

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE
A.F.F.	ABOVE FINISHED FLOOR
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
BLKG.	BLOCKING
BLDG.	BUILDING
B.O.	BOTTOM OF
C.H.	CEILING HEIGHT
C.J.	CONTROL JOINT
CL	CENTERLINE
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONT.	CONTINUOUS
DN	DOWN
DIM.	DIMENSION
DIA.	DIAMETER
DWG.	DRAWING
(E)	EXISTING
EL.	ELEVATION
ELEC.	ELECTRICAL
EQ	EQUAL
FD.	FLOOR DRAIN
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
GFIC	GROUND FAULT INTERCEPTOR CIRCUIT
GWB	GYPSUM WALL BOARD
H or HVAC	HEATING, VENTILATION & AIR CONDITIONING
H.B.	HOSE BIB
MAX.	MAXIMUM
MIN.	MINIMUM
MECH.	MECHANICAL
MEP	MECHANICAL ELECTRICAL PLUMBING
M.O.	MASONRY OPENING
MTL.	METAL
N.I.C.	NOT IN CONTRACT
.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O/	OVER
OPP.	OPPOSITE
P.G.	PAINT GRADE
PTD.	PAINTED
R.D.	ROOF DRAIN
REQ'D.	REQUIRED
R.O.	ROUGH OPENING
S.G.	STAIN GRADE
SIM.	SIMILAR
SQ.	SQUARE
SPEC.	SPECIFICATION
SSTL.	STAINLESS STEEL
STL.	STEEL
SYM.	SYMMETRICAL
T.O.	TOP OF
T&G	TONGUE AND GROOVE
TYP.	TYPICAL
U.O.N	UNLESS OTHERWISE NOTED
VCT	VINYL CEILING TILE
V.I.F.	VERIFY IN FIELD
W/O	WITHOUT
W/	WITH
WD.	WOOD
WPM.	WATERPROOFING MEMBRANE

Symbol Legend

	BUILDING SECTION Reference Number Drawing Sheet
	DETAIL Reference Number Drawing Sheet
	DETAIL Reference Number Drawing Sheet
	INTERIOR ELEVATION Reference Number Drawing Sheet
	EXTERIOR ELEVATION Reference Number Drawing Sheet
	ELEVATION
	WINDOW TAG
	DOOR TAG
	WALL TAG
	REVISION TAG
	CENTERLINE

General Requirements

- All work shall be in compliance with all applicable local building codes and regulations. Contractors shall be responsible for permits applicable to specific trades or subcontractors.
- Contractor shall examine the premises and site so as to compare them to the contract drawings and will be familiar with the existing conditions of the building prior to submission of bid number. Allowances are to be made to include items of work including both labor or materials for all noted, details or implied items required to attain the completed conditions proposed in the drawings and specifications.
- Contractor shall coordinate the work of all trades and subcontractors and shall be responsible for any acts, omissions, or errors of the subcontractors and/or person directly or indirectly employed by them.
- Contractor shall assume the sole responsibility for job site conditions including the safety of persons and property for the duration of the project.
- Contractor shall conform to all neighborhood association rule and guidelines.
- All construction materials and supplies are to be stored, handled and installed according to manufacturers' recommendations.
- If errors or omissions are found in the contract documents, they should be brought to the attention of the architect before proceeding with the work.
- Drawings schematically indicate new construction. The contractor shall anticipate, based on experience, a reasonable number of adjustments to be necessary to meet the design objectives and should consider such adjustments as included in the scope of work.
- When specific features of construction are not fully shown on the drawings or called for in the general notes, their construction shall be of the same character as similar conditions.
- All dimensions are to be taken from numeric designations only; dimensions are not to be scaled off of the drawings.

DESIGN IS BASED ON THE INTERNATIONAL BUILDING CODE (IBC) 2015 AND THE MASSACHUSETTS BUILDING CODE 2015 AMENDMENTS. CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE SECTIONS.

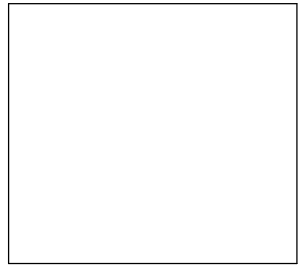
Project Summary

ADDRESS:	51 GRAY STREET, BOSTON
NEIGHBORHOOD DISTRICT:	SOUTH END NEIGHBORHOOD
ZONING DISTRICT:	MFR
EXISTING USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
LOT AREA:	720 SF

Item	Required	Proposed
Lot Area, Minimum for Dwell. Unit(s) Specified (Sq.Ft.)	NONE	NO CHANGE
Additional Lot Area For Each Addit'l Dwell. Unit (Sq. Ft.)	NONE	NO CHANGE
Lot Width Minimum (Feet)	NONE	NO CHANGE
Lot Frontage Minimum (Feet)	NONE	NO CHANGE
Floor Area Ratio Maximum	2.0	NO CHANGE
Building Height Maximum	70'	NO CHANGE
Usable Open Space Minimum Sq. Ft. Per Dwelling Unit (a)	200 sq.ft.	NO CHANGE
Front Yard Minimum Depth (Feet)	Conformity with existing building alignment	NO CHANGE
Side Yard Minimum Width (Feet)	NONE	NO CHANGE
Rear Yard Minimum Depth (Feet)	20'	NO CHANGE
Rear Yard Maximum Occupancy by Accessory Buildings (Percent)	25'	NO CHANGE

Sheet List	
Sheet Number	Sheet Name
G0.01	Cover
G0.02	Structural Notes
V1.01	Plot Plan
V1.02	Proposed - Plot Plan
A1.00	Demolition Plans
A1.01	Site Plan
A1.02	Level 3 and Roof Deck Plan
A1.04	Roof Deck Framing Plan
A3.01	Building Section
A4.01	Details I
A4.02	Details II
A4.03	Details III

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Roof Deck
51 Gray Street
Boston, MA
Breen

G0.01	Cover
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General Structural Notes

1.1 Elevations & Dimensions

A. All dimensions, elevations and conditions shall be verified in the field by the contractors and any discrepancies shall be brought to the attention of the Engineer for clarification before proceeding with the affected part of the work. Dimensions and elevations noted in the contract documents as (+/-) and all field conditions shall be verified in the field by the contractor prior to submissions of shop drawings

1.2 Building Code and Reference Standard

- A. Massachusetts State Building Code 780 CMR - Ninth Edition
- B. International Building Code 2015 w/ Mass. Amendments
- C. ASCE/SEI 7-05, Minimum Design Loads for Buildings and Structures

1.3 Design Loads

- A. Dead Loads: All permanent Stationary Construction.
- B. Floor Live Load (uniform)
 - 1. Residential 40 psf
 - 2. Roof Snow Load Parameters: Where appropriate drifting snow loads have been considered in accordance with Section 7.7 of ASCE/SEI 7-05.
 - a) Ground Snow Load, Pg 45 psf
 - b) Flat Roof Snow Load, Pf 30 psf
- C. Wind Load Parameters
 - 1. Basic Wind Speed (3 Sec Gust) V=105 mph
 - 2. Wind Importance Factor, I 1.0
 - 3. Exposure B

Wood Framing

2.1 Sawn Lumber

- A. All lumber to be Spruce-Pine-Fir (NLGA) #2 or better and Kiln Dried.
- B. All lumber noted as PT to be Pressure Treated
- C. All PT Lumber must be redried after treatment to a maximum moisture content of 19% and bear a stamp indicating KDAT or ADAT.

2.2 Laminated Veneer Lumber - LVL

- A. LVL shall be approved equal or better grade as follows:
 - 1. Doulgas fir or southern pine veneers
 - 2. E >= 2,000,000 psi
 - 3. Fb >= 2,600 psi
 - 4. Fv >= 285 psi
- B. Only LVL products with the above minimum properties will be approved. Do not use LVL products that have been stored outdoors prior to delivery to the job site. LVL must be stored flat and level off the ground, covered and protected from weather.

2.3 Parallel Strand Lumber - PSL

- A. PSL Shall be approved equal or better grade as follows:
 - 1. E >= 1,800,000 psi
 - 2. FcII >= 2,500 psi
- B. Only PSL products with the above minimum properties will be approved. Do not use PSL products that have been stored outdoors prior to delivery to the job site. PSL must be stored flat and level off the ground, covered and protected from weather.

2.4 Veneer Plywood

- A. Roof Sheathing: 3/4" APA rated Sturd-I-Floor Sheathing, Exposure 1.

2.5 Fasteners

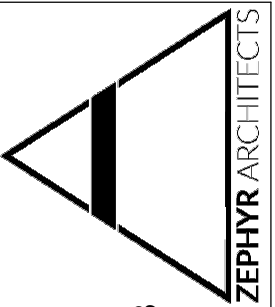
- A. Nails - Common Wire, hot-dipped galvanized per ASTM A153
- B. Bolts: ASTM A307
- C. Self Driving Screws: SDS Wood Screws by Simpson Strong - tie or approved equal .
- D. Connectors: Simpson Strong-toe pr approved equal. Provide nailing specified by manufacturer to achieve full capacity of all connections and hangers.
- E. Construction Adhesive: Conform to APA AFG-01

2.6 Framing Notes

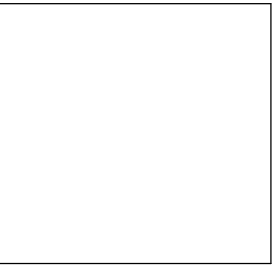
- A. Comply with all the relevant prescriptive requirements of 780 CMR 9th edition of the Massachusetts State Building Code (UON) and the International Building Code.
- B. Lag Screw Installation: Drill clearance holes for lag screws to depth equal to length of unthreaded shank. Lead holes for threaded portion shall be 60% the diameter of the unthreaded shank (clearance hole). Always drill clearance hole to proper depth before drilling lead hole. Turn lag screws in place; do not drive with a hammer.
- C. Set carpentry to required levels and lines, with members plumb , true to line, cut and fitted.
- D. Produce joints which are tight, square and true with members assembled in accordance with the drawings.
- E. Do not use defective or damaged materials, such as cracked, split, warped, kinked, twisted, gouged or dented framing. Do not use bent , cracked or rusted connectors or fasteners.
- F. Install horizontally-oriented members with high side "crown" up.
- G. Clearance holes for bolts shall be a maximum of 1/16" greater than bolt diameter.
- H. Fasten roof sheathing to framing with 10d nails @ 4 in. OC at edges and 16 in OC in field.

2.7 Standard Spec

- A. AF&PA NDS-05 Nation Design Specification for Wood Construction with 2005 Supplement.



