

a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

APPENDIX B

William J Devine Golf Course Cart Boardwalk at Scarborough Pond
Dewatering Specification

SECTION 31 23 19

DEWATERING

PART 1 - GENERAL

1.01 WORK INCLUDED:

This section specifies designing, furnishing, installing, maintaining, operating and removing temporary dewatering systems as required to lower and control water levels and hydrostatic pressures during construction; disposing of pumped water; constructing, maintaining, observing and, except where indicated or required to remain in place, removing of equipment and instrumentation for control of the system.

1.02 RELATED WORK:

- A. Section 00 31 43, PERMITS
- B. Section 01 57 19, ENVIRONMENTAL PROTECTION
- C. Section 31 00 00, EARTHWORK
- D. Section 31 50 00, SUPPORT OF EXCAVATION

1.03 SYSTEM DESCRIPTION:

- A. Dewatering includes lowering the water table and intercepting seepage which would otherwise emerge from the slopes or bottom of the excavation; increasing the stability of excavated slopes; preventing loss of material from beneath the slopes or bottom of the excavation; reducing lateral loads on sheeting and bracing; improving the excavation and hauling characteristics of sandy soil; preventing rupture or heaving of the bottom of any excavation; and disposing of pumped water.

1.04 QUALITY ASSURANCE:

- A. The Contractor is responsible for the adequacy of the dewatering systems.
- B. The dewatering systems shall be capable of effectively reducing the hydrostatic pressure and lowering the groundwater levels to a minimum of 2 feet below excavation bottom, unless otherwise required by the Engineer, so that all excavation bottoms are firm and dry.
- C. The dewatering system shall be capable of maintaining a dry and stable subgrade until the structures, pipes and appurtenances to be built therein have been completed to the extent that they will not be floated or otherwise damaged.

- D. The dewatering system and excavation support (see Section 31 50 00, SUPPORT OF EXCAVATION) shall be designed so that lowering of the groundwater level outside the excavation does not adversely affect adjacent structures, utilities or wells.

1.05 SUBMITTALS

- A. Contractor shall submit six copies of a plan indicating how they intend to control the discharge from any dewatering operations on the project, whether it is discharge of groundwater from excavations or stormwater runoff during the life of the project.

PART 2 - PRODUCTS: NOT APPLICABLE

PART 3 - EXECUTION

3.01 DEWATERING OPERATIONS:

- A. All water pumped or drained from the work shall be disposed of in a manner that will not result in undue interference with other work or damage to adjacent properties, pavements and other surfaces, buildings, structures and utilities. Suitable temporary pipes, flumes or channels shall be provided for water that may flow along or across the site of the work. All disposal of pumped water shall conform to the provisions of Section 01 57 19 ENVIRONMENTAL PROTECTION and Order of Conditions.
- B. Dewatering facilities shall be located where they will not interfere with utilities and construction work to be done by others.
- C. Dewatering procedures to be used shall be as described below:
 - 1. Crushed stone shall encapsulate the suction end of the pump to aid in minimizing the amount of silt discharged.
 - 2. For dewatering operations with relatively minor flows, pump discharges shall be directed into hay bale sedimentation traps lined with filter fabric. Water is to be filtered through the hay bales and filter fabric prior to being allowed to seep out into its natural watercourse.
 - 3. If flows are sufficiently large that outflows from haybale sedimentation traps exhibit visible turbidity, pump discharges shall be directed into a steel dewatering basin. Steel baffle plates shall be used to slow water velocities to increase the contact time and allow adequate settlement of sediment prior to discharge into waterways.
 - 4. Where indicated on the contract drawings or in conditions of excess silt suspended in the discharge water, silt control bags shall be utilized in catch basins.
- D. The Contractor shall be responsible for repair of any damage caused by his dewatering operations, at no cost to the Owner.

END OF SECTION

APPENDIX C

William J Devine Golf Course Cart Boardwalk at Scarborough Pond
Revised Plans

CITY OF BOSTON

THE HONORABLE MARTIN J. WALSH, MAYOR

PREPARED BY:



