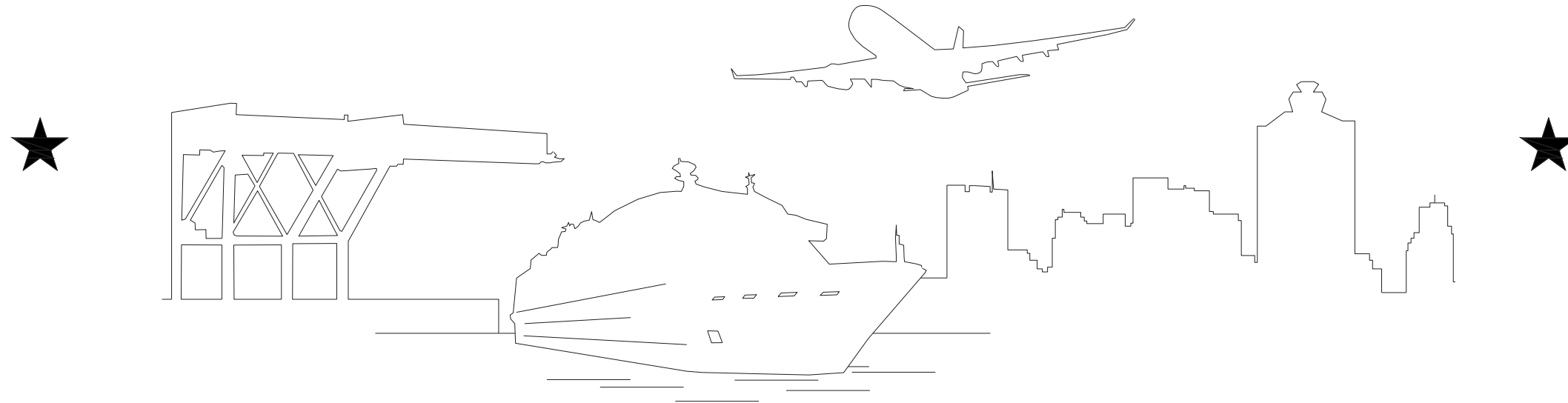


# MASSACHUSETTS PORT AUTHORITY



MASSACHUSETTS PORT AUTHORITY  
APPROVAL  
CAPITAL PROGRAMS DEPARTMENT  
ONE HARBORSIDE DRIVE, SUITE 209S  
EAST BOSTON, MASSACHUSETTS 02128

HYATT REGENCY BOSTON HARBOR  
MASSPORT PROPERTY  
BOSTON, MASSACHUSETTS  
MPA PROJECT No. 5196  
APRIL-3-2018

KLOPFER MARTIN DESIGN GROUP  
214 CAMBRIDGE STREET  
BOSTON, MA 02114  
(617)-227-2560

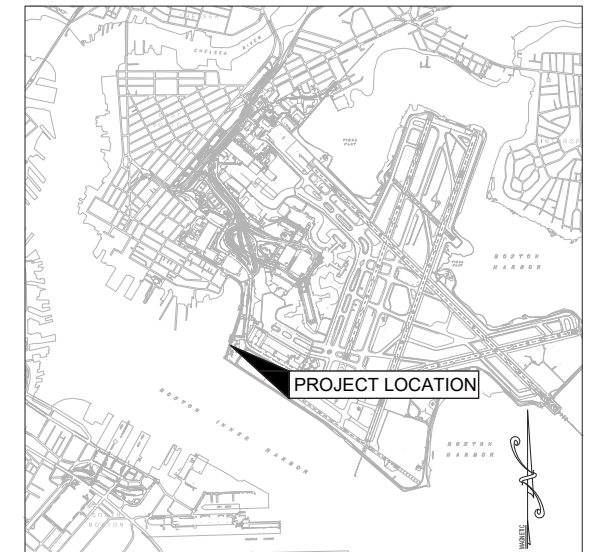
DIRECTOR OF CAPITAL PROGRAMS  
AND ENVIRONMENTAL AFFAIRS

DATE

STAMPS

**CONSTRUCTION DOCUMENT**

SHEET NUMBER: 1	OF 12	-	TAAS196- G000-	COVER
SHEET NUMBER: 2	OF 12	-	TAAS196- G001-	GENERAL NOTES LEGENDS AND SYMBOLS
SHEET NUMBER: 3	OF 12	-	TAAS196- L001-	CONTEXT PLAN
SHEET NUMBER: 4	OF 12	-	TAAS196- L002-	EXISTING CONDITIONS
SHEET NUMBER: 5	OF 12	-	TAAS196- L101-	DEMOLITION PLAN
SHEET NUMBER: 6	OF 12	-	TAAS196- L201-	MATERIALS PLAN
SHEET NUMBER: 7	OF 12	-	TAAS196- L301-	LAYOUT PLAN
SHEET NUMBER: 8	OF 12	-	TAAS196- L401-	GRADING PLAN
SHEET NUMBER: 9	OF 12	-	TAAS196- L501-	PLANTING PLAN
SHEET NUMBER: 10	OF 12	-	TAAS196- L701-	LANDSCAPE DETAILS
SHEET NUMBER: 11	OF 12	-	TAAS196- L702-	PLANTING DETAILS
SHEET NUMBER: 12	OF 12	-	TAAS196- C101-	DRAINAGE DETAILS



**ABBREVIATIONS LIST**

ADJ	ADJACENT
AGG	AGGREGATE
BC	BOTTOM OF CURB
BETW	BETWEEN
BIT	BITUMINOUS
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
CB	CATCH BASIN
CLF	CHAIN LINK FENCE
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CONC	CONCRETE
CP	CENTER POINT
DET	DETAIL
DA	DIAMETER
DIM	DIMENSION
DWG	DRAWING
EA	EACH
EHH	ELECTRIC HAND HOLE
EJ	EXPANSION JOINT
EQ	EQUAL
EX	EXISTING
EXP	EXPANSION
FFE	FINISH FLOOR ELEVATION
FIN	FINISH
GA	GAUGE
GALV	GALVANIZED
GRAN	GRANITE
HT	HEIGHT
JT	JOINT
LA	LANDSCAPE ARCHITECT
LP	LIGHT POLE
MATL	MATERIAL
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
PC	POINT OF CURVATURE
PCS	PIECES
PCB	POINT OF BEGINNING
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
PTD	PAINTED
PVMT	PAVEMENT
REINF	REINFORCED
REQ	REQUIRED
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
STL	STEEL
TC	TOP OF CURB
TS	TOP OF STEP
TW	TOP OF WALL
TYP	TYPICAL
VERT	VERTICAL
VIF	VERIFY IN FIELD
WG	WATER GATE
WWM	WELDED WIRE MESH

**GRAPHIC SYMBOLS**

	VIEW NAME	DRAWING TITLE	
	DETAIL AREA MARKER		
	DETAIL SECTION MARKER		
	SLOPE MARKER		LANDSCAPE PAVING TAG
	SPOT ELEVATION - PLAN		CENTERLINE
	SPOT ELEVATION		ALIGN SURFACES
	REVISION CLOUD AND REVISION TAG		