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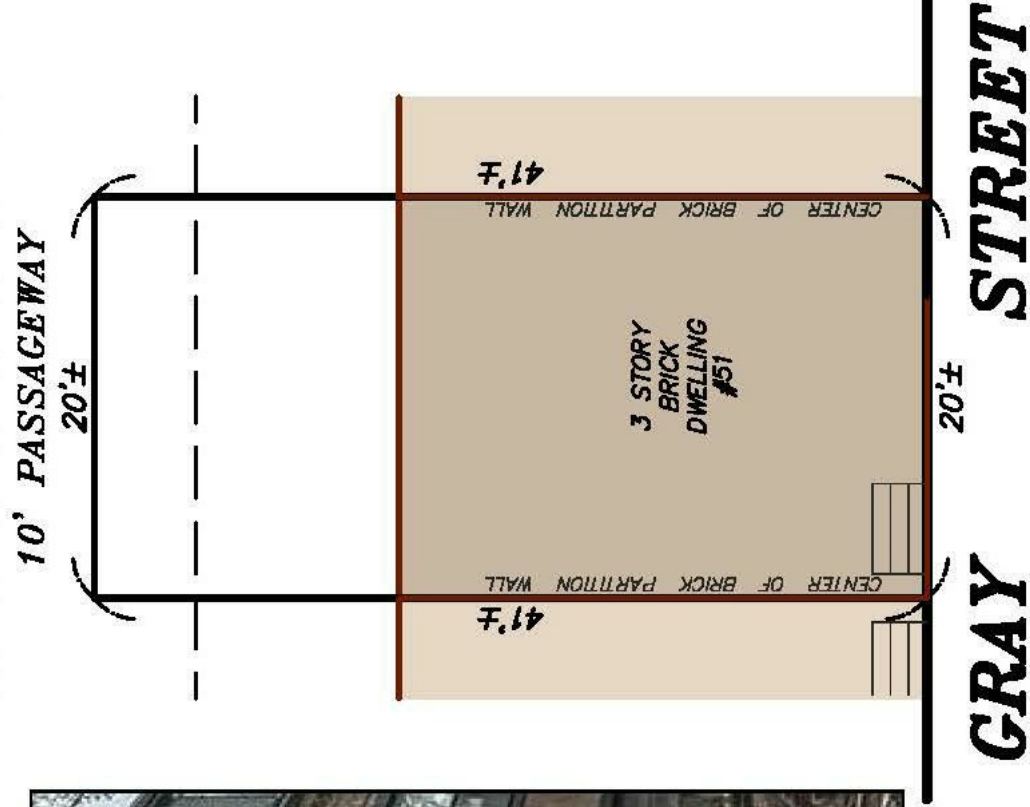
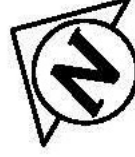
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Breen

G0.02

Structural Notes

MORTGAGE INSPECTION PLAN

Note: This plan was prepared for mortgage inspection purposes only. It does not represent a property line survey nor was it prepared in accordance with the procedural and technical standards of 250 CMR, Section 6.04. Any dimensional offsets are approximate and are not based upon an actual boundary survey. Offsets of a foot or less should be verified by an instrument survey. This plan cannot be used to establish fences, buildings or other improvements. The lot depicted is based on information furnished by the client and may be subject to other takings, easements, out-sales or rights-of-way. No liability is proffered to the land owner or occupant of the premises. As no survey monumentation was re-covered, the locations and depictions hereon are based upon apparent occupation lines and may not be accurate. For an accurate location and determination, an instrument survey is recommended.



MORTGAGE INSPECTION OF PROPERTY

In Boston, Suffolk County, Massachusetts
 Prepared for: Guaranteed Rate, Inc.
 Owned by: Jeffrey Kahan
 Scale: 1" = 10' Date: 03-11-17
 Book No. 22850 Page No. 47
 Land Court Cert. No. (Not Applicable)

In my professional opinion the building(s) shown on this plan is (are) approximately located on the ground as shown hereon and to the best of my knowledge and belief conformed to the dimensional Zoning Laws of the City of Boston at the time of construction or may be exempt from violation enforcement under Mass. G.L. Chap. 40A, Sec. 7, unless shown otherwise.

On this date March 11, 2017 I hereby declare that to the best of my knowledge and belief the parcel as shown is located in Zone D or X (Not In Special Flood Hazard Area) as depicted on the FEMA/FIA National Flood Insurance Map No. 250286 0077 J dated March 16, 2016



GRE
SURVEYING LLC

P.O. Box 684, Winchester, MA 01890
 Telephone 781-721-1944

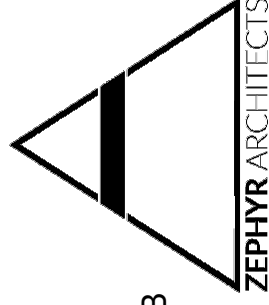
MI70302

V1.01

Plot Plan

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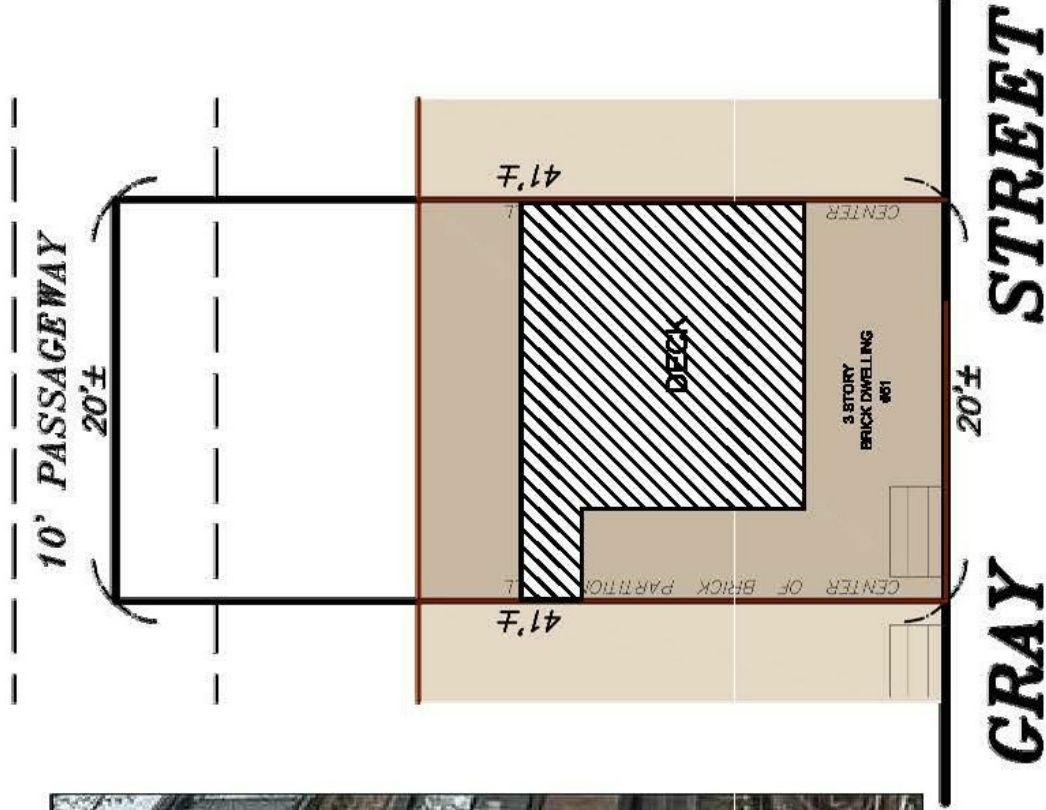
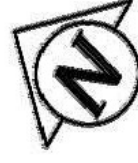
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ELECTRONIC GRE SURVEYING LLC

P.O. Box 684, Winchester, MA 01890
 Telephone 781-721-1944

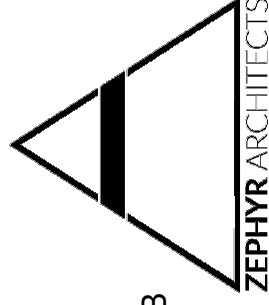
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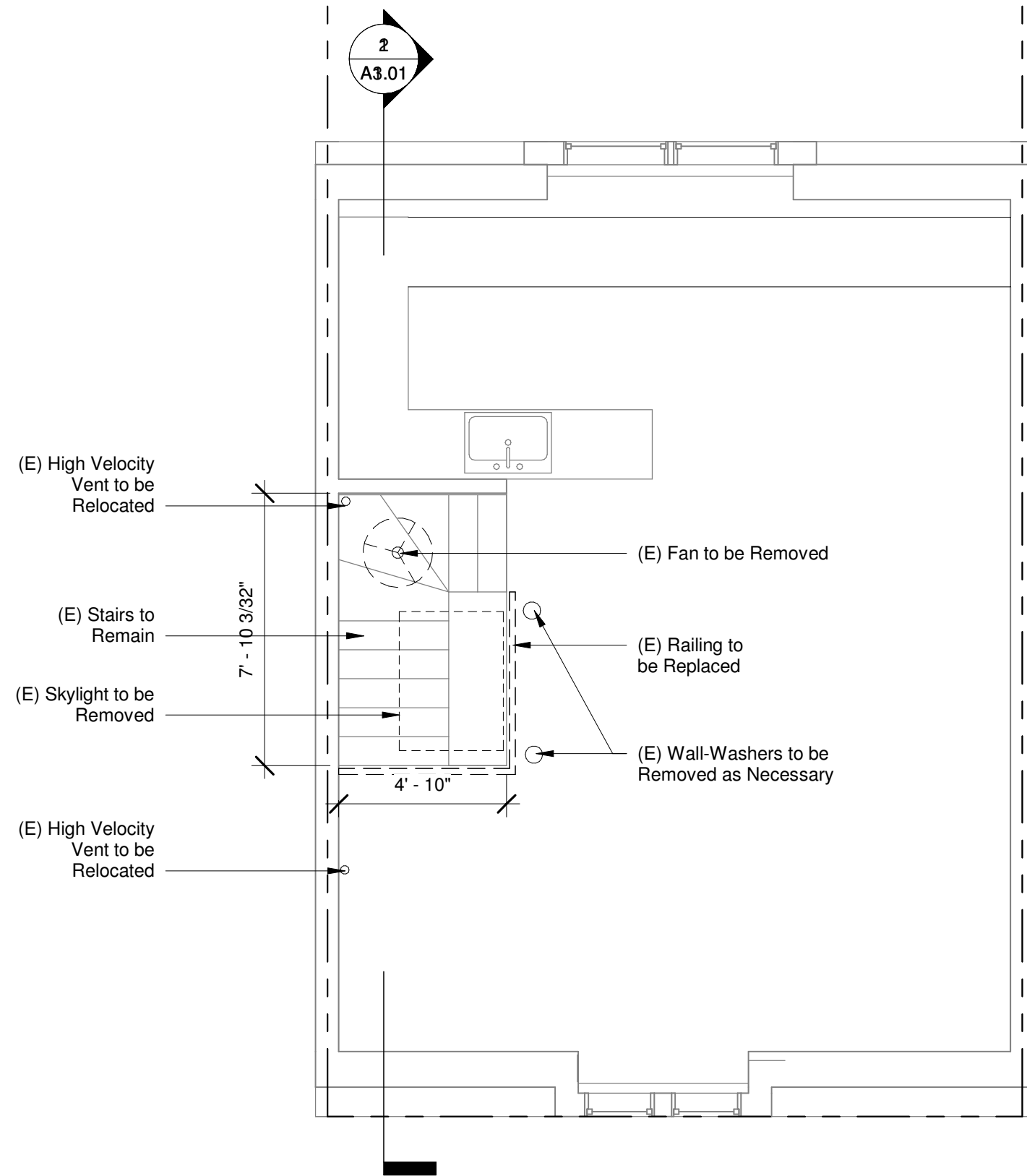
V1.02