DESIGN STUDIO

85 DEVONSHIRE STREET, 3RD FLOOR
BOSTON, MA 02109
(617) 412-4480



LOCATION MAP
WILLIAM J. DEVINE
GOLF COURSE AT
FRANKLIN PARK
1 CIRCUIT DRIVE
DORCHESTER, MA 02121

PARKS & RECREATION DEPARTMENT
CHRISTOPHER COOK, COMMISSIONER

IMPROVEMENTS TO **WILLIAM J. DEVINE GOLF COURSE CART** **BOARDWALK AT SCARBOROUGH POND**

BOSTON, MASSACHUSETTS

APRIL 2018

N.O.I. SUBMISSION- REVISED PLANS

DRAWING INDEX

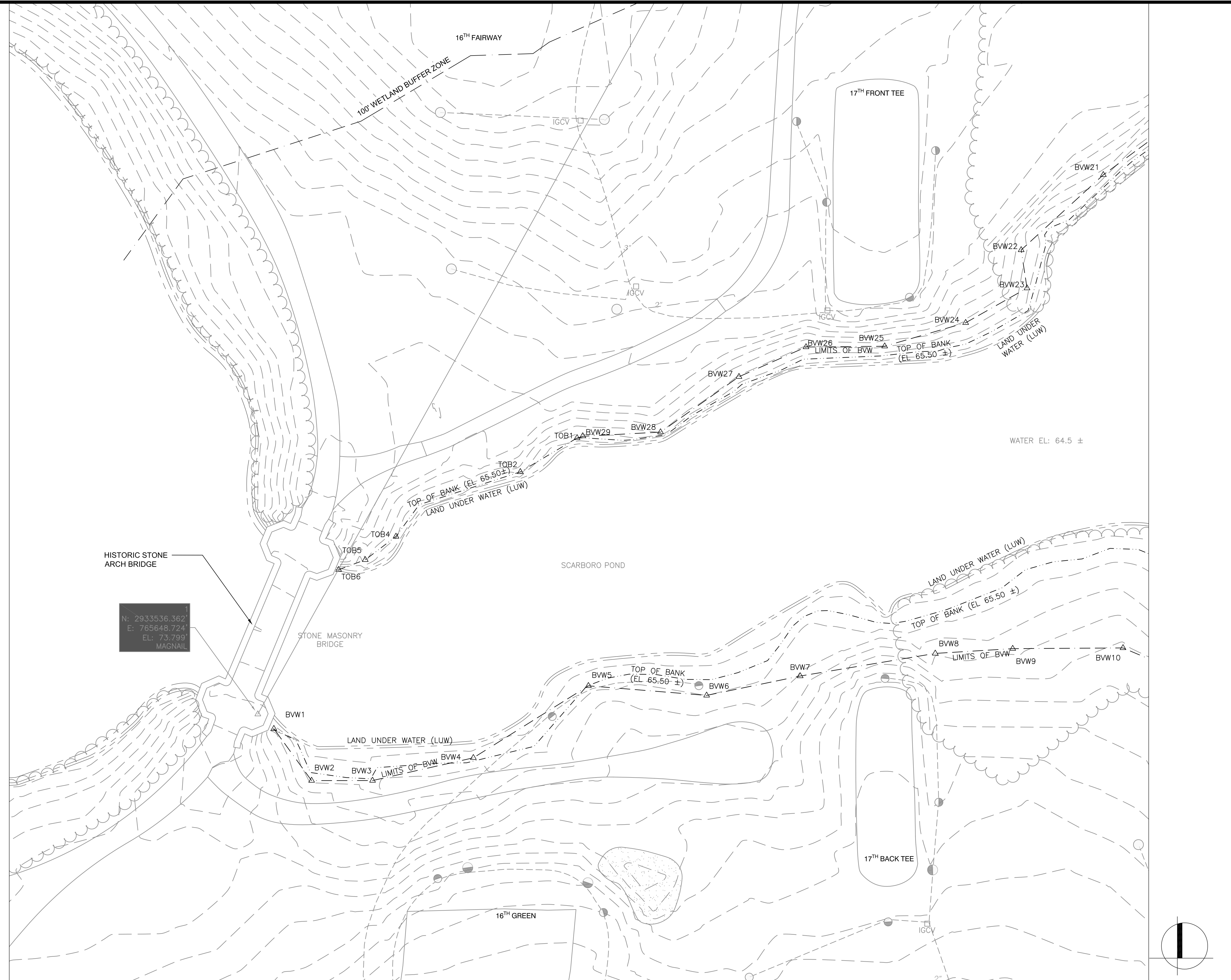
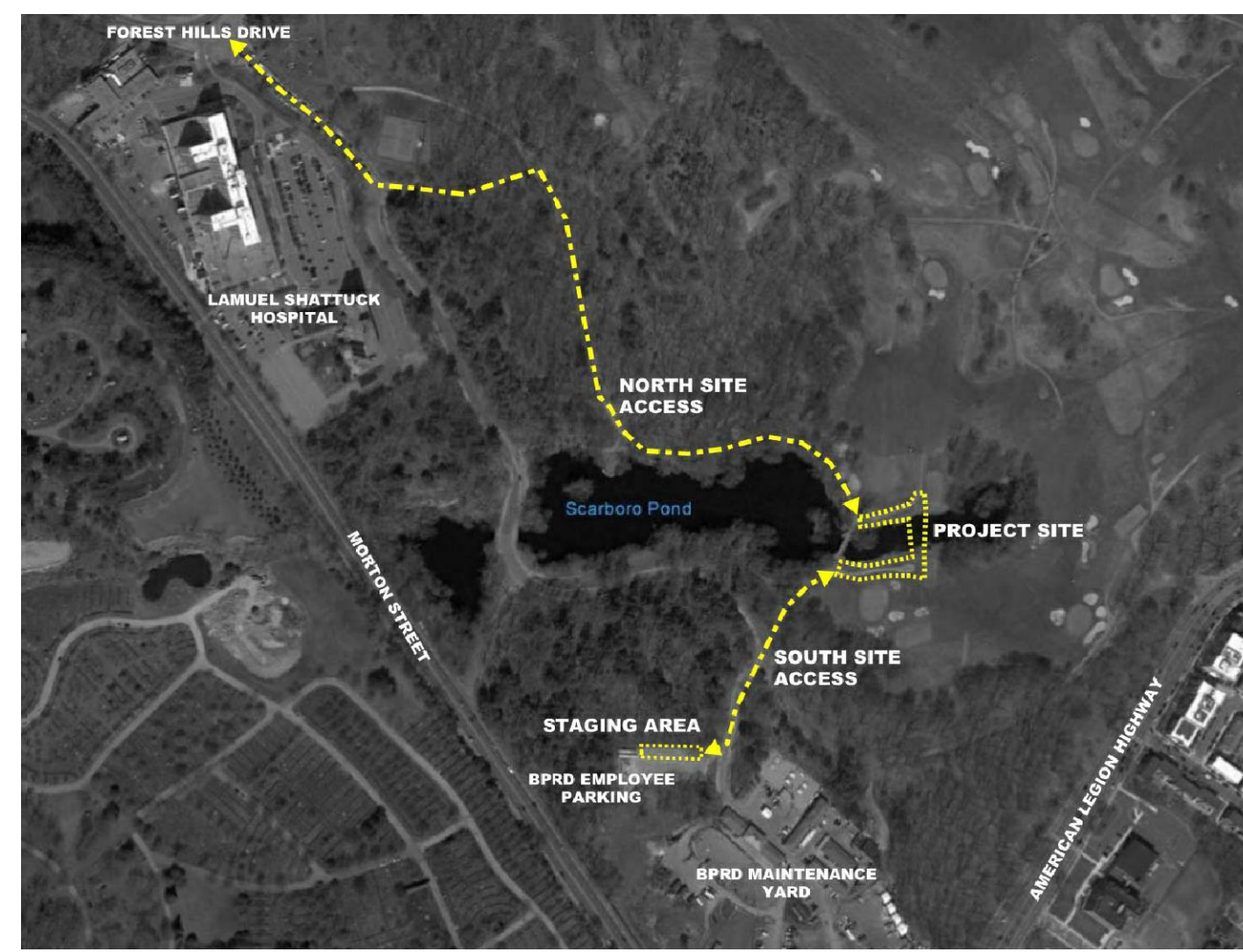
L0.00	COVER SHEET
L1.00	EXISTING CONDITIONS PLAN
L2.00	SITE PREPARATION PLAN
L3.00	LAYOUT AND MATERIALS PLAN
L4.00	GRADING AND DRAINAGE PLAN
L5.00	CONSTRUCTION DETAILS
L5.01	CONSTRUCTION DETAILS
L5.02	CONSTRUCTION DETAILS



Sheet No.:	L0.00
Sheet Name:	COVER SHEET
BPRD Project No.	
Date	04/04/18
Scale	N/A
Drawn	BRYS
Checked	ERB
Project Name:	WILLIAM J. DEVINE GOLF COURSE CART BOARDWALK AT SCARBOROUGH POND

LEGEND			
	LIMITS OF BORDERING VEGETATED WETLANDS		SAND TRAP
	LIMITS OF TOP OF BANK		IRRIGATION HEADS
	100' WETLAND BUFFER ZONE		
	1' CONTOUR		
	LIMITS LAND UNDER WATER (LUW)		
	TREE LINE		

- GENERAL NOTES**
- FIELD SURVEY PERFORMED BY CHAPPELL ENGINEERING, LLC, BURLINGTON, MA ON FEBRUARY 2, 2016. ELEVATIONS SHOWN HEREON ARE BASED ON BOSTON CITY BASE (BCB). UTILITIES SHOWN HEREON ARE COMPILED FROM SURFACE FEATURES, PAINT MARKINGS AND RECORD INFORMATION. CHAPPELL ENGINEERING, LLC, DOES NOT WARRANT THE LOCATION OR EXISTENCE OF SAID UTILITIES.
 - LOCATIONS OF ANY UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT (888) 344-7233 NO LESS THAN 72 HOURS, (EXCLUSIVE OF WEEKENDS AND HOLIDAYS), PRIOR TO SUCH EXCAVATION. DOCUMENTATION OF REQUESTS SHALL BE PROVIDED TO PROJECT REPRESENTATIVE PRIOR TO EXCAVATION WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND REVIEWING THE DRAWINGS AND ASSUMES RESPONSIBILITY OF VERIFYING ALL EXISTING CONDITIONS AND MATERIALS SHOWN WITHIN THE PROJECT CONTRACT LIMITS.
 - ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
 - ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS-BUILT" DRAWINGS.
 - ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST TO AND TO THE SATISFACTION OF THE OWNER.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS, INCLUDING BUT NOT LIMITED TO, TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERING, OR FENCES AS NEEDED.
 - THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
 - FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER.
 - EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
 - NO CUTTING OR FILLING SHALL OCCUR WITHIN FIVE (5) FEET OF EXISTING TREES TO REMAIN WITHOUT THE APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
 - ANY QUANTITIES SHOWN ON PLANS ARE FOR COMPARATIVE BIDDING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE PROJECT SITE TO VERIFY ALL QUANTITIES PRIOR TO SUBMITTING BID.
 - THE LAYOUT OF ALL NEW WALKWAYS AND THE GRADING OF ALL SLOPES AND CROSS SLOPES SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS RULES AND REGULATIONS FOR HANDICAP ACCESS CMR 521, AND THE AMERICANS WITH DISABILITIES ACT (ADA), TITLE 3. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE REQUIRED.
 - CONTRACTORS STAGING AREA MUST BE LOCATED AT THE BPRD MAINTENANCE YARD, IN THE AREA DESIGNATED AND AGREED UPON BY THE OWNER. NO OTHER AREAS SHALL BE USED FOR STAGING OR STOCKPILING EQUIPMENT OR MATERIALS WITHOUT PERMISSION FROM THE OWNER.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CITY OF BOSTON'S PARKS DEPARTMENT.
 - IN CASE OF CONFLICT WITHIN THE CONTRACT DOCUMENTS THE CITY OWNS "BEST AND MOST."