**MATERIALS LEGEND**

	CLEAN FILL
	CONCRETE
	GRAVEL
	SAND
	SUB GRADE
	PLANTING SOIL
	MULCH

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS
- VERIFY DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- TO THE EXTENT PRACTICABLE, VERIFY DIMENSIONS AND FIELD CONDITIONS AT THE SITE PRIOR TO THE BID SUBMISSION. CONFLICTS, OMISSIONS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PRIOR TO THE BID SUBMISSION. THE CONTRACTOR WARRANTS, BY TENDERING HIS BID, THAT THE WORK IS BUILDABLE AS SHOWN.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION THAT IS STARTED PRIOR TO PERMIT BEING ISSUED.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTION OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE HAND PLANS SECTIONS OR DETAILS, UNLESS NOTED OTHERWISE.
- TYPICAL OR 'TYP' SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED 'TYP' ONLY ONE TIME, WHEN THEY FIRST OCCUR.
- IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN PROJECT MANUAL, LARGE SCALE DRAWINGS, SMALL SCALE DRAWINGS AND DETAILS. THE CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL ARCHITECT PROVIDES CLARIFICATION
- IF CONTRACT DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE WITH ONE ANOTHER ON A PARTICULAR ITEM OR ITEMS, THE BID PROPOSAL SHALL BE BASED ON THE BETTER QUALITY OR MORE EXPENSIVE OF THE CONDITIONS INDICATED OR NOTED.
- VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION. THE CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR COMMUNICATING AND DISTRIBUTING ALL CONSTRUCTION DOCUMENT UPDATES TO ALL TRADES.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE STATE, FEDERAL AND CITY/COUNTY CODES. STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF ANY DISCREPANCY IS NOTED, IMMEDIATELY INFORM THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.
- FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER OR OWNER'S REPRESENTATIVE/CONSTRUCTION MANAGER.
- EXECUTE INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
- ALL WORK IS NEW, UNLESS NOTED OTHERWISE.
- PATCH ALL SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.
- PATCH, REPAIR AND FINISH ALL SURFACES IN AREAS OUTSIDE OF THE EXISTING SCOPE THAT ARE DISTURBED AS A RESULT OF THE WORK.
- APPLY, INSTALL, CONNECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF CONFLICT BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- PROVIDE 1/2" PREMOLDED ISOLATION JOINTS BETWEEN CONCRETE SLAB EDGES AND WALLS, UNLESS OTHERWISE NOTED.
- PAINT FERROUS OR GALVANIZED METAL EXPOSED TO VIEW IN FINISHED CONSTRUCTION, OTHER THAN COMPLETELY FACTORY PREFINISHED ITEMS SPECIFIED.
- DURING DEMOLITION AND CONSTRUCTION PROTECT ALL EXISTING EXPOSED FINISHES TO REMAIN.



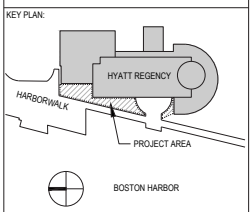
MASSACHUSETTS PORT AUTHORITY  
EAST BOSTON, MASSACHUSETTS 02128

PROJECT LOCATION:  
**HYATT REGENCY BOSTON HARBOR**  
101 HARBORSIDE DR, BOSTON, MA 02128

MPA CONTRACT NO: **5198** LOCATION CODE: **XXX**

PROJECT SUBMISSION PHASE:  
**NOI SUBMISSION**

REGISTRATION STAMP:



REVISIONS:

REV NO.	DATE	DESCRIPTION	BY:

**kmdg**  
KLOPFER MARTIN DESIGN GROUP

214 CAMBRIDGE STREET #5  
BOSTON, MA 02114  
617227-2960  
<http://www.klopfmartin.com>

PROJECT NUMBER AND TITLE:

**HYATT REGENCY**

BOSTON HARBOR  
SUBMISSION PACKAGE NUMBER

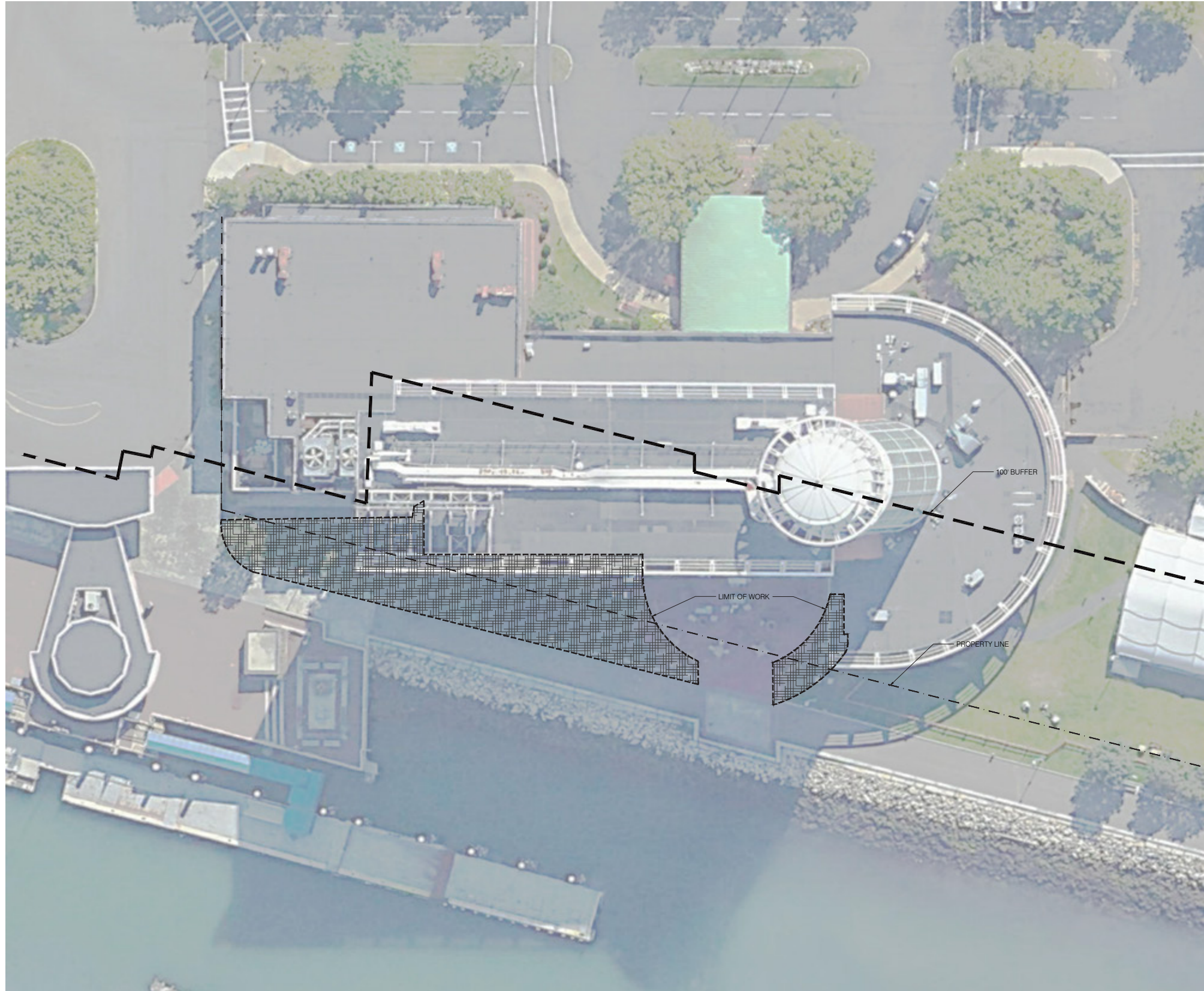
SHEET TITLE:  
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DISCIPLINE:  
LANDSCAPE ARCHITECTURE

DRAWN BY: **DC** CHECKED BY: **XXX** APPROVED BY: **XXX**

SCALE: **NTS** DATE: **03 APRIL 2018**

SHEET NUMBER:  
#####



**1** CONTEXT PLAN  
SCALE: 1/16" = 1'-0"

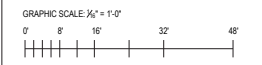
**NOTES**

**LEGEND**

100' BUFFER

LIMIT OF WORK

PROPERTY LINE



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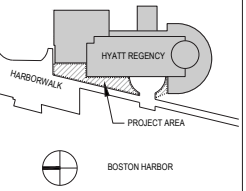
PROJECT LOCATION:  
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101 HARBORSIDE DR, BOSTON, MA 02128

MPA CONTRACT NO: 5196 LOCATION CODE: XXX  
PROJECT SUBMISSION PHASE:  
**NOI SUBMISSION**

REGISTRATION STAMP:



KEY PLAN:



REVISIONS:

REV NO.	DATE	DESCRIPTION	BY:



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6172272960  
<http://www.klopfermartin.com/>

PROJECT NUMBER AND TITLE:



BOSTON HARBOR  
SUBMISSION PACKAGE NUMBER

SHEET TITLE:  
**1/16" = 1'-0"**

DISCIPLINE:  
LANDSCAPE ARCHITECTURE

DRAWN BY:	CHECKED BY:	APPROVED BY:

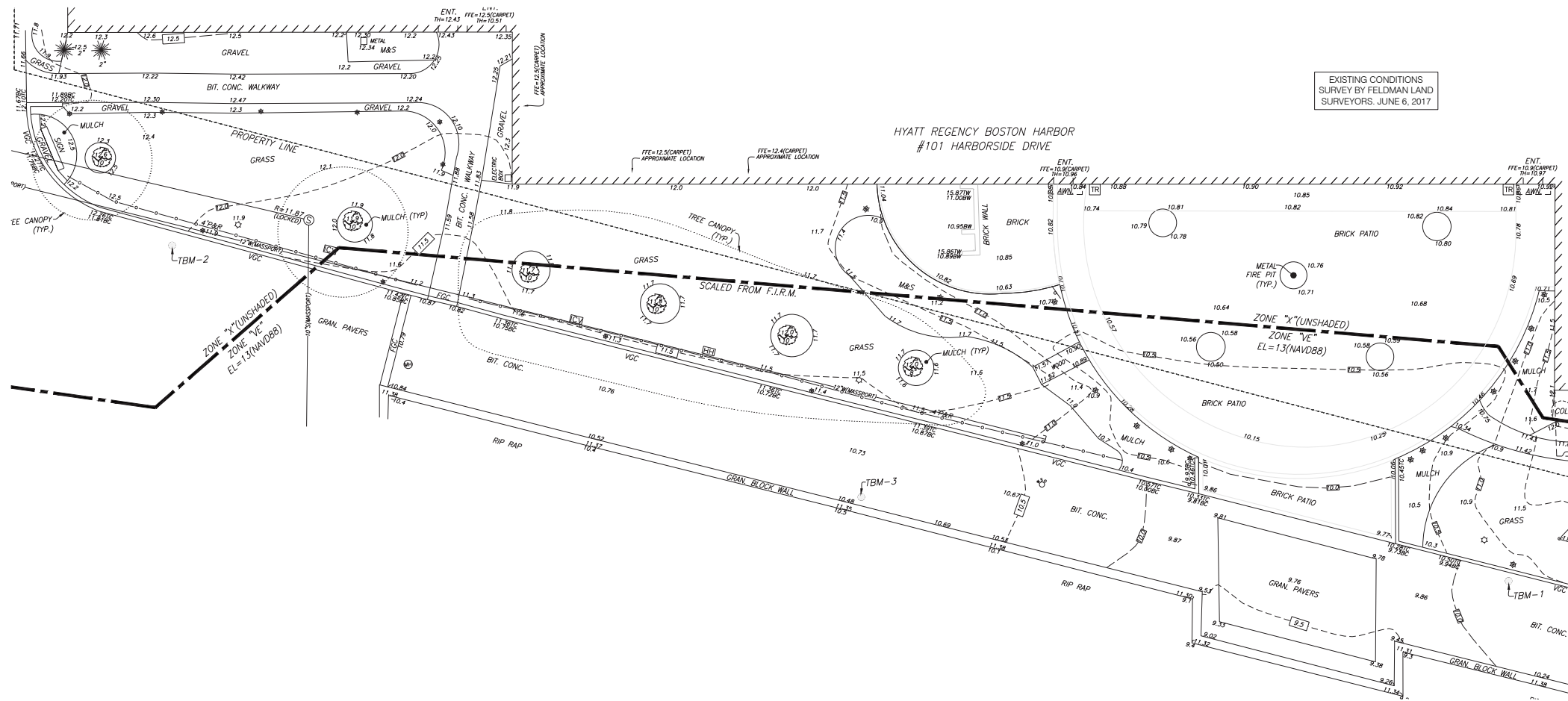
SCALE: **1/16" = 1'-0"** DATE: **03 APRIL 2018**

SHEET NUMBER:

**5196-L001**



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### NOTES

- SURVEY BY OTHERS - PROVIDED FOR INFORMATION ONLY



MASSACHUSETTS PORT AUTHORITY  
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#### PROJECT LOCATION:

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MFA CONTRACT NO:  
5196

LOCATION CODE:  
XXX

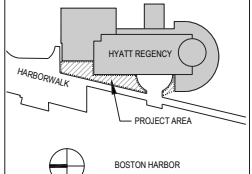
#### PROJECT SUBMISSION PHASE:

NOI SUBMISSION

#### REGISTRATION STAMP:



#### KEY PLAN:



#### REVISIONS:

REV. NO.	DATE	DESCRIPTION	BY:



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6172272660  
http://www.klopfersmartin.com/

#### PROJECT NUMBER AND TITLE:



BOSTON HARBOR  
SUBMISSION PACKAGE NUMBER

#### SHEET TITLE:

EXISTING CONDITIONS

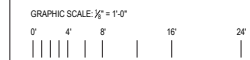
DISCIPLINE:  
LANDSCAPE ARCHITECTURE

DRAWN BY:    CHECKED BY:    APPROVED BY:

SCALE:    DATE:  
1/8" = 1'-0"    03 APRIL 2018

SHEET NUMBER:

5196-L002





Site Preparation & Demolition Specifications

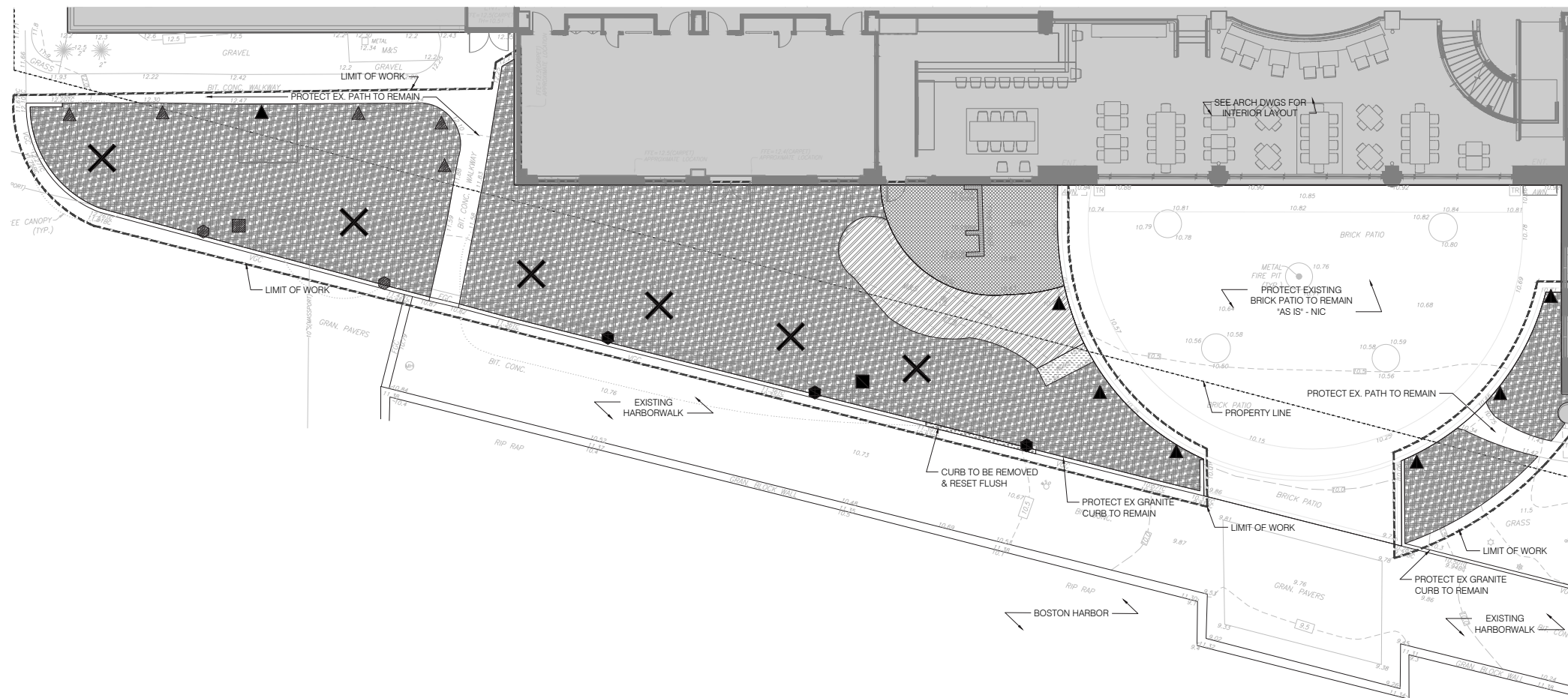
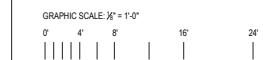
- 1.1 All work shall also include the preservation from injury or defacement of all structures and objects designated to remain, as shown on the Drawings or as directed by the Landscape Architect.
1.2 Demolish and remove all site elements, structures, foundations, and paving as indicated on the drawings or as directed by the Owner's Representative. All precautions shall be taken to protect the public from flying or falling debris.
1.3 Clearing and Grubbing. Within areas designated for clearing and grubbing, remove and properly dispose of all trees, stumps, brush, vegetation, organic matter and any other rubbish or extraneous debris.
1.4 Removal and Salvaging. Existing light fixtures and any other materials designated on the Drawings shall be removed with care and salvaged for the benefit of the Owner or Massport, as applicable.