Proposed - Plot Plan

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2
A3.01

(E) High Velocity
Vent to be
Relocated

(E) Stairs to
Remain

(E) Skylight to be
Removed

(E) High Velocity
Vent to be
Relocated

7' - 10 3/32"

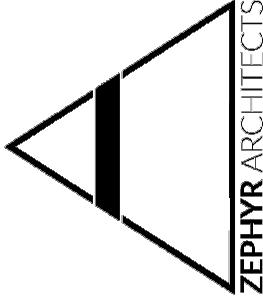
4' - 10"

(E) Fan to be Removed

(E) Railing to
be Replaced

(E) Wall-Washers to be
Removed as Necessary

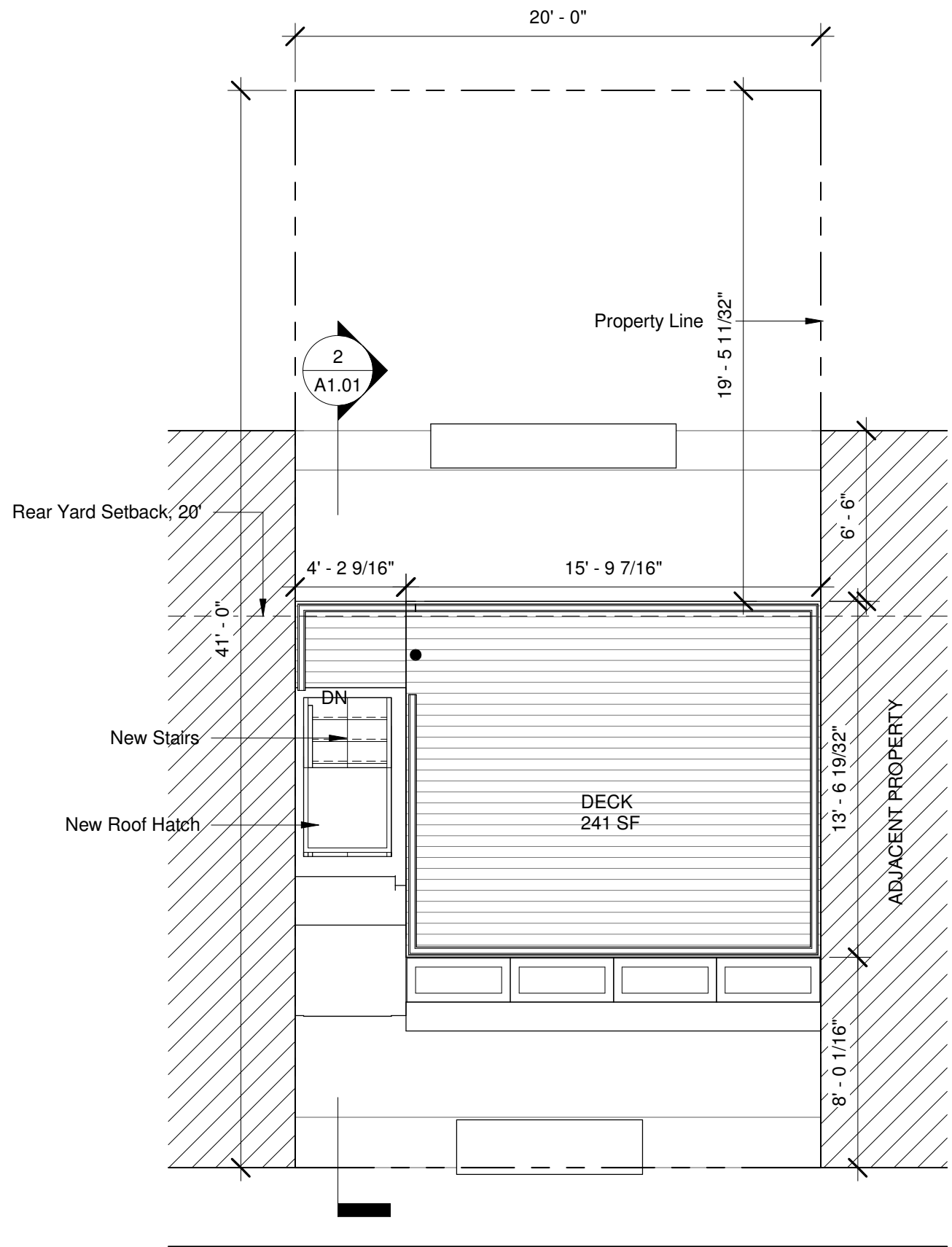
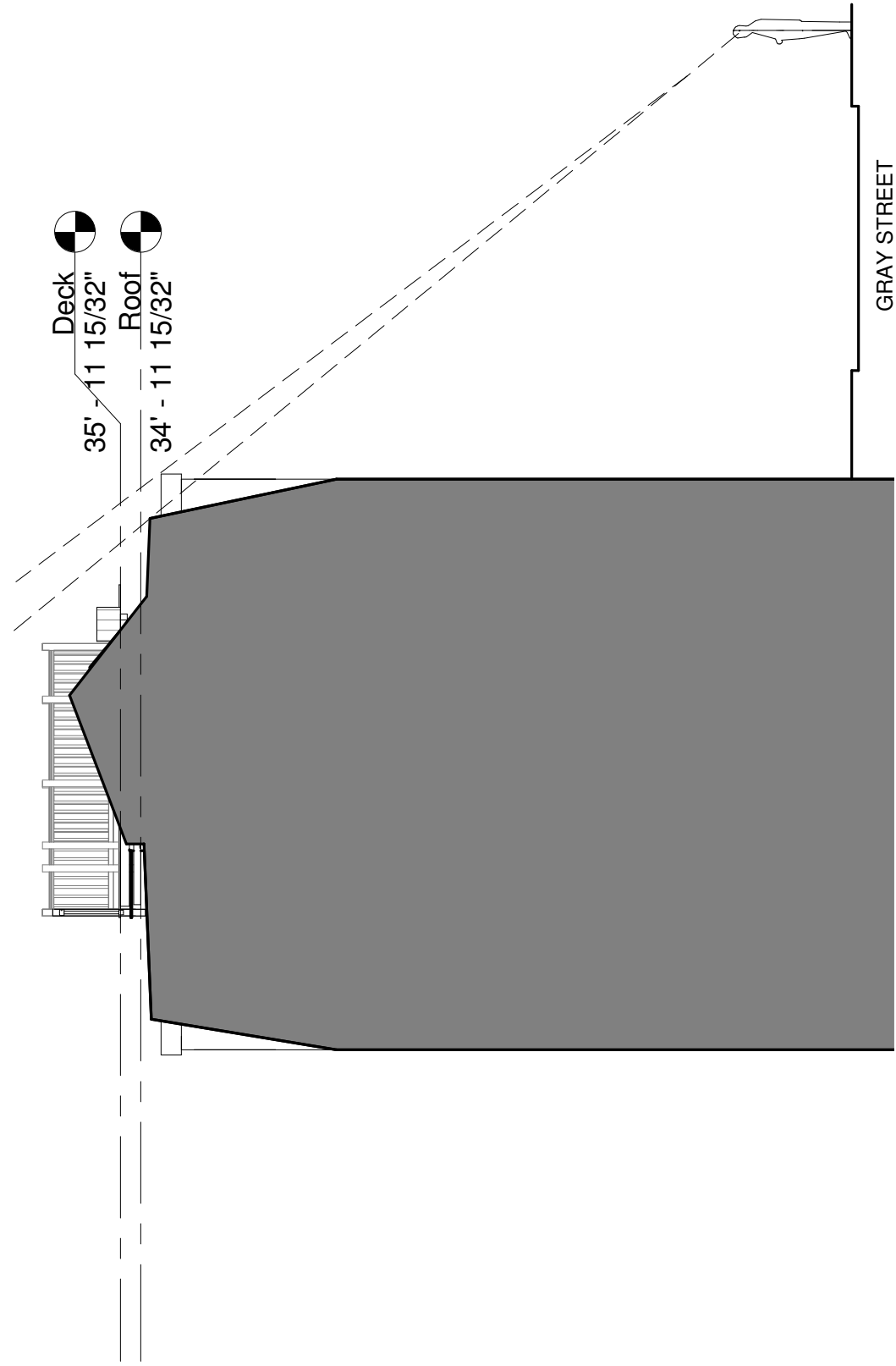
1 Existing - Level 3
1/4" = 1'-0"



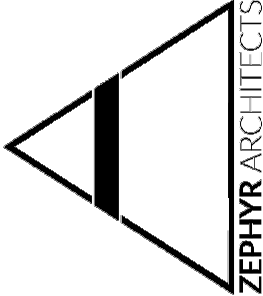
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A1.00 Demolition Plans



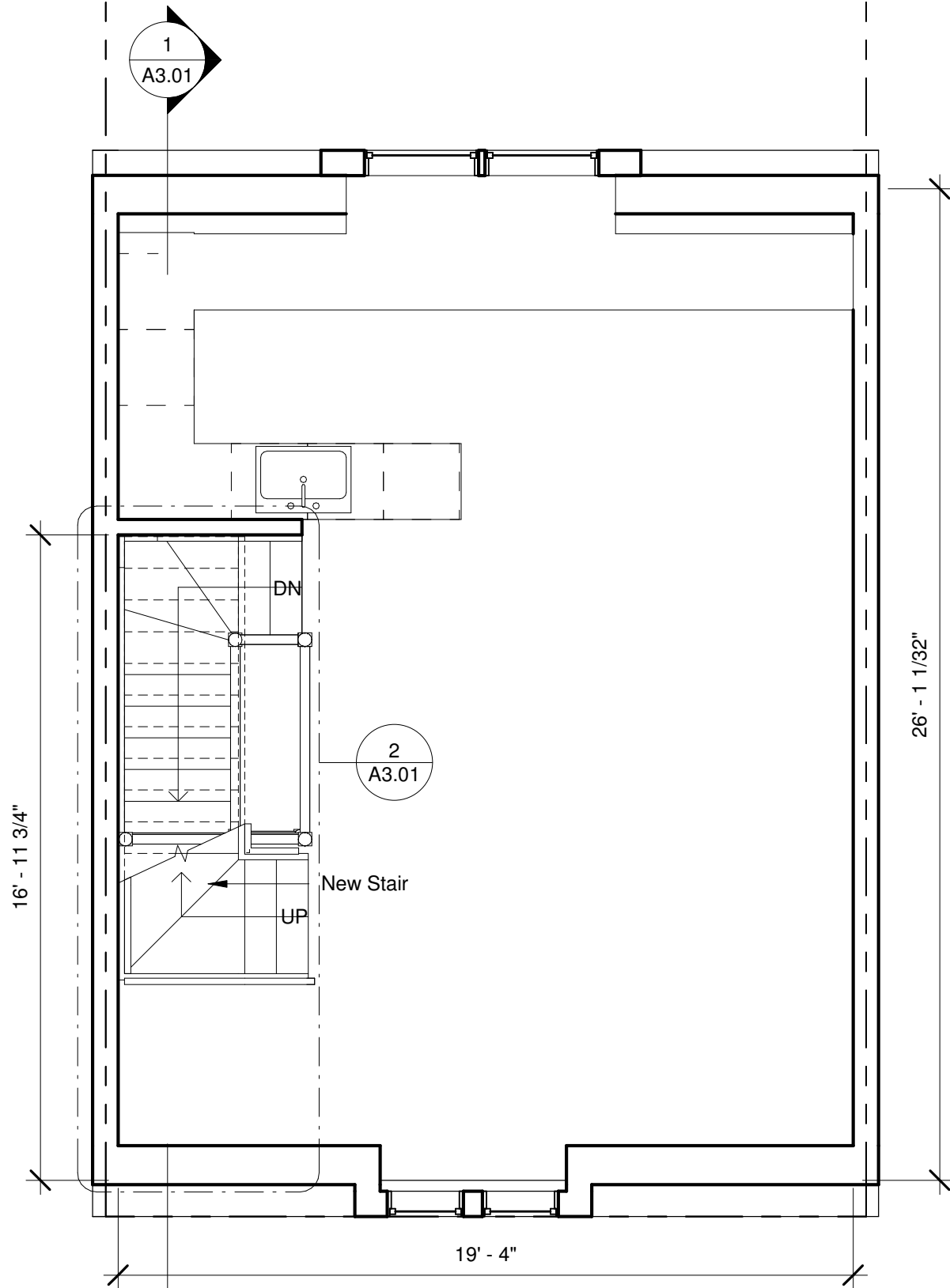
1 Site
 3/16" = 1'-0"