EXISTING CONDITIONS PLAN



Prepared By:
Weston & Sampson
 85 Devonshire Street, 3rd Floor
 Boston, MA 02109
 (617) 412-4400 1 (800) Sampson
 www.westonandsampson.com



No.	Date	Revision
1	10.24.17	LANDMARKS COMMISSION SUBMISSION
2	02.07.18	N.O.I. SUBMISSION
23	04.04.18	N.O.I. SUBMISSION-REVISED PLANS

Project Name.:
William J. Devine Golf Course Cart Boardwalk at Scarborough Pond

BPRD Project No.	Date
	04/04/2018
Scale	AS SHOWN
Drawn	BR/NS
Checked	ERB

Sheet Name.:
EXISTING CONDITIONS PLAN

Sheet No.:
L100

LEGEND

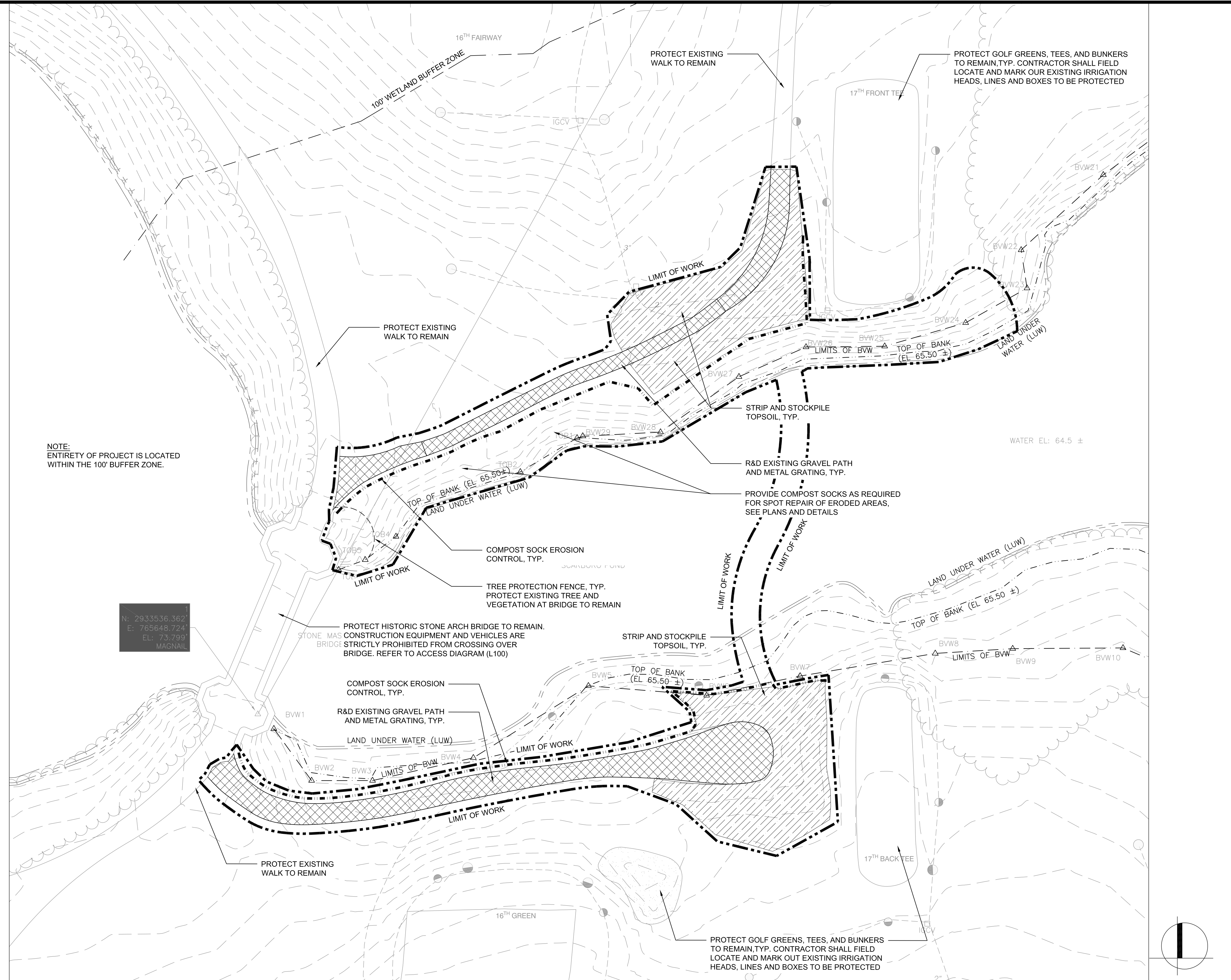
	LIMIT OF WORK
	BVW LIMITS OF BORDERING VEGETATED WETLANDS
	TOB LIMITS OF TOP OF BANK
	100' WETLAND BUFFER ZONE
	LIMITS OF LAND UNDER WATER (LUW)
	STRIP AND STOCKPILE TOPSOIL, TYP.
	R&D EXISTING GRAVEL PATH AND METAL GRATING, TYP.
	COMPOST SOCKS, TYP.
EX.	EXISTING
TYP.	TYPICAL
R&D	REMOVE & DISPOSE

DEMOLITION & SITE PREPARATION NOTES

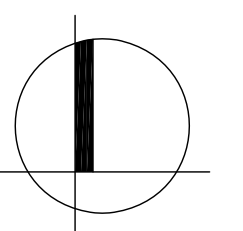
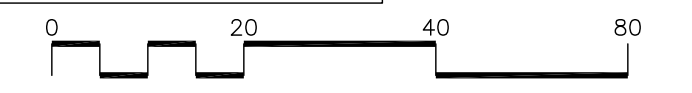
1. THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE DISTURBED YET SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE PROPOSED SITE IMPROVEMENTS AND TO DETERMINE THE LOCATION OF PROPOSED SITE IMPROVEMENTS.
2. THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS DELIVERED TO FRANKLIN PARK YARD AT NO ADDITIONAL EXPENSE TO THE OWNER.
3. UNLESS SPECIFICALLY NOTED TO BE SAVED OR REUSED, ALL SITE FEATURES CALLED FOR REMOVAL SHALL BE TRANSPORTED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AT NO COST TO THE OWNER.
4. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
5. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
6. ALL ITEMS CALLED FOR REMOVAL (COMPLETE) SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.
7. CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AT DRIPLINE AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS. TREES TO REMAIN SHALL BE PRUNED.
8. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THERE SHALL BE NO STORAGE OF MATERIALS OR PARKING OF CONSTRUCTION VEHICLES WITHIN DRIPLINE OF TREES.

EROSION AND SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
3. CONTRACTOR SHALL MEET ALL OF THE COMMONWEALTH OF MASSACHUSETTS D.E.P. AND THE CITY OF BOSTON'S WETLAND ORDINANCE REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
4. EXCAVATED MATERIAL STOCKPILED ON THE SITE SHALL BE SURROUNDED BY A RING OF UNBROKEN AND ANCHORED SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
5. ALL CATCH BASINS AND DRAIN GRATES WITHIN LIMIT OF CONTRACT SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION.
6. EROSION CONTROL BARRIERS TO BE INSTALLED AT THE TOE OF SLOPES. SEE GRADING & DRAINAGE PLANS, NOTES, DETAILS AND SPECIFICATIONS.
7. ANY AREA OUTSIDE THE PROJECT LIMIT THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
8. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.
9. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC/Private ROADS.



SITE PREPARATION PLAN



Prepared By:
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Scale	AS SHOWN
Drawn	BR/NS
Checked	ERB

Sheet Name.:
SITE PREPARATION PLAN

Sheet No.:
L200

Consultant Project No. 216008

LEGEND

	LIMIT OF WORK
	LIMITS OF BORDERING VEGETATED WETLANDS
	LIMITS OF TOP OF BANK
	100' WETLAND BUFFER ZONE
	LIMITS OF LAND UNDER WATER (LUW)
	CART BOARDWALK WITH GUARDRAIL, TYP. 8' WIDE (6' CLEAR), SEE DETAILS
	DRIVEN STEEL PILE LOCATIONS, TYP.
	SAND FILTER SWALE WITH LAWN SEED MIX
	OVERSEED, SPOT REPAIR AND RESTORATION OF ERODED UPLAND AREAS
	OVERSEED, SPOT REPAIR AND RESTORATION OF ERODED BVW/TOB AREAS
	WETLAND REPLICATION AREA
	NEW ASPHALT CART PATH- 8' WIDE, TYP.
	LOAM AND LAWN SEED, TYP.