LEGEND

- LIMIT OF WORK (dashed line)
PROPERTY LINE (dotted line)
REMOVE & DISPOSE OF EX. TREE & STUMP, CLEAR & GRUB AREA TOTAL: 6
REMOVE AND DISPOSE EX. BRICK PAVERS & BASE
REMOVE EX. SHRUBS, CLEAR & GRUB AREA
REMOVE & RESET CURB
STRIP EX. TURF - REMOVE AND DISPOSE
REMOVE AND DISPOSE EX. WOODEN RAMP BRIDGE
REMOVE AND DISPOSE EX. BRICK WALL
REMOVE & STOCKPILE EX. HOTEL BOLLARD LIGHT. TOTAL: 7
PROTECT & PRESERVE EX. HOTEL BOLLARD LIGHT TO REMAIN. TOTAL: 5
REMOVE & STOCKPILE EX. HARBORWALK PEDESTRIAN POLE LIGHT TOTAL: 1
PROTECT & PRESERVE EX. HARBORWALK PEDESTRIAN POLE LIGHT TOTAL: 1
REMOVE & STOCKPILE EX. HARBORWALK BOLLARD LIGHT. TOTAL: 5
PROTECT AND PRESERVE EX. HARBORWALK BOLLARD LIGHT TO REMAIN. TOTAL: 2

NOTES

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL EXISTING CONDITIONS TO THE OWNERS REPRESENTATIVE.
2. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE DIAGRAMMATIC ONLY, AND ALL UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL CONTACT THE PROPER LOCATION AUTHORITIES OR RESPECTIVE UTILITY COMPANY TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
3. PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE 'DIG SAFE' NOTIFICATION PROCEDURES. THE 'DIG SAFE' TELEPHONE NUMBER FOR MASSACHUSETTS IS 1-888-DIG-SAFE (344-7233).
4. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO OWNER.
5. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
6. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE LIMIT OFF WORK DUE TO HIS CONTRACT OPERATIONS. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
7. ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS SCHEDULED TO BE REMOVED AND DISPOSED SHALL BE LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.
8. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
9. DIMENSIONS SHOWN SHALL BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE.
10. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS APPLICABLE, AND LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.
11. AT ALL LOCATIONS WHERE EXISTING CURBING, CONCRETE PAVEMENT OR BITUMINOUS CONCRETE ROADWAY ABOUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
12. ALL UNSUITABLE MATERIALS, AS SPECIFIED, SHALL BE REMOVED FROM THE ENTIRE SITE.
13. REFER TO ARCHITECTURAL, CIVIL, ELECTRICAL, AND OTHER CONSULTANTS' DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS
14. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO LANDSCAPE ARCHITECT BEFORE BEGINNING WORK.
15. MEET REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF BOSTON FOR EROSION CONTROL, SILT FENCES AND INTAKE PROTECTION DURING CONSTRUCTION.
16. ANY ITEMS SCHEDULED TO REMAIN OR TO BE STOCKPILED WHICH ARE DAMAGED BY CONTRACTORS' OPERATIONS SHALL BE AT CONTRACTORS' EXPENSE.
17. CONTRACTOR SHALL LEAVE WORK SITE FREE OF ANY DEBRIS AT THE END OF EACH DAY'S OPERATIONS.
18. HOTEL BOLLARD LIGHT FIXTURES NOTED ON THE PLAN FOR REMOVAL SHALL BE STOCKPILED OR DISPOSED OF AS DIRECTED BY THE OWNERS REPRESENTATIVE.
19. HARBORWALK BOLLARD AND PEDESTRIAN POLE LIGHT FIXTURES NOTED ON THE PLAN FOR REMOVAL SHALL BE STOCKPILED OR DISPOSED OF AS DIRECTED BY MASSPORT.



massport MASSACHUSETTS PORT AUTHORITY EAST BOSTON, MASSACHUSETTS 02128
PROJECT LOCATION: HYATT REGENCY BOSTON HARBOR 101 HARBORSIDE DR, BOSTON, MA 02128
MFA CONTRACT NO: 5196 LOCATION CODE: XXX
PROJECT SUBMISSION PHASE: NOI SUBMISSION
REGISTRATION STAMP: [Stamp]
KEY PLAN: [Key Plan Diagram]
REVISIONS: [Table]
PROJECT NUMBER AND TITLE: HYATT REGENCY
BOSTON HARBOR SUBMISSION PACKAGE NUMBER
SHEET TITLE: DEMOLITION PLAN
DISCIPLINE: LANDSCAPE ARCHITECTURE
DRAWN BY: DC CHECKED BY: XXX APPROVED BY: XXX
SCALE: 1/8" = 1'-0" DATE: 03 APRIL 2018
SHEET NUMBER: 5196-L101



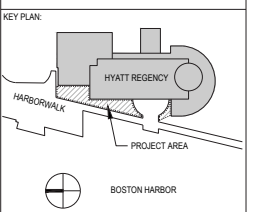
MASSACHUSETTS PORT AUTHORITY  
EAST BOSTON, MASSACHUSETTS 02128

PROJECT LOCATION:  
**HYATT REGENCY BOSTON HARBOR**  
101 HARBORSIDE DR, BOSTON, MA 02128

NPA CONTRACT NO: **5196** LOCATION CODE: **XXX**

PROJECT SUBMISSION PHASE:  
**NOI SUBMISSION**

REGISTRATION STAMP:



REVISIONS:

REV. NO.	DATE	DESCRIPTION	BY:

**kmdg**  
KLOPFER MARTIN DESIGN GROUP

214 CAMBRIDGE STREET #5  
BOSTON, MA 02114  
617227-2560  
http://www.klopfmartin.com/



BOSTON HARBOR  
SUBMISSION PACKAGE NUMBER

SHEET TITLE:  
**MATERIALS PLAN**

DISCIPLINE:  
LANDSCAPE ARCHITECTURE

DRAWN BY: <b>DC</b>	CHECKED BY: <b>XXX</b>	APPROVED BY: <b>XXX</b>
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SCALE:  
**1/8" = 1'-0"**