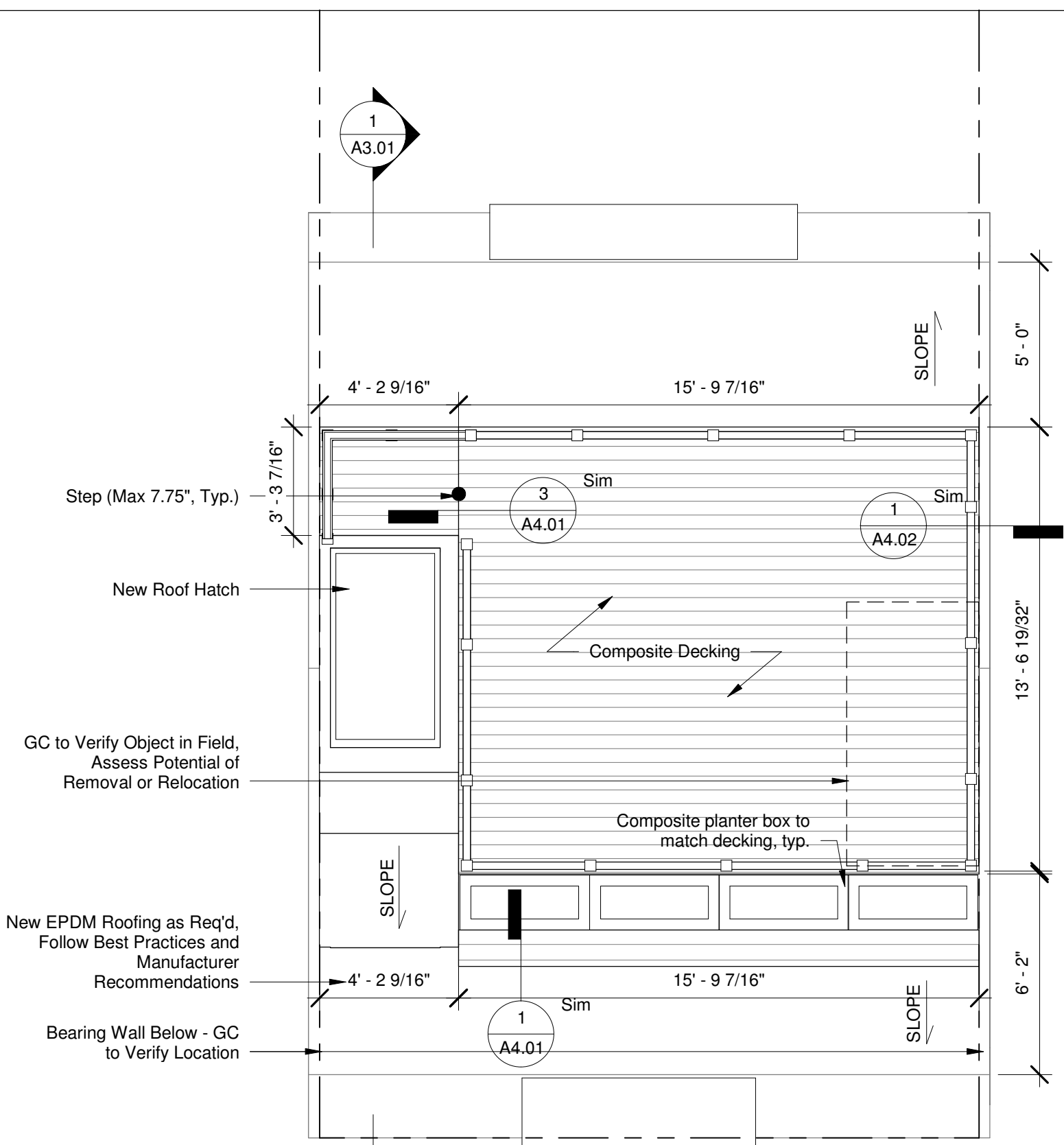
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A1.01 Site Plan



② Level 3
1/4" = 1'-0"



① Roof Deck
1/4" = 1'-0"

Step (Max 7.75", Typ.)

New Roof Hatch

GC to Verify Object in Field, Assess Potential of Removal or Relocation

New EPDM Roofing as Req'd, Follow Best Practices and Manufacturer Recommendations

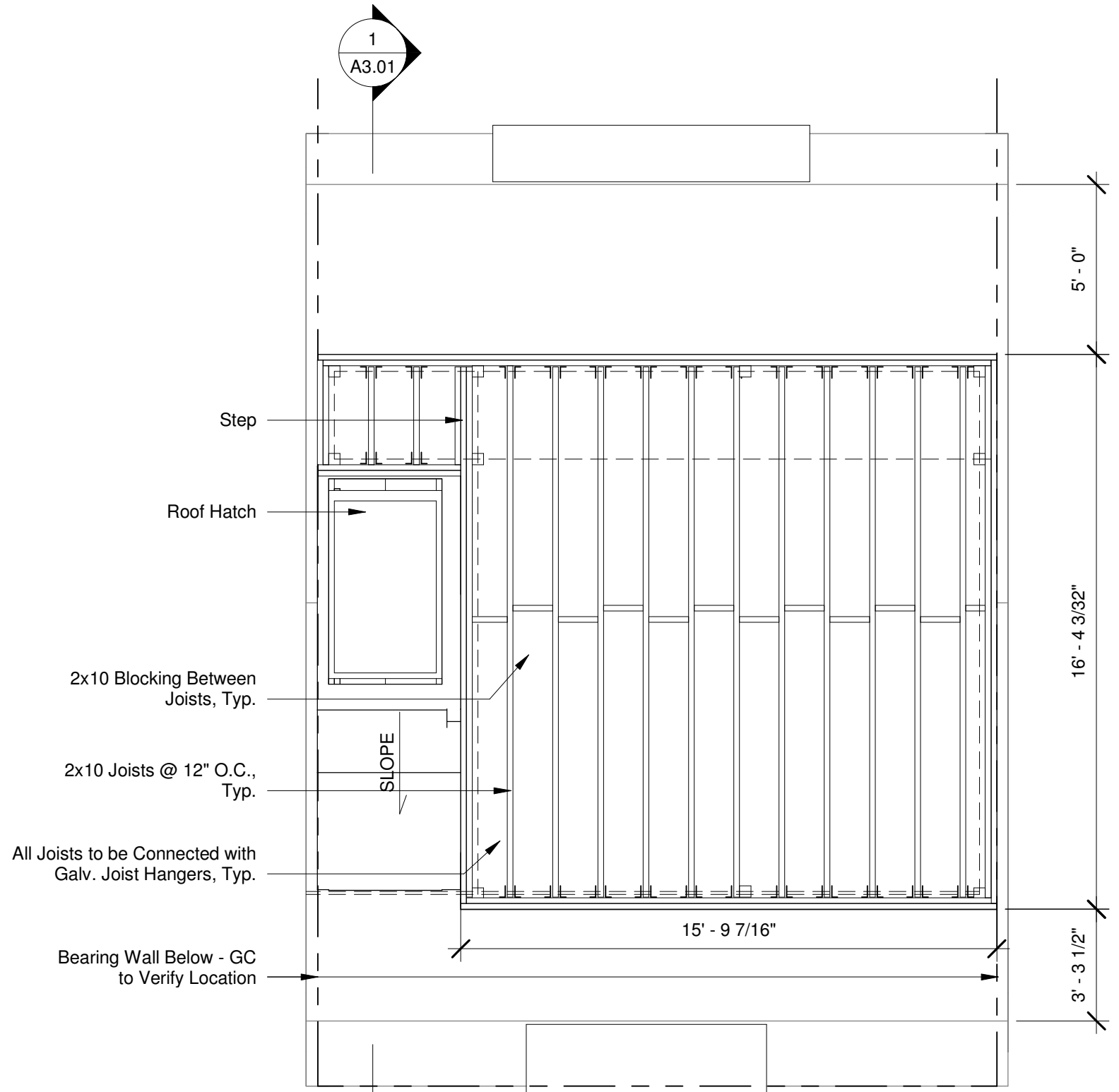
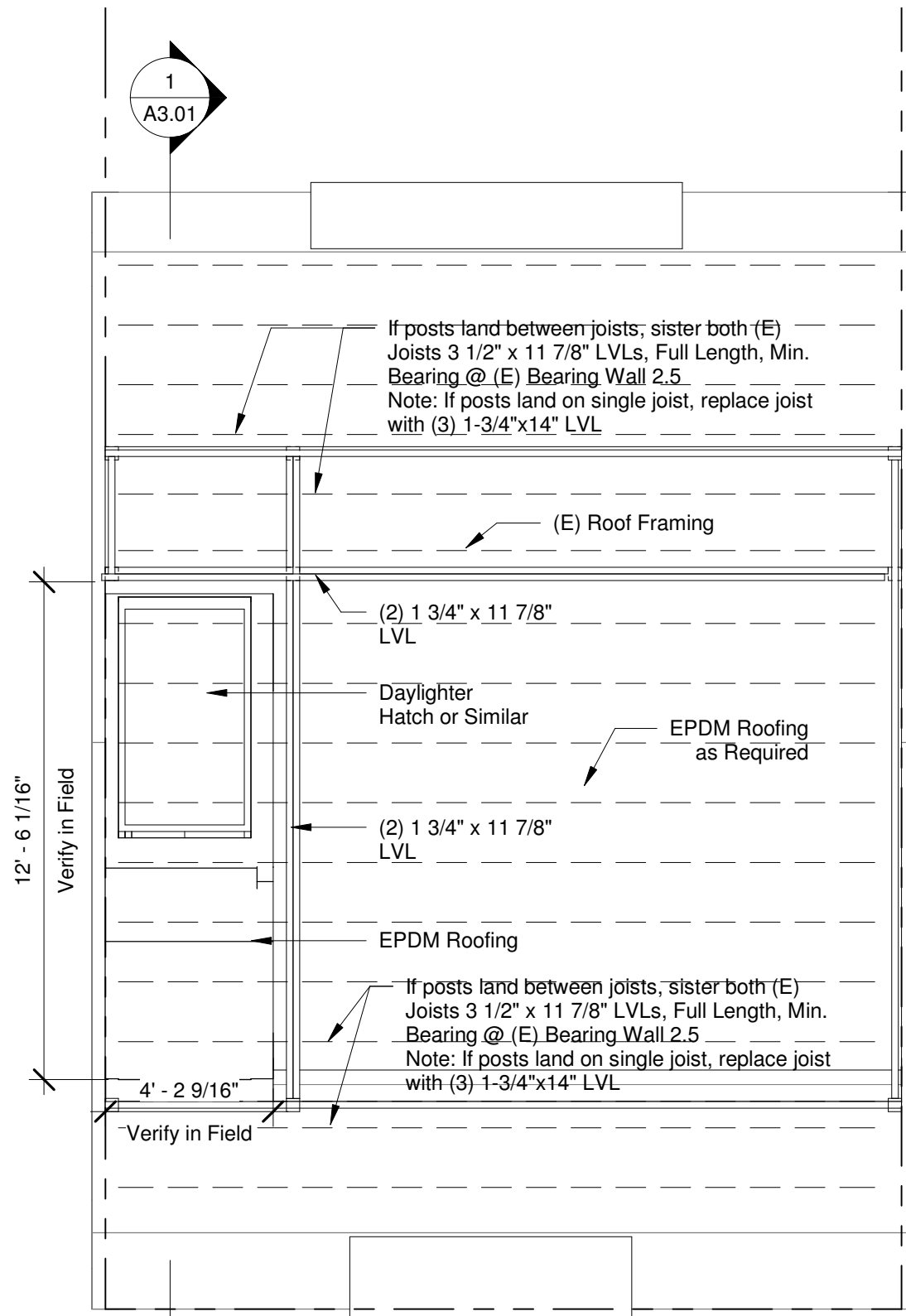
Bearing Wall Below - GC to Verify Location