MATERIALS NOTES

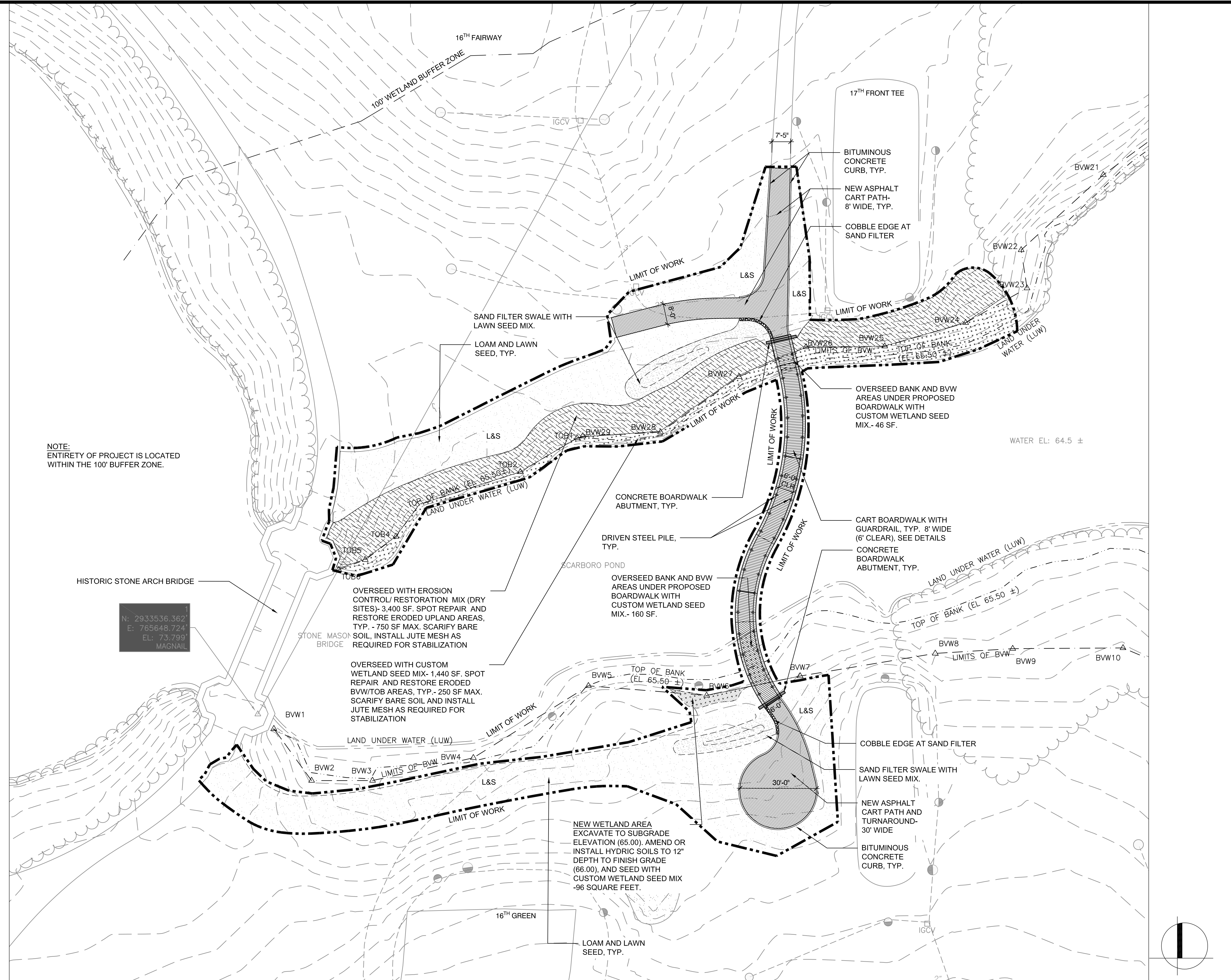
- ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES AND SHALL BE TREATED WITH AN RS-1 TACK COAT AND INFRARED LIGHT AT ALL POINTS OF CONNECTION AND ALL SAWCUT EDGES WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT. ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT PLAN.
- THE DEPTH OF LOAM TOP SOIL FOR ALL RESTORED LAWN AREAS SHALL BE 6" MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.
- ALL REFERENCES TO LOAM AND SEED REFER TO HYDROMULCH SEEDED LAWN.

PROPOSED IMPACTS TABLE

RESOURCE AREA	PROPOSED IMPACT
BANK	18 LF (120 SQUARE FEET)
BORDERING VEGETATED WETLANDS	96 SQUARE FEET
LAND UNDER WATER	20 SQUARE FEET

CUSTOM WETLAND SEED MIX SPECIES

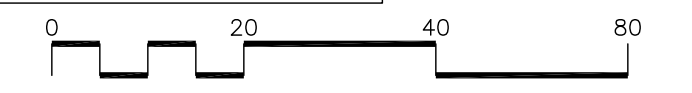
COMMON NAME	BOTANICAL NAME
FOX SEDGE	CAREX VULPINOIDEA
LURID SEDGE	CAREX LURIDA
BLUNT BROOM SEDGE	CAREX SCOPARIA
BLUE VERVAIN	VERBENA HASTATA
FOWL BLUEGRASS	POA PALUSTRIS
HOP SEDGE	CAREX LUPULINA
FRINGE SEDGE	CAREX CRINITA
CREeping SPIKE RUSH	ELEOCHARIS PALUSTRIS
BLUE FLAG IRIS	IRIS VERSICOLOR
SQUARE STEMMED MONKEY FLOWER	MIMULUS RINGENS
SENSITIVE FERN	ONOCLEA SENSIBILIS
ZIGZAG ASTER	ASTER PRENANTHOIDES
PATH RUSH	JUNCUS TENUIS



NOTE:
ENTIRETY OF PROJECT IS LOCATED WITHIN THE 100' BUFFER ZONE.

N: 2933536.362
E: 765648.724
EL: 73.799
MAGNAIL

LAYOUT AND MATERIALS PLAN



Prepared By:
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No.	Date	Revision
1	10.24.17	LANDMARKS COMMISSION SUBMISSION
2	02.07.18	N.O.I. SUBMISSION
23	04.04.18	N.O.I. SUBMISSION- REVISED PLANS

Project Name.:
William J. Devine Golf Course Cart Boardwalk at Scarborough Pond

BPRD Project No.	Date
	04/04/2018
Scale	AS SHOWN
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Checked	ERB

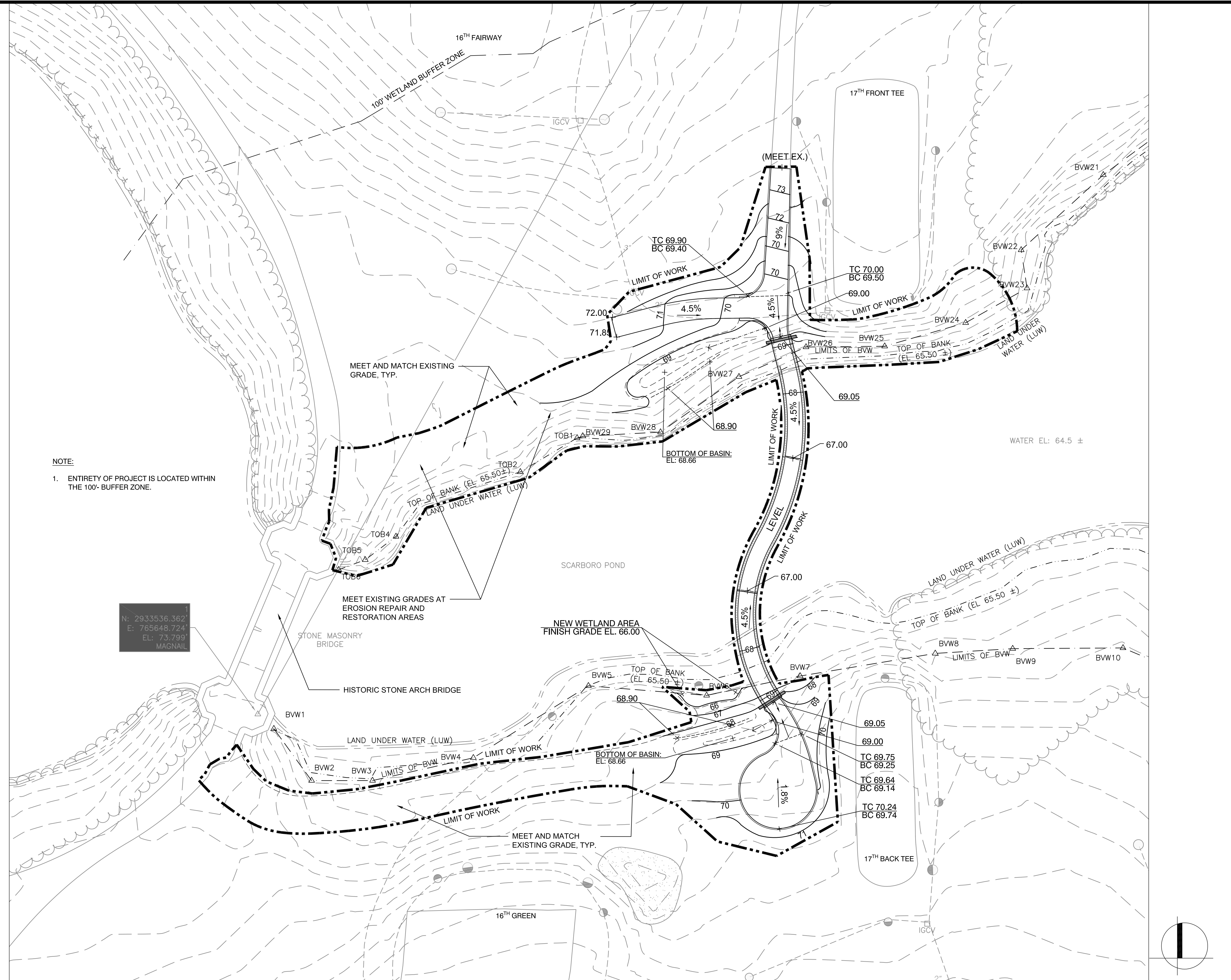
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LAYOUT AND MATERIALS PLAN
Sheet No.:
L300