DATE:  
**03 APRIL 2018**

SHEET NUMBER:  
**5196-L201**

**Materials Specifications**

- Concrete Unit Pavers**
  - 1.1 Samples and submittals.** Provide manufacturer's literature and a sample of each type and color of unit paver. Provide sample of edge restraint.
  - 1.2 Products**—Precast concrete unit pavers shall be Prest Pavers as manufactured by Hanover Architectural Products. Colors shall include one color selected from manufacturer's standard range and one custom color matrix. Finish shall be Heavy Tudor or Ground finish on exposed surfaces, with no bevel. Undersides ground to bring into gauge compliance. Size shall be 11 1/4 x 23 1/2 x 3 inches.
  - 1.3 Products**— Edge restraint shall be heavy duty, commercial grade edging from Hanover Architectural Products per manufacturer's recommendation.
  - 1.4 Concrete slab**— Slab underlying pavers shall be fiber reinforced, air-entrained 4000 psi concrete. Slab shall have 2" diameter weepholes, 6' on center, filled with crushed stone and covered with filter fabric.
  - 1.5 Mockup**—Install mockup of pavers at a minimum size of 6' x 6'. Use this area to determine joint sizes, lines, laying pattern(s), color selections, levelness, and texture of the job. This area will be used as the standard by which the work will be judged. Subject to acceptance by Landscape Architect, mock-up may be retained as part of finished work. If mock-up is not retained, remove and properly dispose.
  - 1.6 Execution**— Install paver in the pattern shown on drawings. Pavers with excessive chips, cracks, or other defects shall not be installed. Use string lines or chalk lines to maintain true pattern lines. Paver should be installed hand-tight to adjacent Paver units. Required cuts shall be made with a masonry saw to provide clean, sharp unchipped edges. Compact per manufacturer's recommendations.
- Brick**
  - 2.1 Samples and submittals.** Provide manufacturer's literature and samples representing the full color range of the selected brick.
  - 2.2 Products**—Brick shall match existing on-site brick. Brick removed during demolition may be available for re-use if condition and quantity allows, at the discretion of the Landscape Architect. Additional brick to match existing shall be sourced from Spaulding Brick Company of Wilmington, MA (617-666-2300). Contractor shall provide a minimum of three options to match the color range of the existing on-site brick. The brick shall be clay brick, uniform in size and evenly burned, and when broken shall show a dense structure free from lime, air pockets, cracks and lamination. Laminated bricks will not be accepted.
  - 2.3 Products**— Edge restraint shall be heavy duty, commercial grade edging from Hanover Architectural Products.
  - 2.4 Concrete slab**— Slab underlying pavers shall be fiber reinforced, air-entrained 4000 psi concrete. Slab shall have 2" diameter weepholes, 6' on center, filled with crushed stone and covered with filter fabric.
  - 2.5 Mockup**—Install mockup of brick paving at a minimum size of 6' x 6'. Use this area to determine joint sizes, lines, laying pattern(s), color selections, levelness, and texture of the job. This area will be used as the standard by which the work will be judged. Subject to acceptance by Landscape Architect, mock-up may be retained as part of finished work. If mock-up is not retained, remove and properly dispose.
- C.I.P. Concrete Wall**
  - 3.1 Samples and submittals.** Submit product data for all concrete wall & connection materials.
  - 3.2 Products**—Concrete design mix shall be 34" 4,000 PSI air entrained. Use one brand and type of cement throughout project unless otherwise specified. Add air entraining agent as indicated in ACI 301 Table 3.4.1. Use accelerating admixture in cold weather only when accepted by Landscape Architect. If accepted, use of admixtures will not relax cold weather placement requirements. Use calcium chloride only with written consent of Landscape Architect. Use set-retarding admixtures during hot weather only when accepted by Landscape Architect. Provide concrete of following strength: Compressive strength (28 day): 4000 psi (276 mPa). Reinforcing Steel: 40 ksi (276 mPa) yield grade, deformed billet steel bars, ASTM A615; epoxy coated finish conforming to ASTM A775. Welded Steel Wire Fabric: Plain type, ASTM A185; in flat sheets or coiled rolls; plain finish. Sand for concrete work shall conform to Standard Specifications M.02.02 and sand for mortar. Water shall conform to Standard Specifications M.02.07. Weep Hole Vent: UV Stable recycled polyester mesh in rectangular shape in gray color by Mortar Net Weep Vents 800.664.6638 or equal.

**3.3 Execution**—Install concrete work in accordance with ACI 301. Apply form release agent on formwork in accordance with manufacturer's recommendations. Apply prior to placing reinforcing steel, anchoring devices and embedded parts. Do not use form release agent where concrete surfaces will receive special finishes or applied coverings that are affected by agent. Formed Surface Finishes: ACI 301 10.4. Provide smooth rubbed finish at concrete walls. Place expansion joints at 30' minimum intervals or as shown on plan to correct elevation and profile. Align edge, wall, and sidewalk joints where applicable. Place joint filler between concrete components and building or other appurtenances. Apply joint sealer where indicated on drawings. Apply in accordance with manufacturer's instructions. Notify Owner's Representative to inspect concrete surfaces immediately upon removal of forms. Modify or replace concrete not conforming to required lines, detail, and elevations. Repair or replace concrete not properly placed resulting in excessive honeycombing and other defects. Do not patch, repair or replace exposed architectural concrete except upon express direction of Landscape Architect/Engineer.

**4 Exterior Fine Carpentry**

**4.1 Samples and submittals.** Submit samples for verification of each species and cut of lumber.

**4.2 Products**—Provide Architectural grade, air-dried untreated lpe. Fasteners shall be stainless steel.

**4.3 Installation**— Install exterior finish carpentry level, plumb, true, and aligned with adjacent materials. Scribe and cut exterior finish carpentry to fit adjoining work. Refinish and seal cuts as recommended by manufacturer. Install to tolerance of 1/8 inch in 96 inches for level and plumb. Install adjoining exterior finish carpentry with 1/32-inch maximum offset for flush installation and 1/16-inch maximum offset for reveal installation.

**5 Miscellaneous Metals**

**5.1 Standards.** Stainless Steel: Comply with following standards and requirements for stainless steel components: 1. Tubing: ASTM A 554, Grade MT 301, MT 302, or MT 304. 2. Pipe: ASTM A 312, Grade TP 304. 3. Castings: ASTM A 743, Grade CF 8 or CF 20. 4. Plate: ASTM A 167, Type 301, 302, or 304. Non-Shrink, Non-Metallic Grout: Pre-mixed, non-staining, non-corrosive, non-shrink, nonmetallic complying with CE GRD-C-021. Fasteners: Furnish of basic metal and alloy, matching finished color and texture as metal being fastened, unless otherwise indicated. Concealed Fasteners: Provide concealed fasteners for interconnection of handrail and railing components, and for other connections, except where exposed fasteners are unavoidable. Exposed Fasteners: Provide counter-sunk cap screw socket flat head for exposed fasteners. Welding shall conform to AWS code.

**5.2 Samples and submittals.** Provide shop drawings for fabrication, installation and erection of parts of Work. Provide plans, elevations, and details of anchorages, connectors and accessory items. Provide installation templates for Work installed by others.

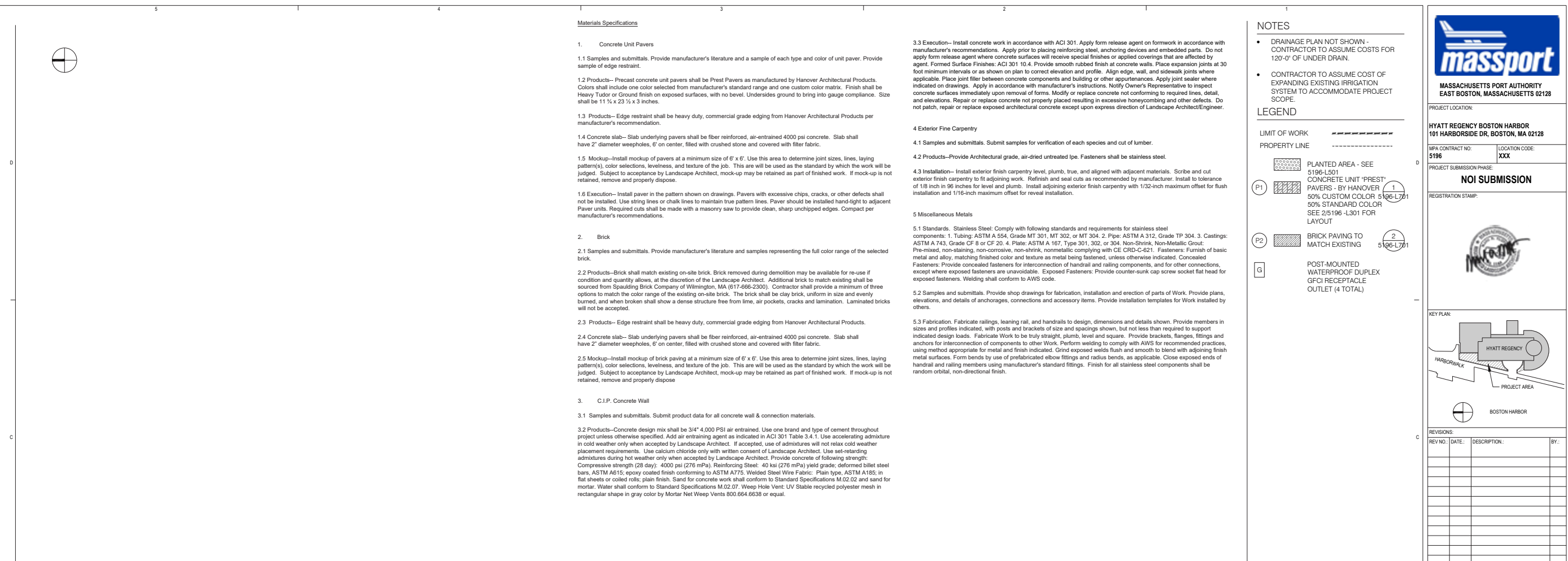
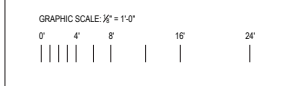
**5.3 Fabrication.** Fabricate railings, leaning rail, and handrails to design, dimensions and details shown. Provide members in sizes and profiles indicated, with posts and brackets of size and spacings shown, but not less than required to support indicated design loads. Fabricate Work to be truly straight, plumb, level and square. Provide brackets, flanges, fittings and anchors for interconnection of components to other Work. Perform welding to comply with AWS for recommended practices, using method appropriate for metal and finish indicated. Grind exposed welds flush and smooth to blend with adjoining finish metal surfaces. Form bends by use of prefabricated elbow fittings and radius bends, as applicable. Close exposed ends of handrail and railing members using manufacturer's standard fittings. Finish for all stainless steel components shall be random orbital, non-directional finish.