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Roof Deck

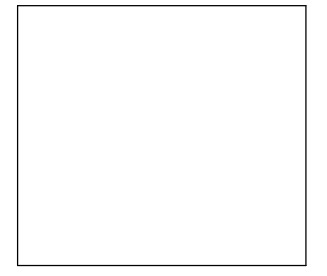
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A1.02 Level 3 and Roof Deck Plan



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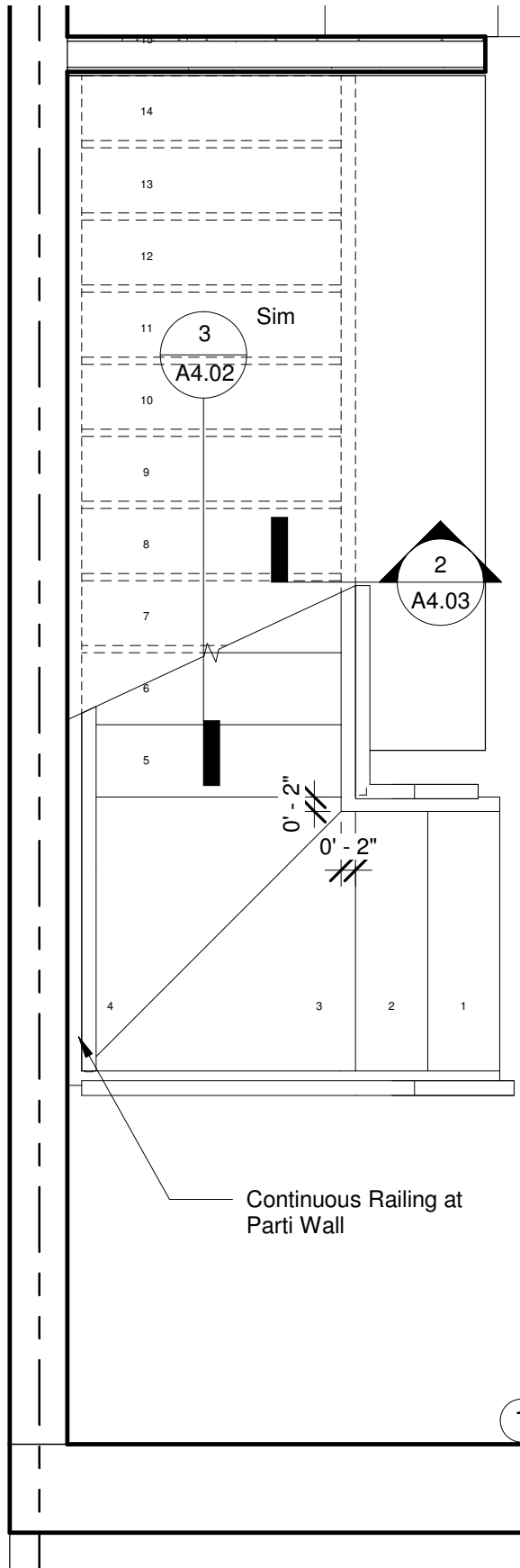
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A1.04 Roof Deck Framing Plan

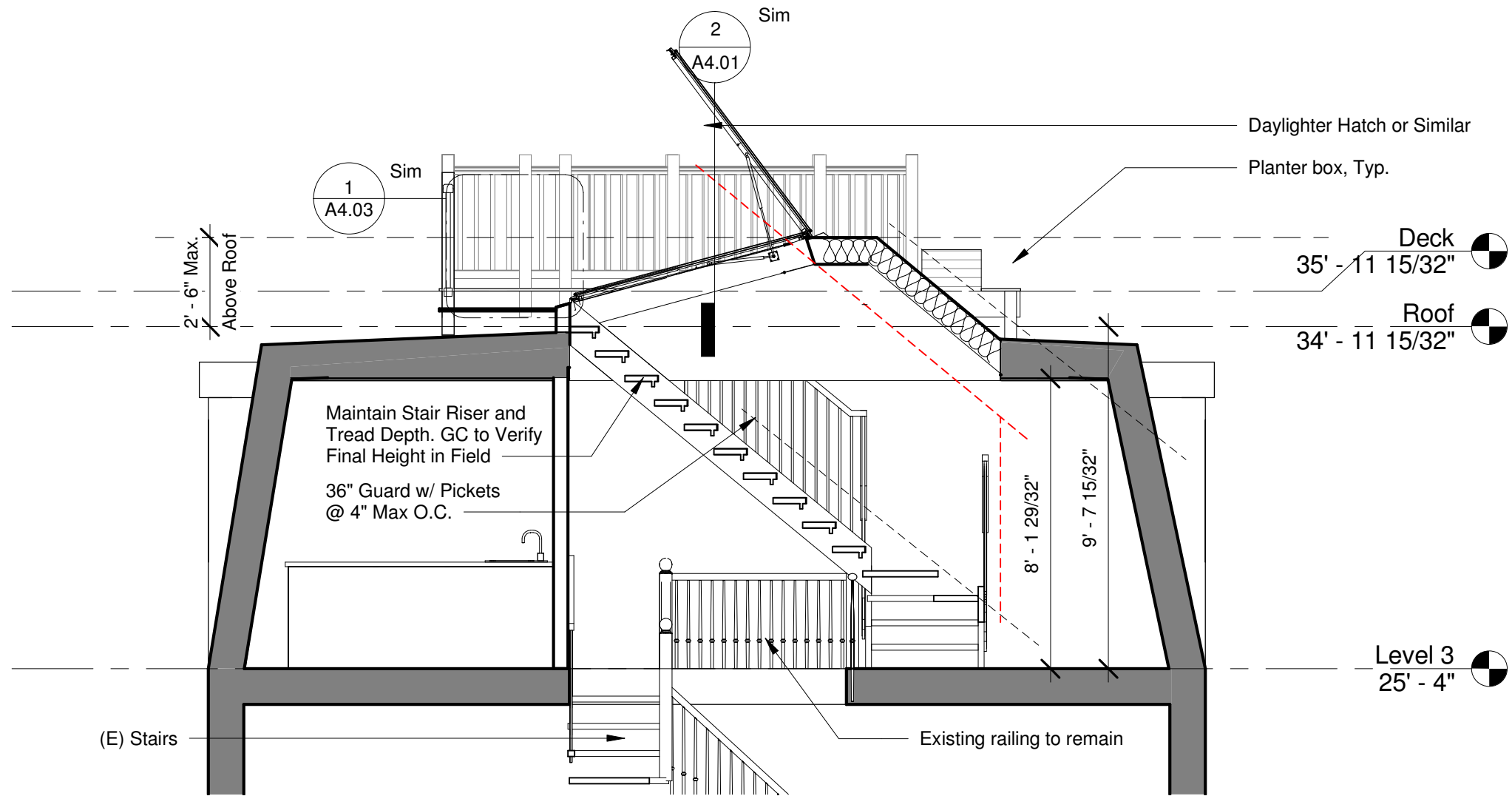
1 Roof Framing Plan
1/4" = 1'-0"

2 Roof Deck Framing
1/4" = 1'-0"

② Level 3 - Stair
1/2" = 1'-0"