LEGEND

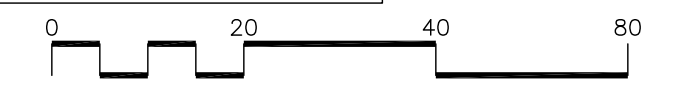
	LIMIT OF WORK
	LIMITS OF BORDERING VEGETATED WETLANDS
	LIMITS OF TOP OF BANK
	100' WETLAND BUFFER ZONE
	LIMITS OF LAND UNDER WATER (LUW)
	PROPOSED CONTOURS (FINISH SURFACE GRADES)
	PROPOSED CONTOURS (FINISH BOARDWALK GRADES)
	PROPOSED SPOT ELEVATION
	PROPOSED SLOPE
	PROPOSED GRADE BREAK

- GRADING & DRAINAGE NOTES**
1. THE CONTRACTOR SHALL VERIFY ALL GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
 2. ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED SURFACE MEETS EXISTING SURFACE, BLEND THE TWO PAVEMENTS AND ELIMINATE ROUGH SPOTS AND ABRUPT GRADE CHANGES AND MEET LINE AND GRADE OF EXISTING CONDITIONS WITH NEW IMPROVEMENTS.
 3. CONTRACTOR SHALL ENSURE ALL AREAS ARE PROPERLY PITCH TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING.
 4. ALL NEW WALKWAYS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA), AND MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) REGULATIONS: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF (1.5%) PERCENT AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) BETWEEN 1% MIN. AND 4.5% MAX. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
 5. ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
 6. THE CONTRACTOR SHALL CONFIRM AND/OR SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/PRIVATE STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
 7. EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
 8. WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
 9. WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
 10. RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED (L&S) UNLESS OTHERWISE NOTED.
 11. SEE EARTHWORK SECTION OF SPECIFICATIONS FOR EXCAVATION AND FILLING PROCEDURES.

NOTE:
1. ENTIRETY OF PROJECT IS LOCATED WITHIN THE 100' BUFFER ZONE.



GRADING AND DRAINAGE PLAN



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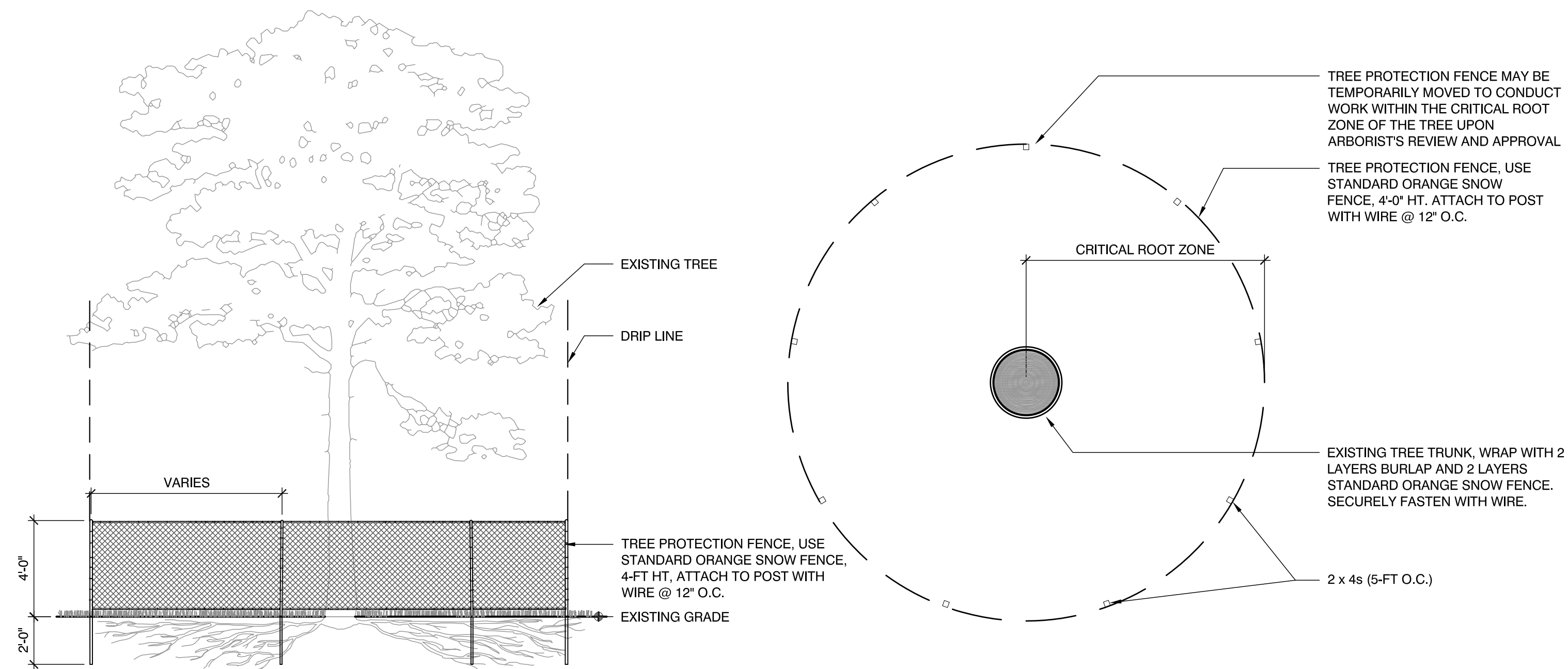
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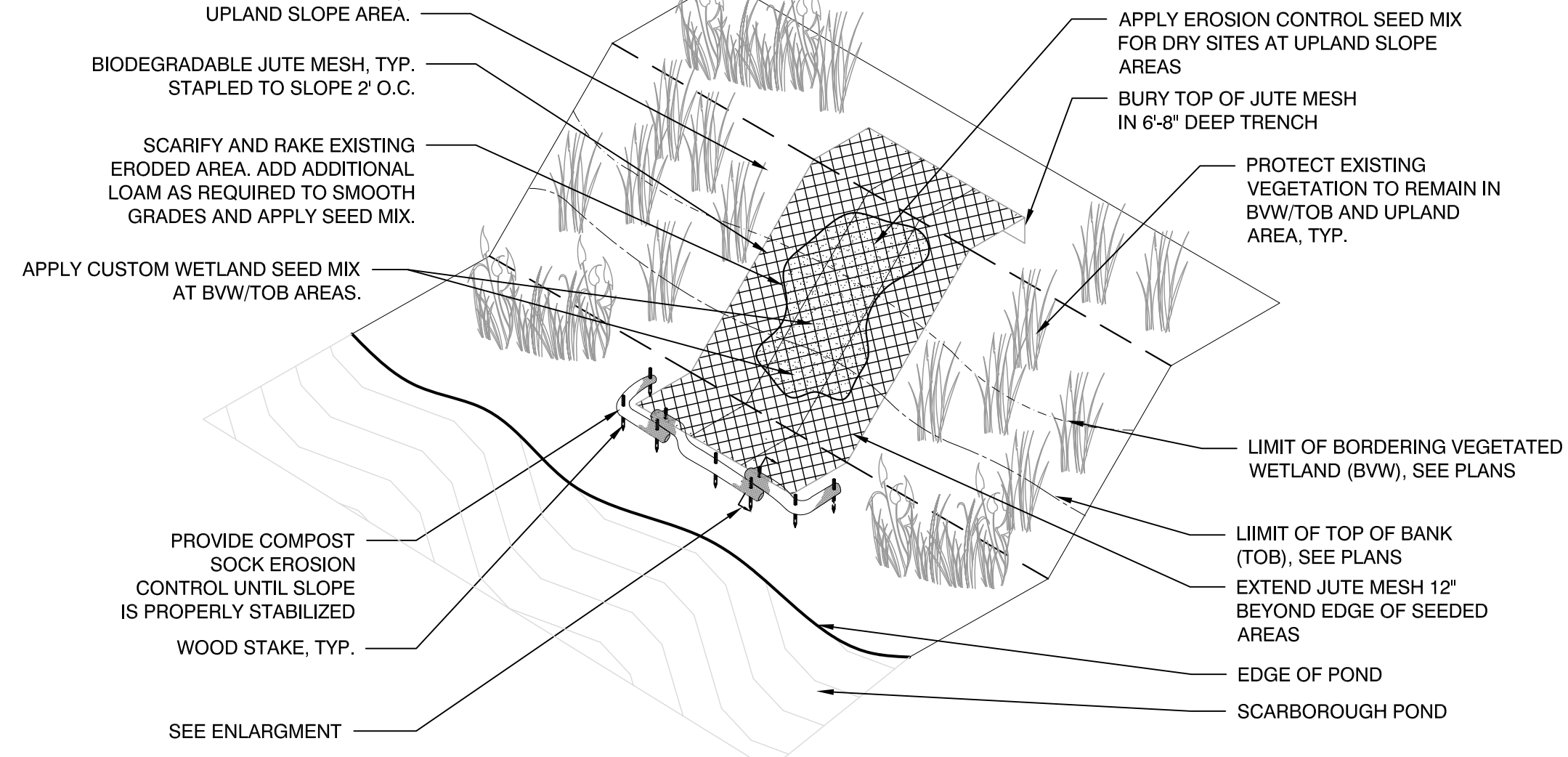