**NOTES**

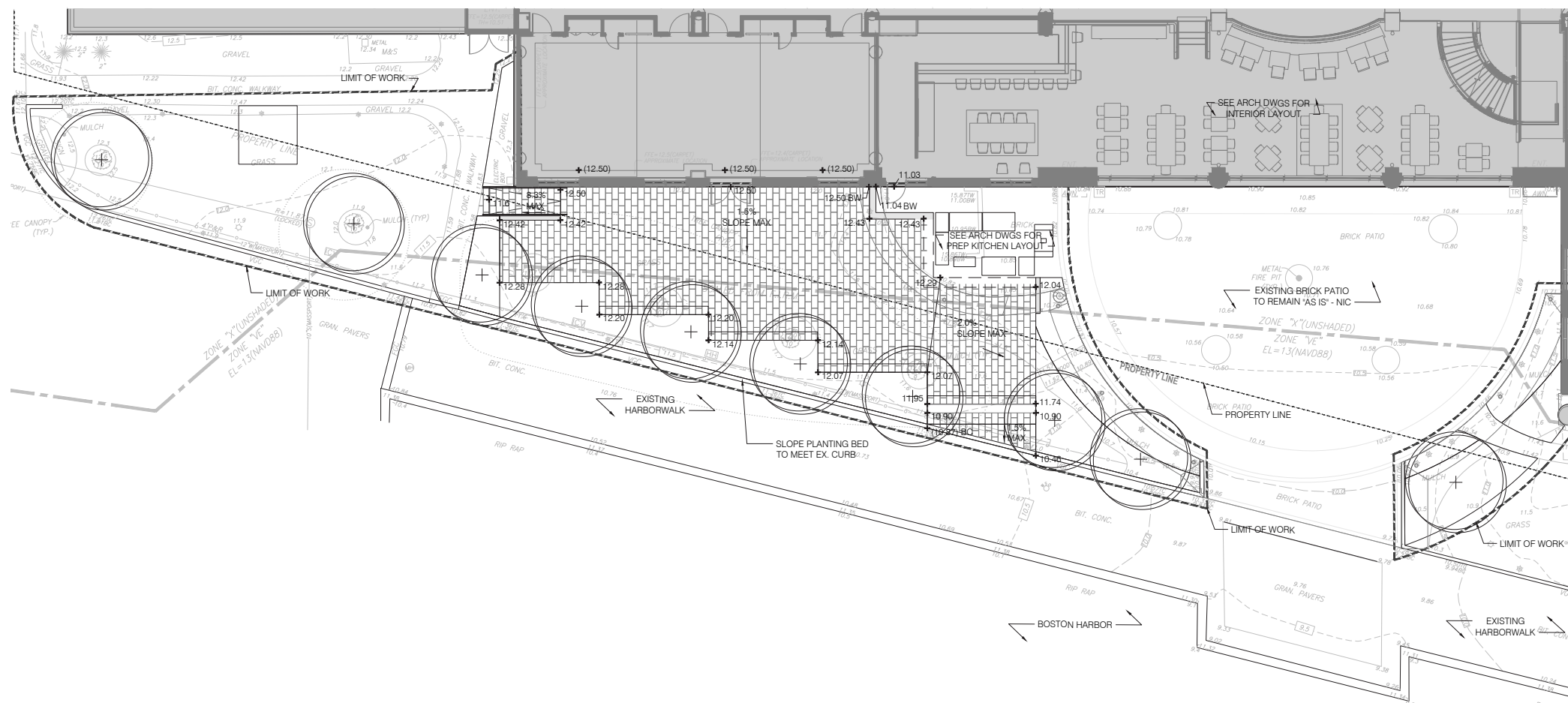
- DRAINAGE PLAN NOT SHOWN - CONTRACTOR TO ASSUME COSTS FOR 120'-0" OF UNDER DRAIN.
- CONTRACTOR TO ASSUME COST OF EXPANDING EXISTING IRRIGATION SYSTEM TO ACCOMMODATE PROJECT SCOPE.

**LEGEND**

- LIMIT OF WORK**
- PROPERTY LINE**
- P1** PLANTED AREA - SEE 5196-L501  
**P2** BRICK PAVING TO MATCH EXISTING  
**G** POST-MOUNTED WATERPROOF DUPLEX GFICI RECEPTACLE OUTLET (4 TOTAL)





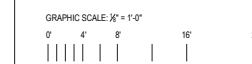


NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
- GRADE SURFACES TO SLOPE AWAY FROM ALL BUILDINGS & STRUCTURES. ASSURE POSITIVE DRAINAGE AND PREVENT PONDING OF SURFACE DRAINAGE.
- CONTRACTOR SHALL STAKE GRADES FOR LANDSCAPE ARCHITECTS APPROVAL.
- CONTRACTOR SHALL MAINTAIN FUNCTION OF EXISTING DRAINAGE SYSTEM DURING THE COURSE OF WORK.
- CONTRACTOR SHALL MEET EXISTING GRADE AT LIMIT OF WORK LINE WITHOUT DISTURBING ADJUTING DRAINAGE CONDITIONS.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.
- ALL FILL MATERIAL IS SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND OWNER.
- CONTRACTOR SHALL PITCH EVENLY BETWEEN SPOT GRADES. SET STRAIGHT LINE GRADES BETWEEN ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH INCH (1/8) PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
- ANY AREA OUTSIDE THE LIMIT OF WORK LINE THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER.
- NOTIFY LANDSCAPE ARCHITECT FOR REVIEW OF ROUGH GRADING PRIOR TO TOPSOIL PLACEMENT, SOIL PREPARATION OR PLANTING.
- NOTIFY LANDSCAPE ARCHITECT FOR REVIEW OF FINISH GRADING OF TOPSOIL PRIOR TO PLANTING.
- THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY PAVED AREAS WHERE PUDDLING OCCURS AT HIS EXPENSE IN A MANNER APPROVED BY THE LANDSCAPE ARCHITECT/OWNER.
- CONTRACTOR SHALL WORK WITH RELATIVE GRADE RELATIONSHIPS BASED ON EXISTING CONDITIONS AND BASE INFORMATION PROVIDED.

LEGEND

- LIMIT OF WORK
- PROPERTY LINE



MASSACHUSETTS PORT AUTHORITY  
EAST BOSTON, MASSACHUSETTS 02128

PROJECT LOCATION:  
**HYATT REGENCY BOSTON HARBOR**  
101 HARBORSIDE DR, BOSTON, MA 02128

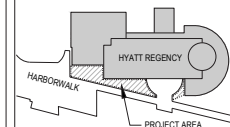
M&A CONTRACT NO: **5196** LOCATION CODE: **XXX**

PROJECT SUBMISSION PHASE:  
**NOI SUBMISSION**

REGISTRATION STAMP:



KEY PLAN:



BOSTON HARBOR

REVISIONS:

REV NO.	DATE	DESCRIPTION	BY:



214 CAMBRIDGE STREET #5  
BOSTON, MA 02114  
617227-2560  
<http://www.klopfersmartin.com/>

PROJECT NUMBER AND TITLE:



BOSTON HARBOR  
SUBMISSION PACKAGE NUMBER

SHEET TITLE:  
**GRADING PLAN**

DISCIPLINE:  
LANDSCAPE ARCHITECTURE

DRAWN BY: **DC** CHECKED BY: **XXX** APPROVED BY: **XXX**

SCALE: **1/8" = 1'-0"** DATE: **03 APRIL 2018**

SHEET NUMBER:

**5196-L401**





MASSACHUSETTS PORT AUTHORITY  
EAST BOSTON, MASSACHUSETTS 02128

PROJECT LOCATION:  
**HYATT REGENCY BOSTON HARBOR**  
101 HARBORSIDE DR. BOSTON, MA 02128

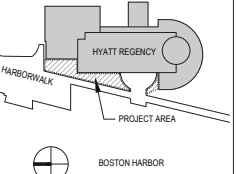
NPA CONTRACT NO: **5196** LOCATION CODE: **XXX**