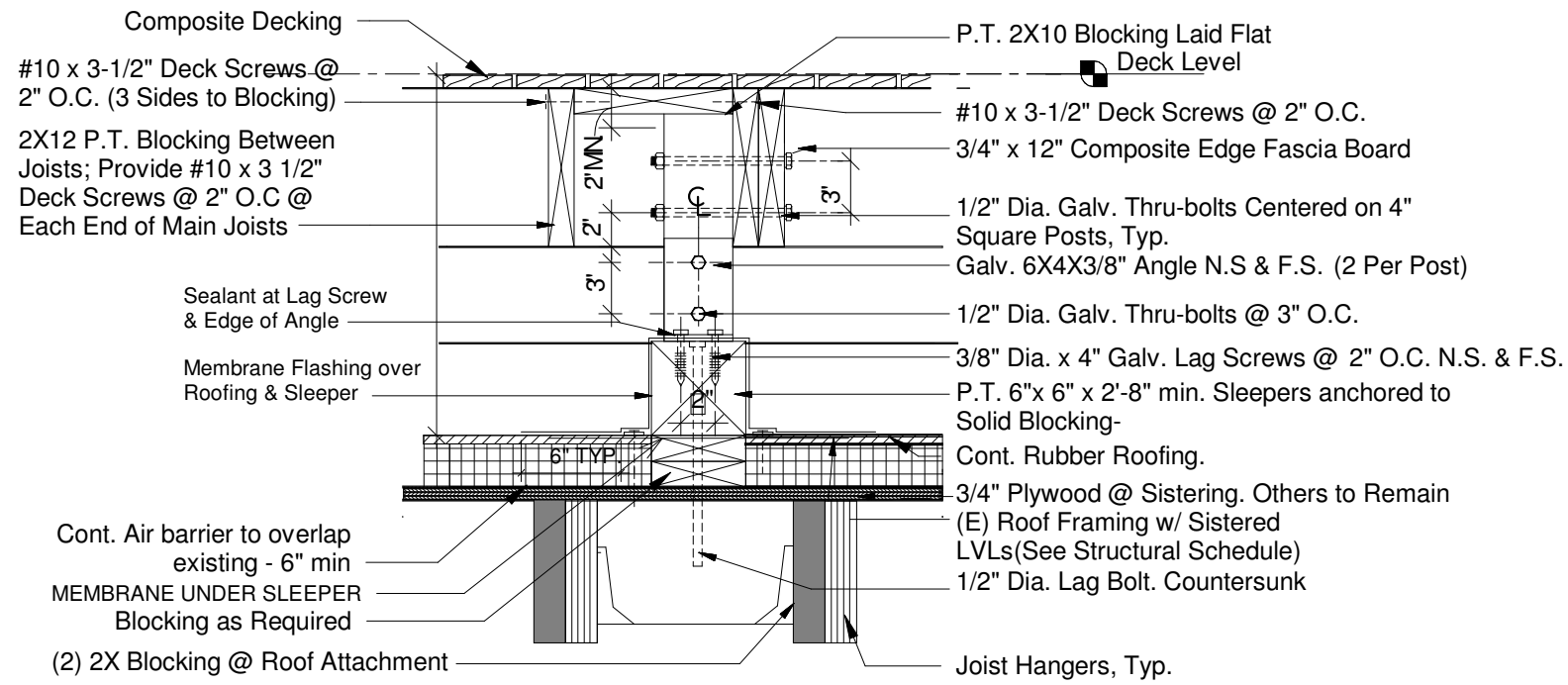
① Section 2
1/4" = 1'-0"



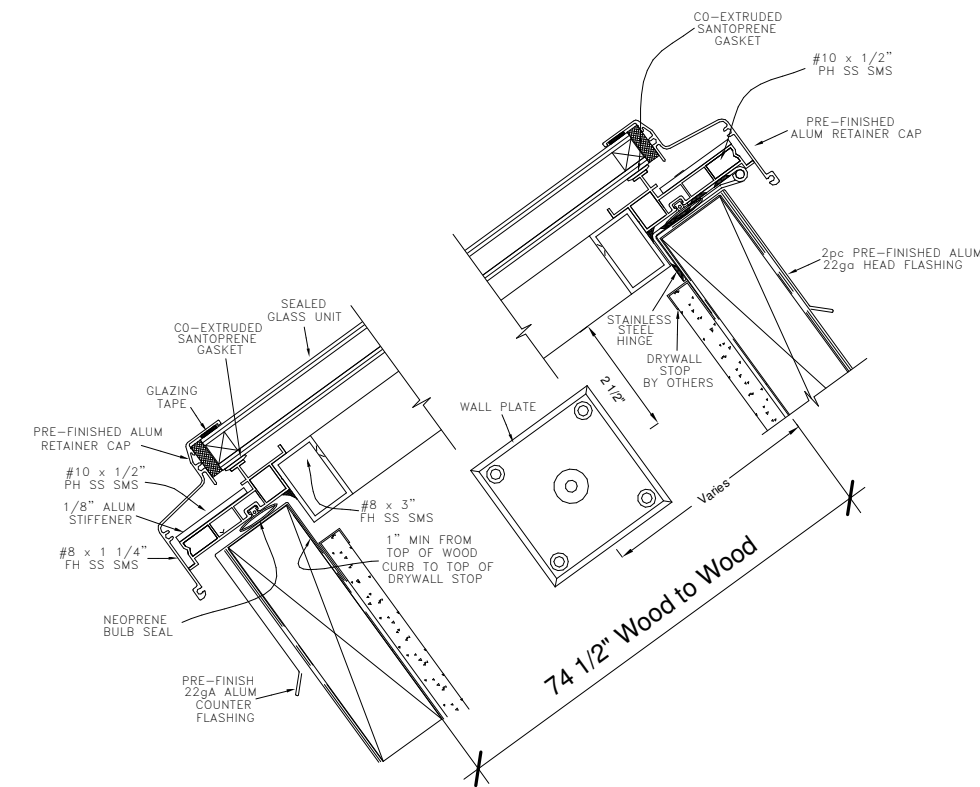
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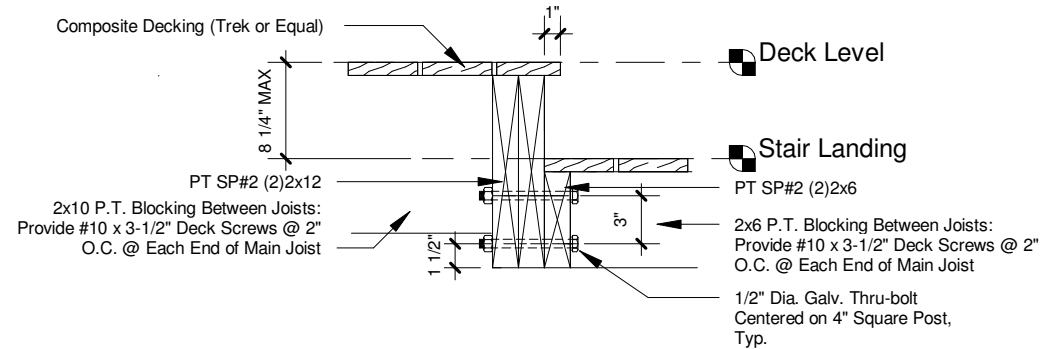
A3.01 Building Section



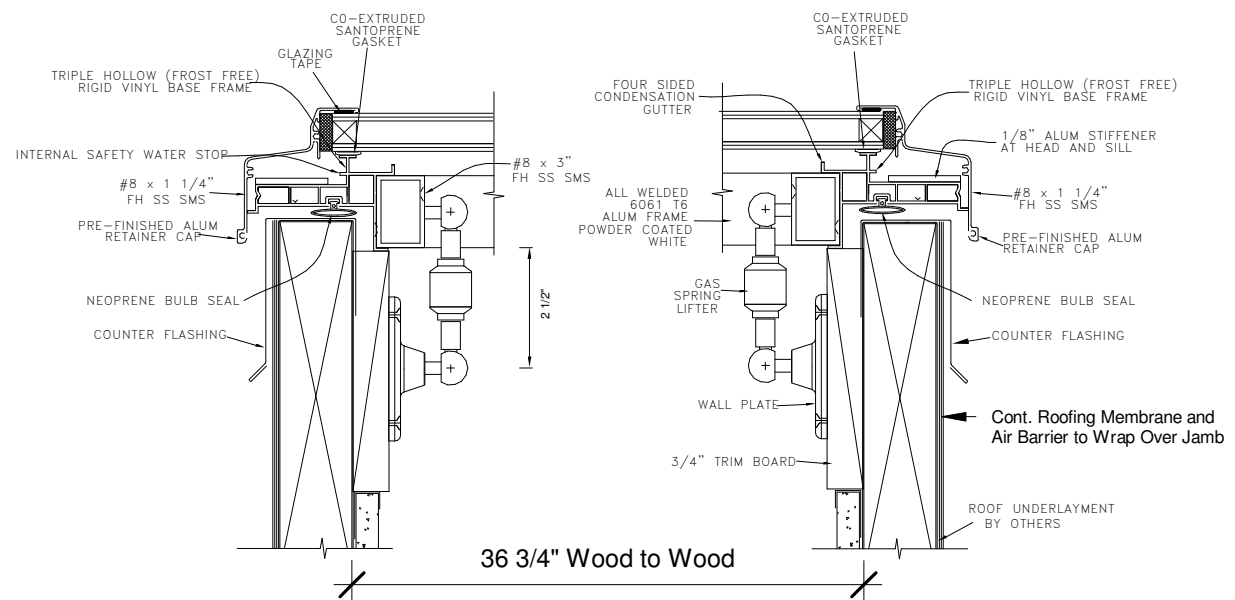
1 Section @ Structural Railing Post - Capped
1" = 1'-0"



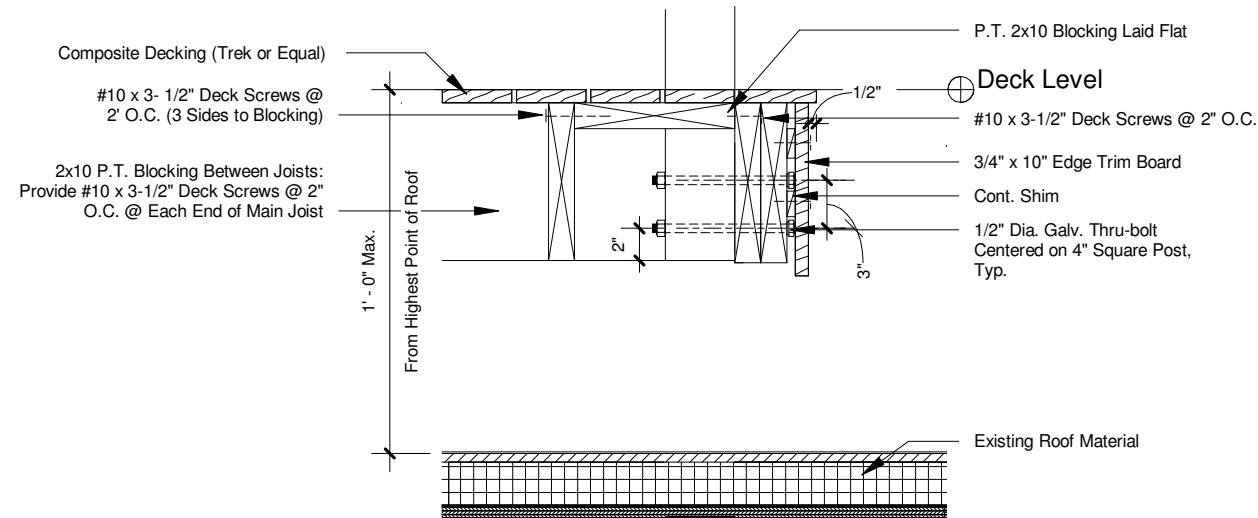
5 Roof Hatch Section @ Head & Sill
3" = 1'-0"



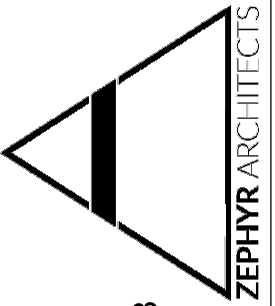
3 Section @ Deck to Stair Landing Connection
1" = 1'-0"