CRITICAL ROOT ZONE TO BE PROTECTED. ALL WORK NECESSARY WITHIN THE CRITICAL ROOT ZONE SHALL BE PERFORMED BY HAND.

- NOTE:**
- WHERE SPACE IS AVAILABLE, TREE PROTECTION FENCE TO BE PLACED A MINIMUM OF 10' FROM BASE OF TREE PLUS AN ADDITIONAL 1" FOR EACH ADDITIONAL DBH FOR TREES GREATER THAN 10" DBH (DIA. AT BREST HT.)
 - ALL WORK DONE WITHIN TREE PROTECTION FENCE IS TO BE DONE BY HAND AND LIGHT EQUIPMENT.
 - ROOTS EXPOSED DURING EXCAVATION SHALL BE NEATLY CUT AND COVERED WITH SOIL IMMEDIATELY.
 - FOR TREES THAT OCCUR IN GROUPS PROVIDE TREE PROTECTION FENCE AROUND ENTIRE AREA. SEE PLAN FOR LOCATIONS.
 - MAINTAIN FENCE PROTECTION IN SOUND CONDITION UNTIL FENCE COMPLETION
 - A CERTIFIED ARBORIST SHALL DELINEATE LIMIT OF TREE PROTECTION FENCE AS THEY RELATE TO THE LIMITS OF THE CRITICAL ROOT ZONE.

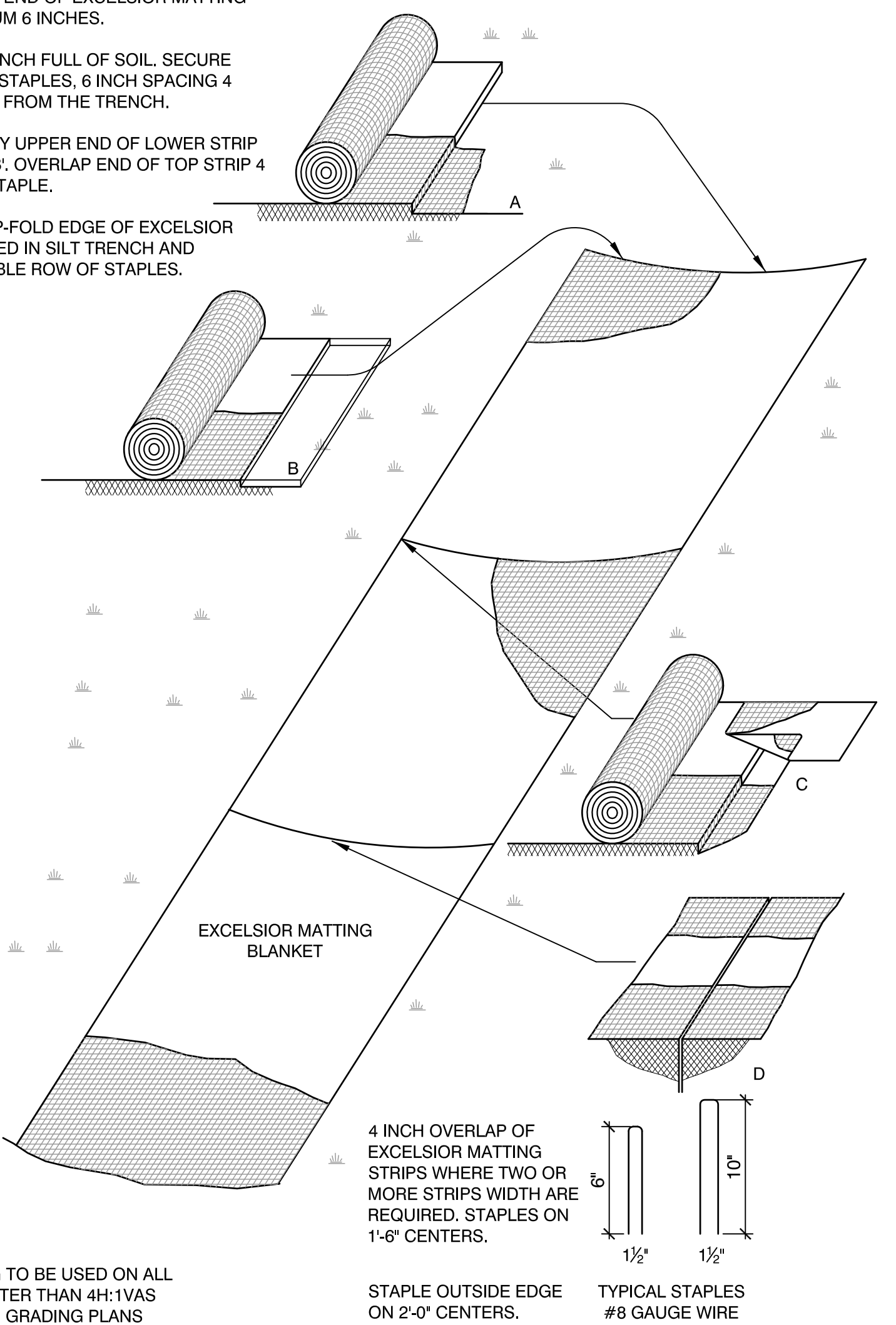
1 TREE PROTECTION FENCE
SCALE: N.T.S

- NOTES:**
- JUTE MESH ROLLS SHALL RUN TOP TO BOTTOM OF SLOPE ONLY.
 - PROVIDE 4" OVERLAP WHERE MORE THAN ONE SECTION OF JUTE MESH IS REQUIRED.
 - USE EROSION CONTROL MIX FOR DRY SITES ON UPLAND SLOPE AREAS. USE CUSTOM WETLAND SEED MIX AT BVW/TOB AREAS. UPLAND SLOPE AREA.