PROJECT SUBMISSION PHASE:  
**NOI SUBMISSION**

REGISTRATION STAMP:



KEY PLAN:



REVISIONS:

REV NO.	DATE	DESCRIPTION	BY:



214 CAMBRIDGE STREET #5  
BOSTON, MA 02114  
6172272960  
http://www.kopfermarin.com

PROJECT NUMBER AND TITLE:



BOSTON HARBOR  
SUBMISSION PACKAGE NUMBER

SHEET TITLE:  
**PLANTING PLAN**

DISCIPLINE:  
LANDSCAPE ARCHITECTURE

DRAWN BY: **DC** CHECKED BY: **XXX** APPROVED BY: **XXX**

SCALE: **1/8" = 1'-0"** DATE: **03 APRIL 2018**

SHEET NUMBER:

**5196-L501**

**NOTES**

- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL PLANTS SHALL BE TAGGED AND APPROVED BY THE OWNER'S REPRESENTATIVE AT THE NURSERY PRIOR TO DELIVERY TO SITE. CONTRACTOR TO NOTIFY THE OWNER'S REPRESENTATIVE TWO WEEKS IN ADVANCE OF TAGGING TO SCHEDULE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING. ALL PLANT LOCATIONS SHALL BE APPROVED BY L.A.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
- ALL PLANTED AREAS SHALL RECEIVE A 3" LAYER OF AGED BARK MULCH TO COVER THE ENTIRE BED.

Planting Specifications

Contractor shall supply all plant material in quantities sufficient to complete the planting shown in the drawings and as listed on the Plant Schedule on this sheet, L501. Stake locations for Landscape Architect's review prior to planting.

**1.1 Samples and Submittals**— Submit a quart-size bag of bark mulch for approval by the Owner's Representative. Contractor shall provide soil test results for existing on-site soil and any imported planting soil for gradation, organics, soil chemistry and pH. These tests shall be performed by a public extension service or a private testing laboratory approved by the Landscape Architect. Soil analysis tests shall show recommendations for soil additives to correct soils deficiencies as necessary, and for additives necessary to accomplish planting objectives noted.

**1.2 Products—Loam**. Loam shall be a "fine sandy loam" or a "sandy loam" determined by mechanical analysis (ASTM D-422) and based on the "USDA Classification System". It shall be of uniform composition, without admixture of subsoil. It shall be free of stones greater than one inch (1"), lumps, plants and their roots, debris and other extraneous matter as determined by the Landscape Architect. Loam shall have an acidity range of pH 5.6 to pH 6.5 and shall contain not less than 4% nor more than 8% organic matter, as certified by required tests.

**1.3 Products—Plants**. Plants shall be in accordance with the ASNS Standards of the American Association of Nurserymen. Botanical plant names shall be in accordance with plant designations included in Standardized Plant Names. The plants must be in a moist vigorous condition, free from dead wood, bruises or other root or branch injuries. Plants shall not be pruned prior to delivery.

**1.4 Products—Mulch**. Mulch shall be high quality, double-ground, premium bark mulch of 70 percent hemlock bark with the balance spruce and pine bark. Mulch shall have been aged for a minimum of 6 months and not longer than two years. Bark mulch shall be shredded to a uniform size, free of dirt, debris and foreign matter, with pieces no thicker than one-quarter inch. Mulch must be free of stringy material or chunks over 3 inches in size and shall not contain, in the judgment of the Landscape Architect, an excess of fine particles. Submit sample for the Landscape Architect's approval.

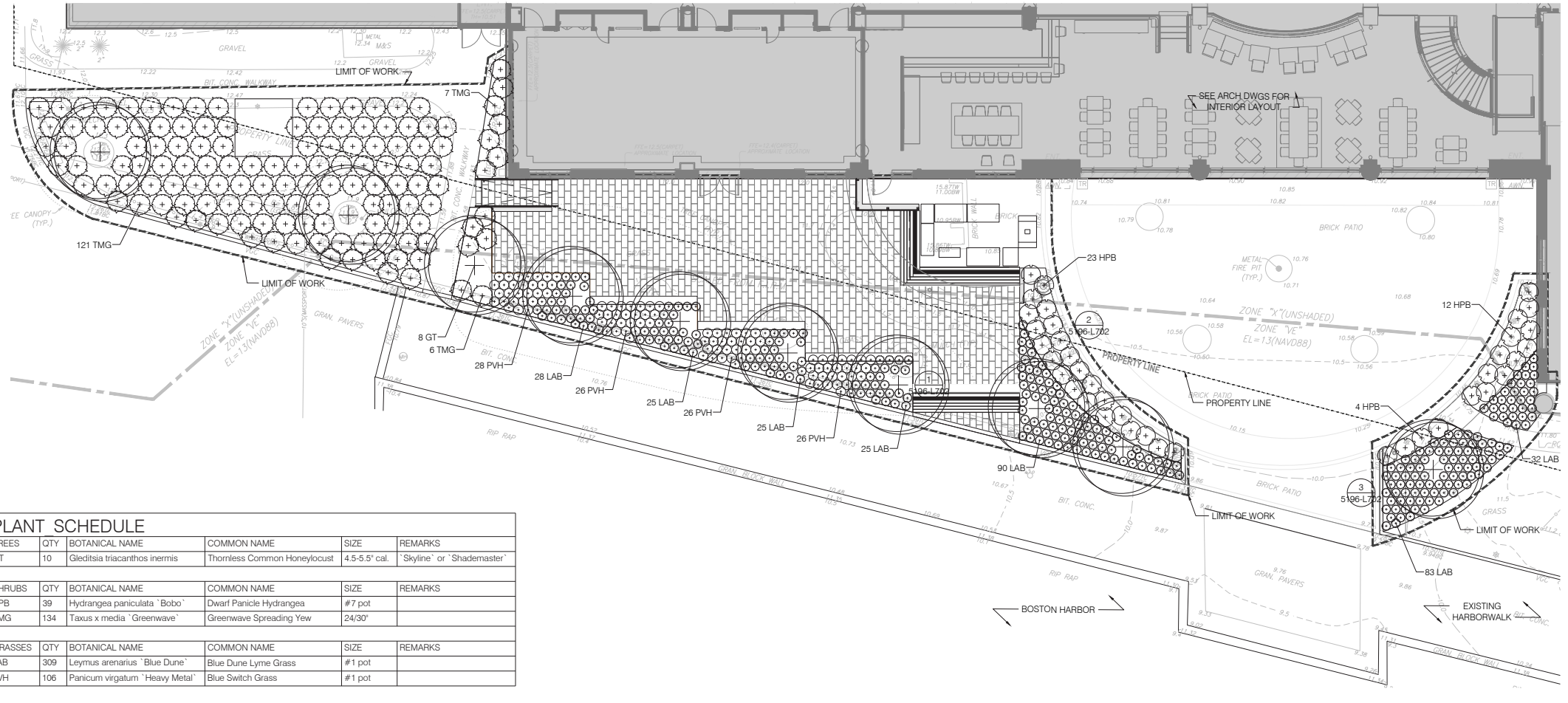
**1.5 Products—Fertilizer**. Fertilizer shall be a self-contained controlled release 2 oz. packet of a 16% Nitrogen / 8% available Phosphoric acid / 8% Soluble Potash (16-8-8) as manufactured by Nutri-Pak, or equivalent.

**1.6 Products—Steel landscape edging**. Steel edging shall be 3/16" thickness as provided by Sure-loc Corporation of Holland, MI. Border Concepts of Charlotte, NC, or approved equal. Steel edging to be powder coated, baked on enamel supplied in black.

**1.7 Execution—Furnishing and planting** of any plant material includes the digging of the holes for individual plants and local excavation required for planting beds, provision of planting soil mix, furnishing the plants of specified size with roots in the specified manner, the labor of planting, fertilizing, mulching, guying and staking where called for, and maintenance. Seasons for Planting: Spring: Deciduous materials - March 21 through May 1; Evergreen materials - April 15 through June 1; Fall: Deciduous materials - October 1 through Dec. 1; Evergreen materials - August 15 through Oct. 15. The landscape architect retains the right of inspection and rejection of plants upon delivery to the site, or during the progress of the work; if the Landscape Architect finds that plants have declined noticeably due to handling abuse, lack of maintenance, or other causes. Cost of replacements, as required, shall be borne by the Contractor.