2 Roof Hatch Section @ Jamb
3" = 1'-0"



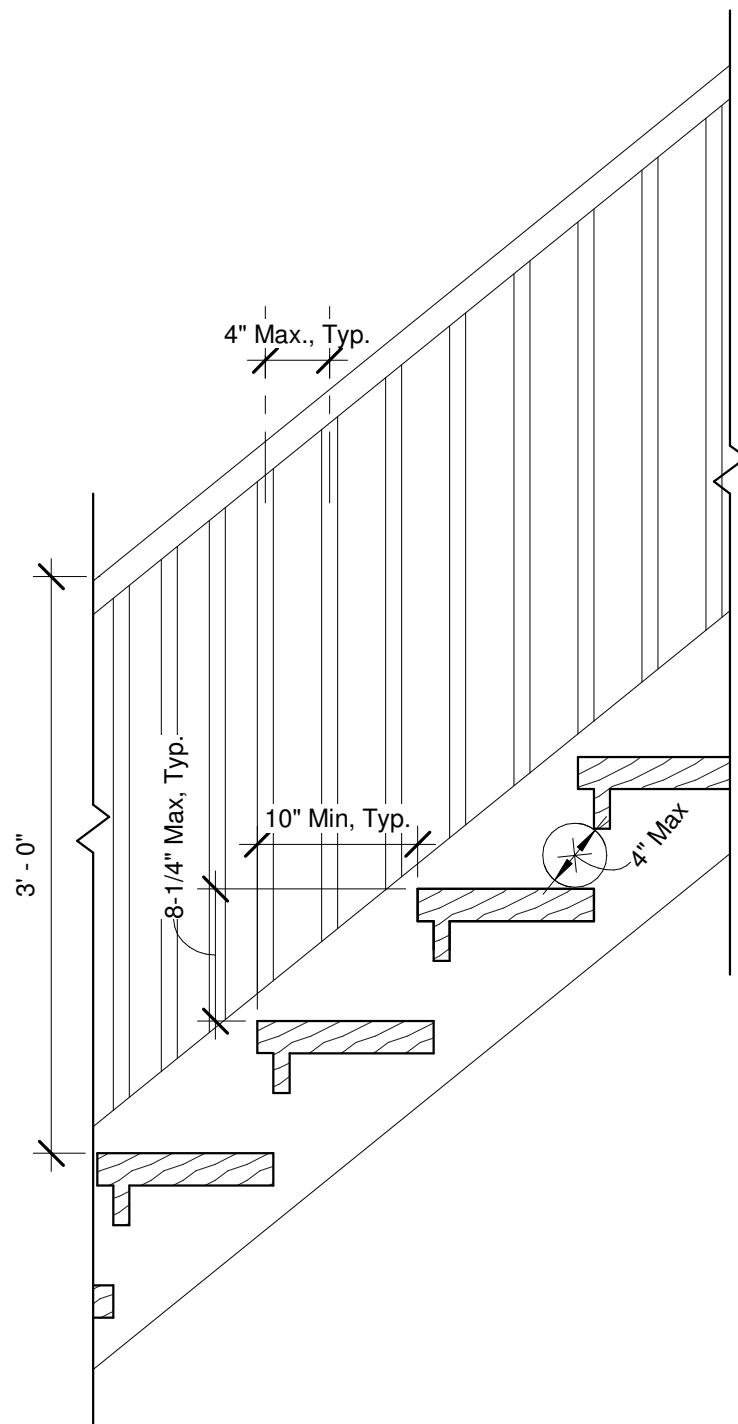
4 Section @ Non-Structural Railing Post
1" = 1'-0"



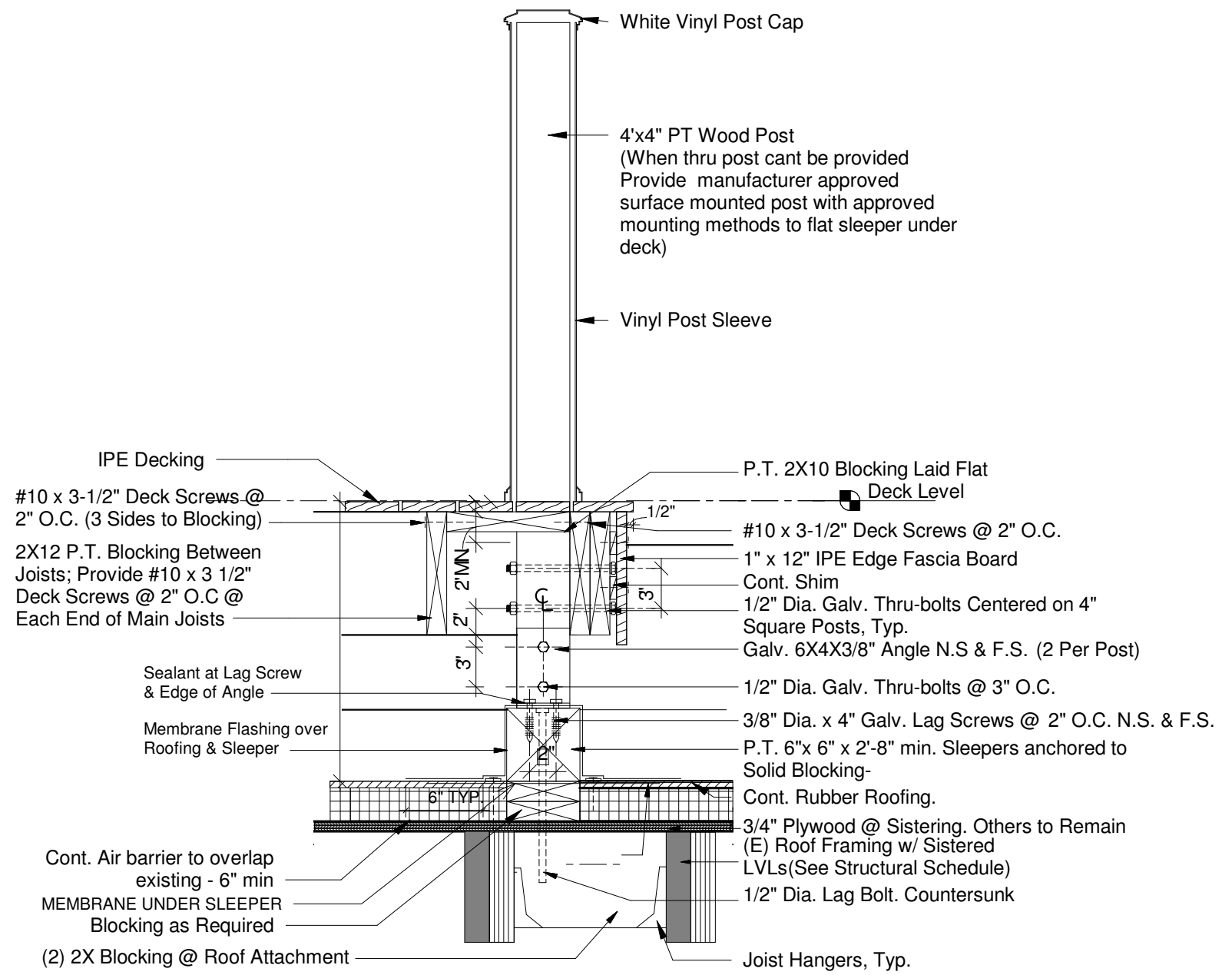
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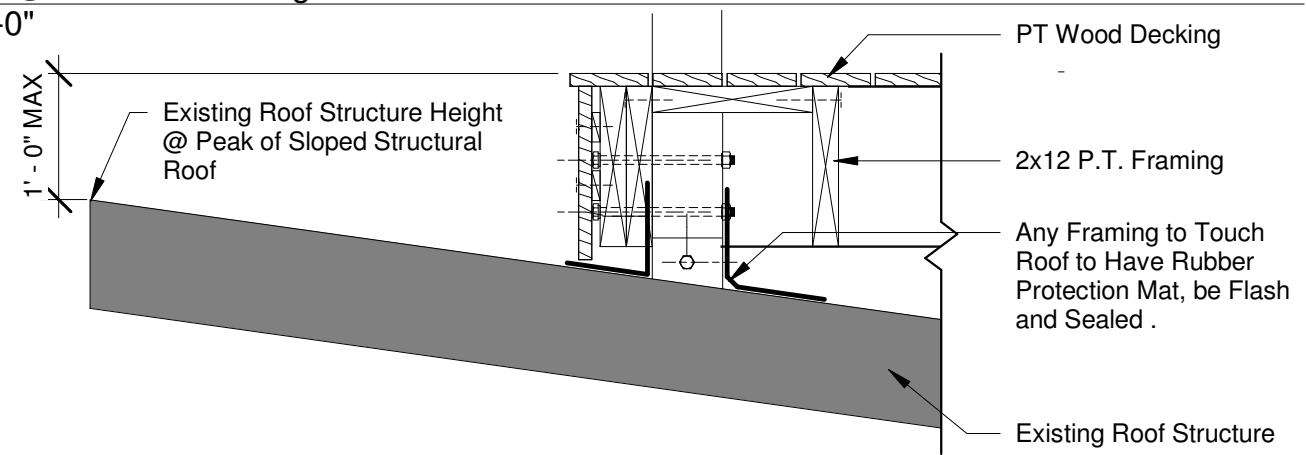
A4.01 Details I



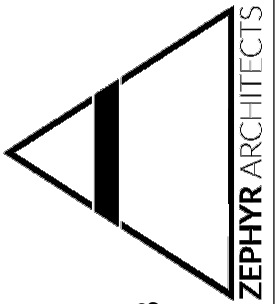
3 Stair Section - Composite Railing
1" = 1'-0"