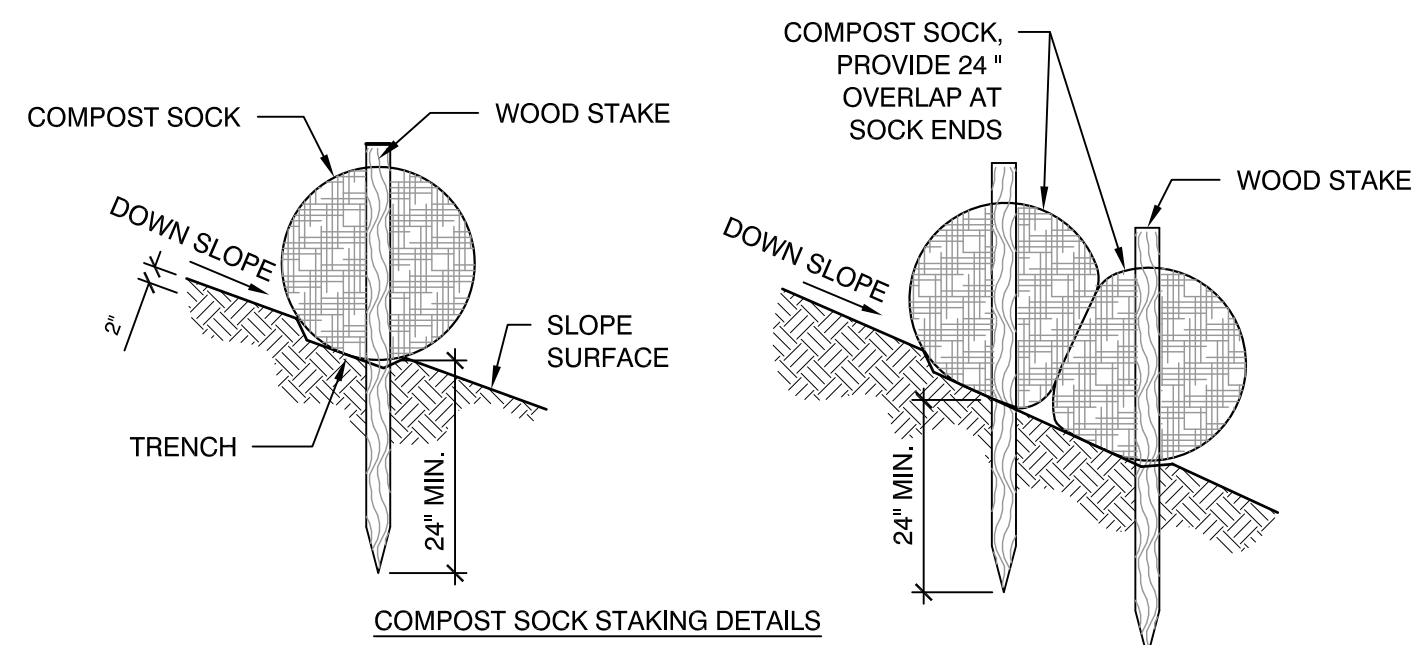


3 SPOT EROSION REPAIR
SCALE: N.T.S

- BURY THE TOP END OF EXCELSIOR MATTING STRIPS MINIMUM 6 INCHES.
- TAMP THE TRENCH FULL OF SOIL. SECURE WITH ROW OF STAPLES, 6 INCH SPACING 4 INCHES DOWN FROM THE TRENCH.
- OVERLAP. BURY UPPER END OF LOWER STRIP AS IN 'A' AND 'B'. OVERLAP END OF TOP STRIP 4 INCHES AND STAPLE.
- EROSION STOP-FOLD EDGE OF EXCELSIOR MATTING BURIED IN SILT TRENCH AND TAMPED; DOUBLE ROW OF STAPLES.



4 SLOPE EROSION CONTROL
SCALE: N.T.S



2 COMPOST SOCK EROSION CONTROL
SCALE: N.T.S



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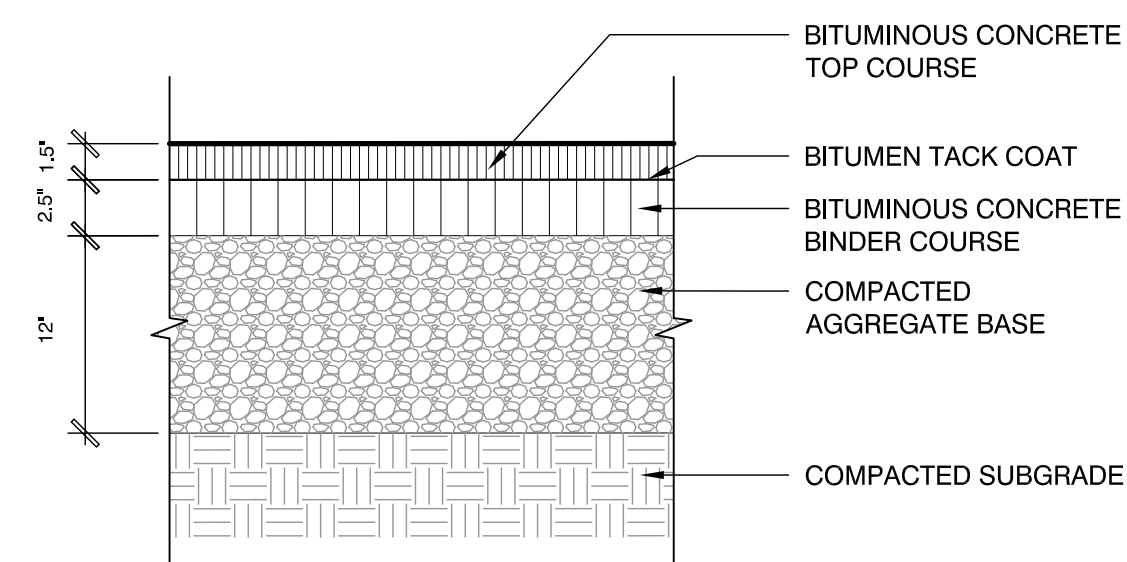
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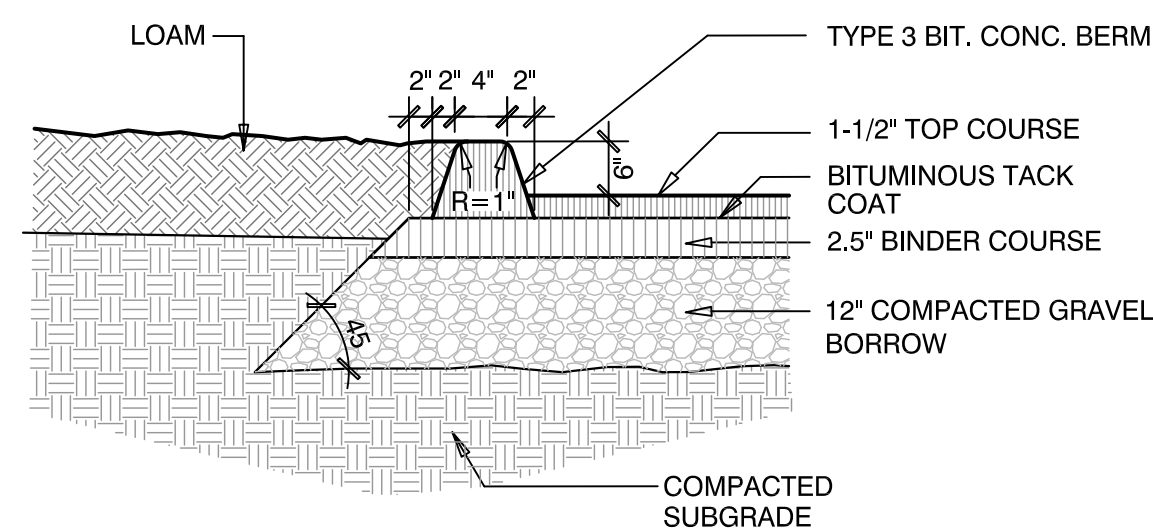
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L500