1 Section @ Structural Railing Post
1" = 1'-0"



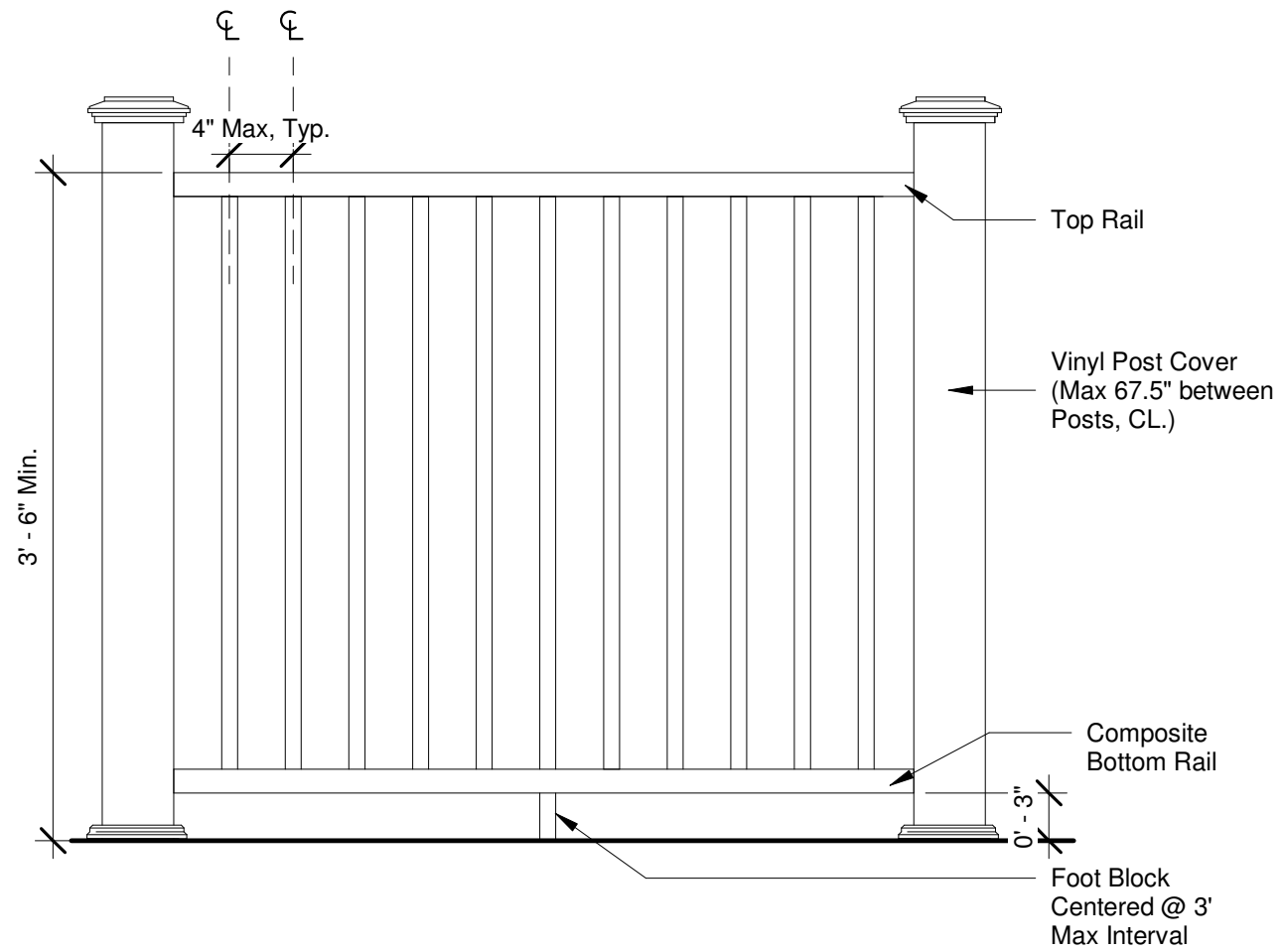
4 Low Height Connection Detail
1" = 1'-0"



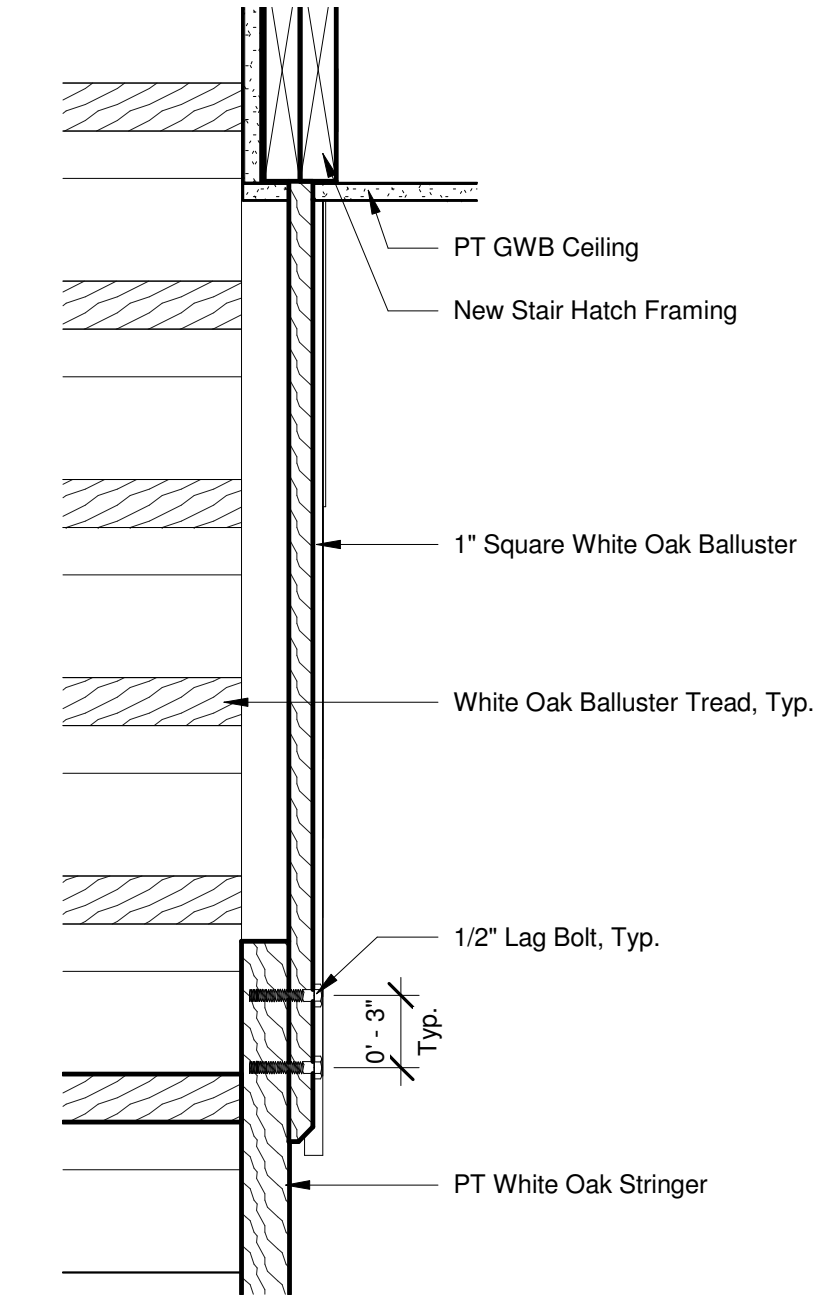
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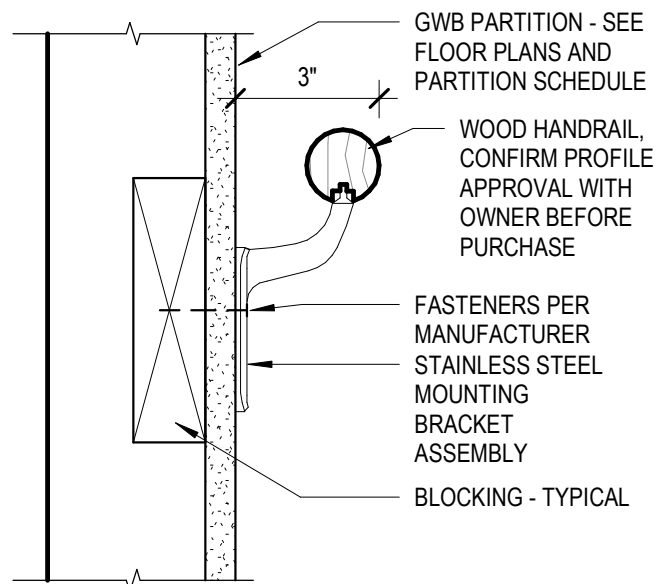
A4.02 Details II



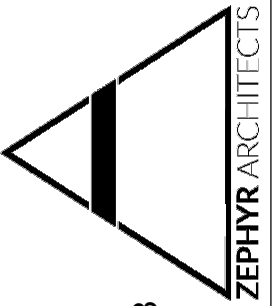
① Railing Elevation - Composite
1" = 1'-0"



② Section 3
1 1/2" = 1'-0"



③ Handrail Detail
3" = 1'-0"



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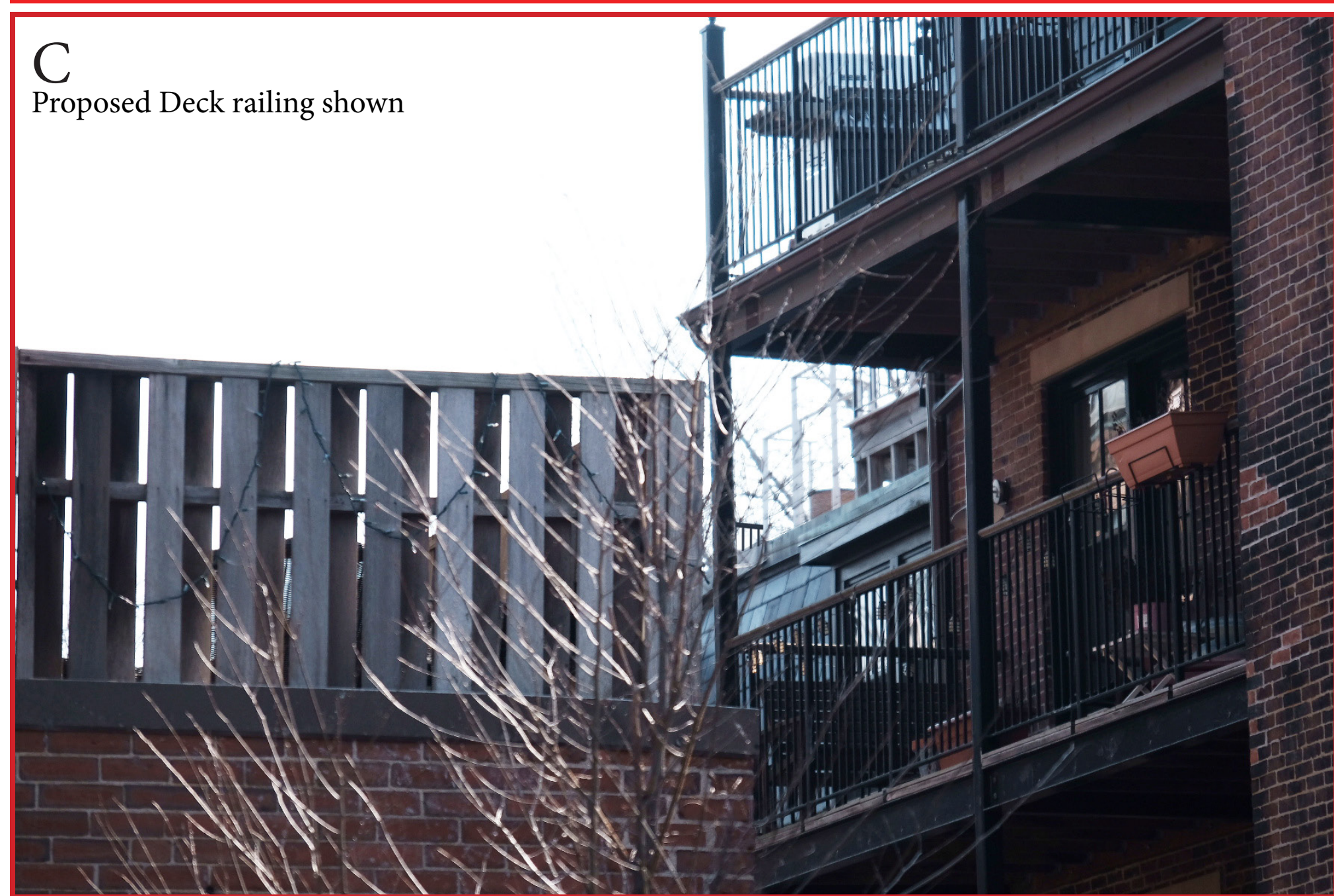
A4.03 Details III

51

Gray Street Layout Concept



- Site lines from Clarendon Street
- 51 Gray Street
- Visible Decks through private alley



51

Gray Street Layout Concept