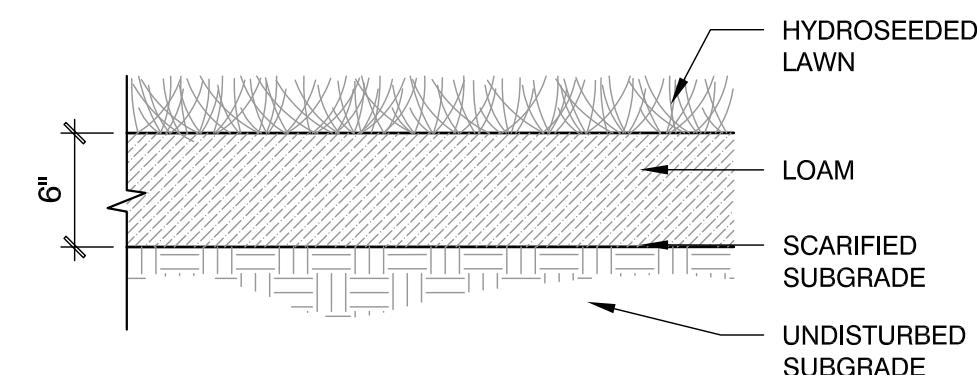


1 BITUMINOUS CONCRETE PAVING
SCALE: N.T.S

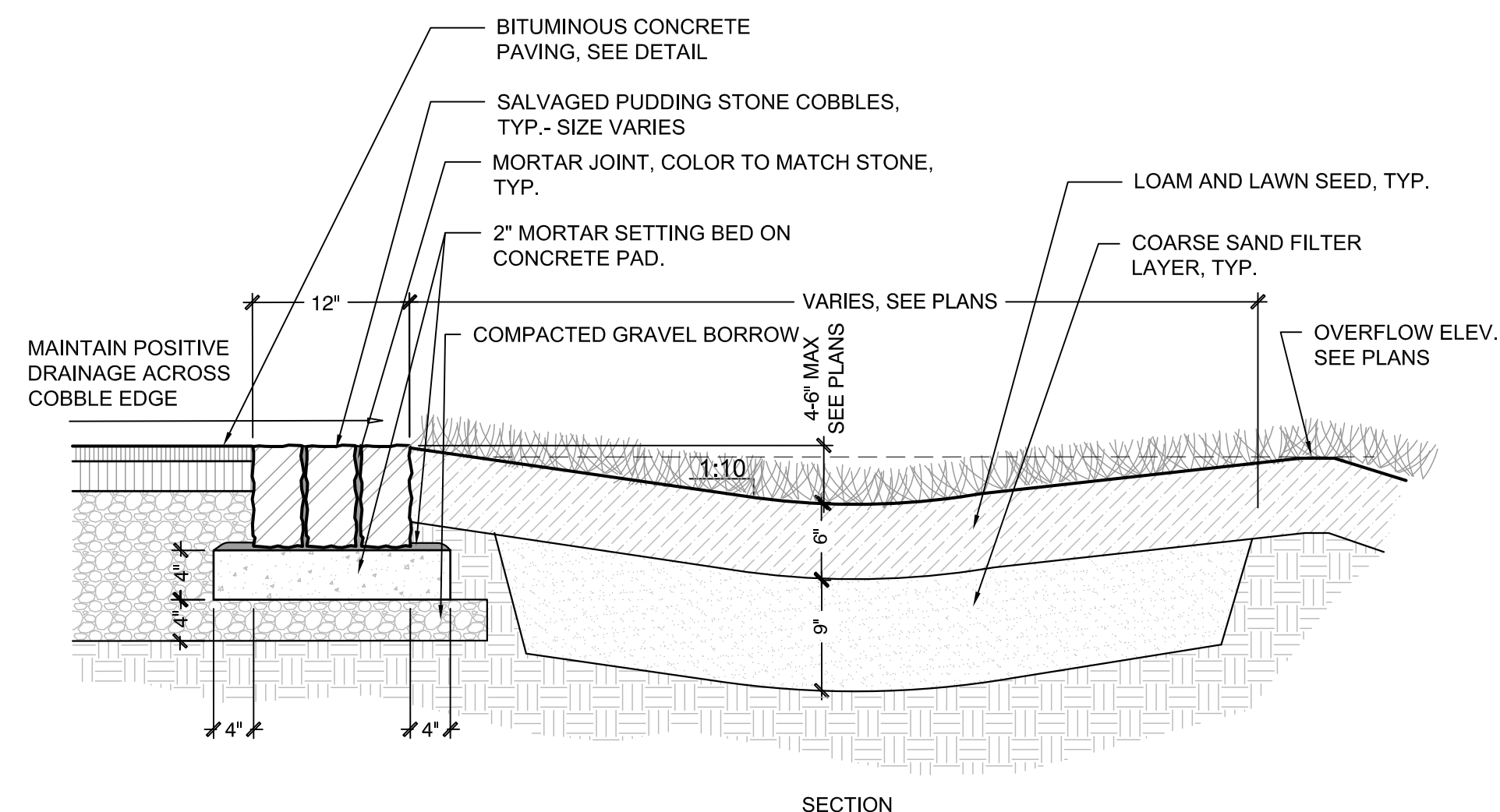


NOTE: SET BIT. CONC. BERM ON BINDER COURSE PRIOR TO INSTALLATION OF TOP COURSE

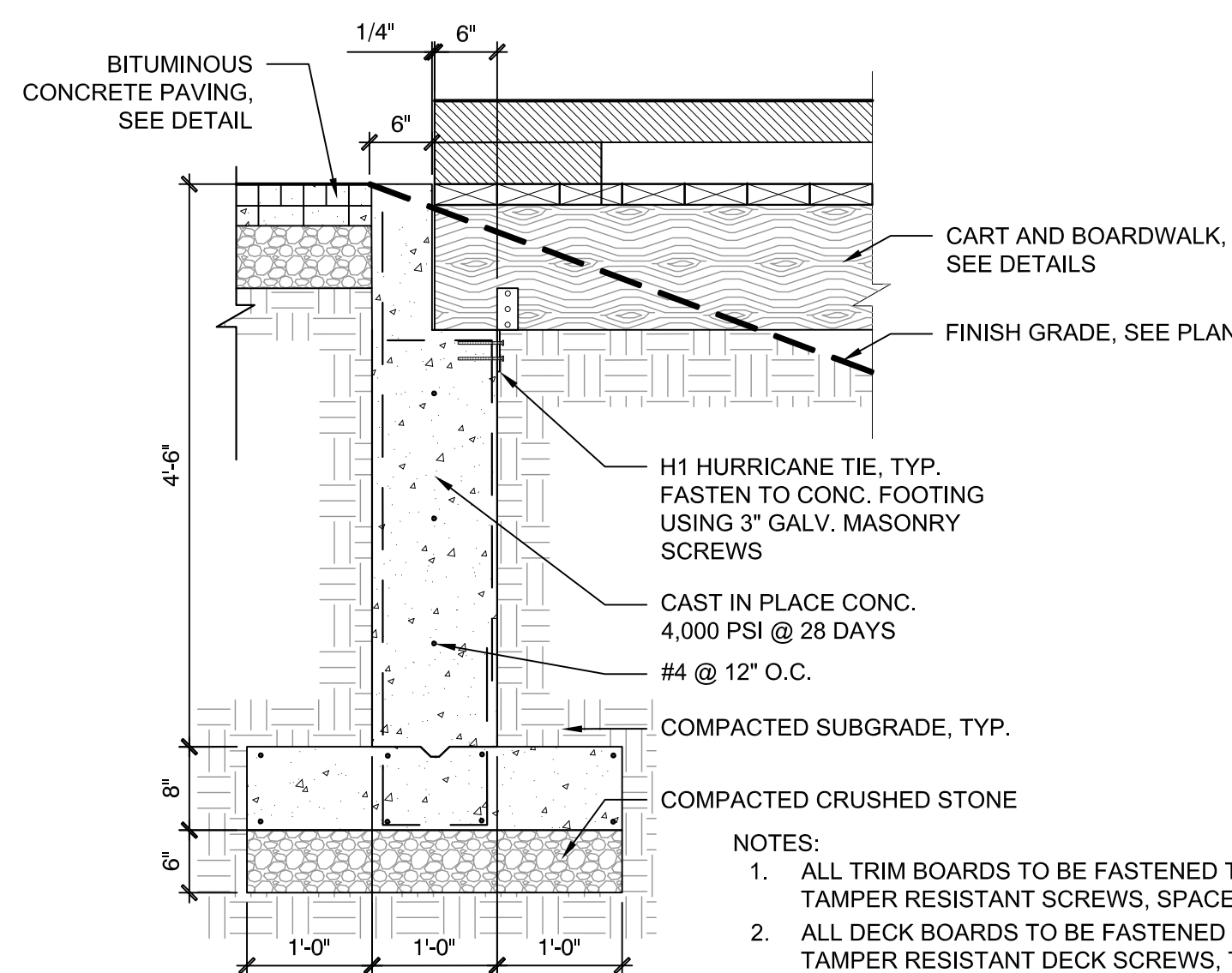
2 BITUMINOUS CONCRETE CURB
SCALE: N.T.S



3 LOAM AND SEED
SCALE: N.T.S



4 SAND FILTER WITH COBBLE EDGE
SCALE: N.T.S



NOTES:
1. ALL TRIM BOARDS TO BE FASTENED TO DECK BOARDS WITH 3\"/>

5 BRIDGE FOOTING DETAIL
SCALE: N.T.S



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