**1.8 Planting Installation**— Plant pits shall be excavated with vertical sides. Holes for trees shall be at least two feet (2') greater in diameter than the ball and one foot (1') deeper than the ball. Pits for shrubs shall be at least one foot (1') greater in diameter than the ball and at least six inches (6") deeper than the ball. Handle plants carefully to prevent damaging roots. Place each plant in individual hole and firm the planting mix around the roots. Water thoroughly and provide a depth of 3" mulch with saucers around plants. All plants shall be watered immediately following planting and thereafter shall be inspected frequently for watering needs and watered, as required, to provide adequate moisture in the planting pit.

**1.9 Guarantee**. Plants shall be guaranteed for a period of one (1) year after written notification of acceptance and shall be alive and in satisfactory growth at the end of the guarantee period. At the end of the guarantee period, a final inspection will be held to determine whether any plant material replacements are required. Each plant shall show at least 75% healthy growth and shall have the natural character of its species as determined by the Landscape Architect. Plants found unacceptable shall be removed promptly from the site and replaced during the normal planting season, until the plants live through one year. A final inspection for acceptance will be made after the replacement plantings have lived through one (1) year. All replacements shall be plants of the same kind and size specified in the Plant Schedule. The cost shall be borne by the Contractor, except for possible replacements due to vandalism or neglect on the part of others.



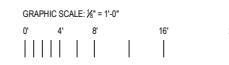
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
GT	10	Gleditsia triacanthos inermis	Thornless Common Honeylocust	4.5-5.5' cal.	'Skyline' or 'Shademaster'

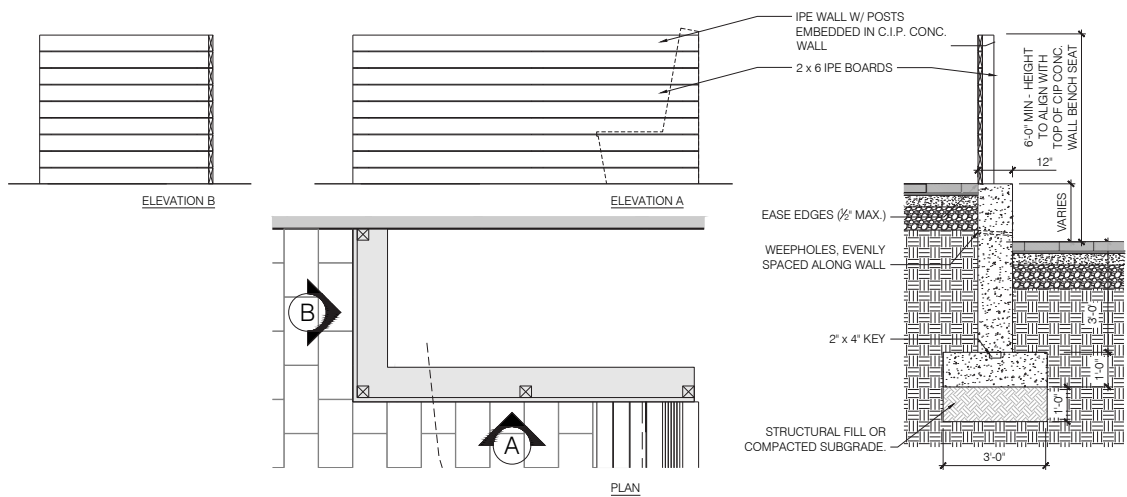
  

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
HPB	39	Hydrangea paniculata 'Bobo'	Dwarf Panicle Hydrangea	#7 pot	
TMG	134	Taxus x media 'Greenwave'	Greenwave Spreading Yew	24/30'	

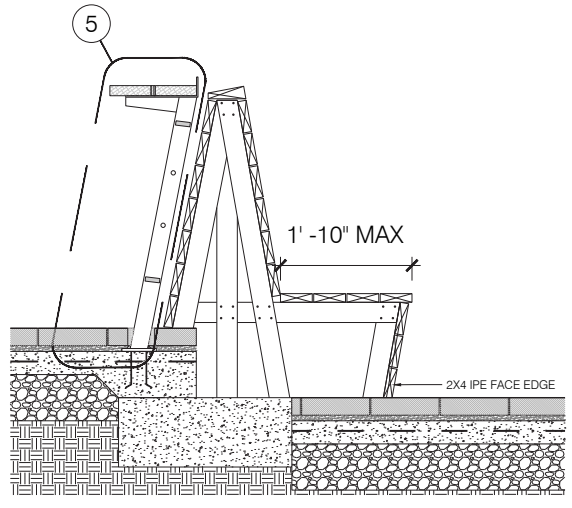
  

GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
LAB	309	Leymus arenarius 'Blue Dune'	Blue Dune Lyme Grass	#1 pot	
PVH	106	Panicum virgatum 'Heavy Metal'	Blue Switch Grass	#1 pot	

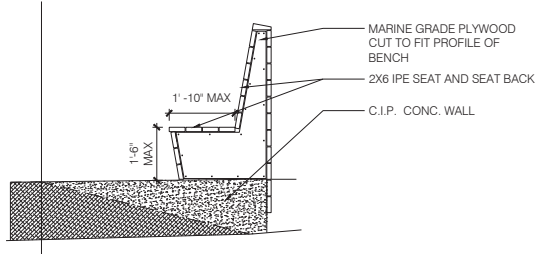




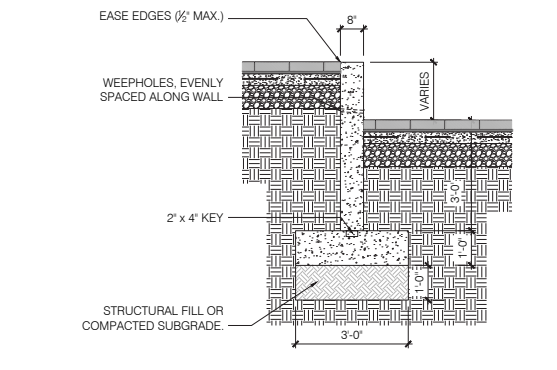
**11** MOVEABLE SCREEN WALL ON C.I.P. CONC. WALL  
SCALE: 1/2" = 1'-0"



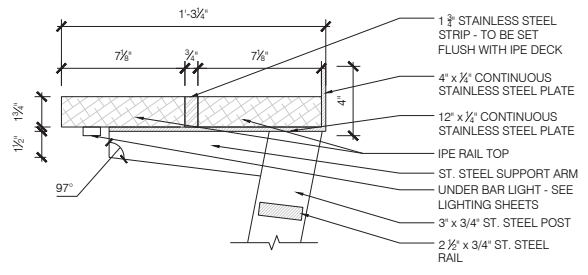
**7** LEAN RAIL WITH HARBORWALK BENCH  
SCALE: 1" = 1'-0"



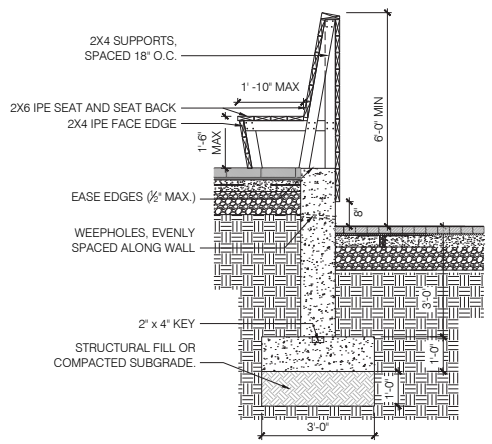
**3** C.I.P. CONC. WALL BENCH SEAT - ELEVATION  
SCALE: 1/2" = 1'-0"



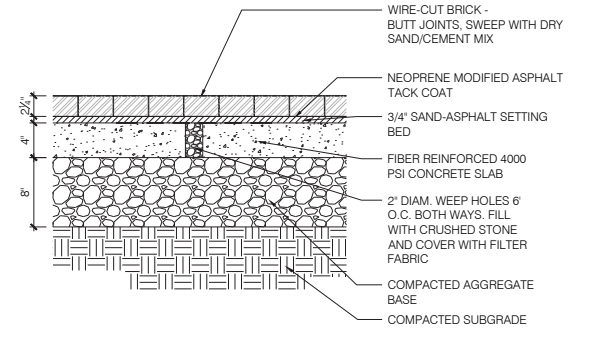
**3** C.I.P. CONC WALL AT RAMP  
SCALE: 1/2" = 1'-0"



**9** LEAN RAIL TOP  
SCALE: 3" = 1'-0"

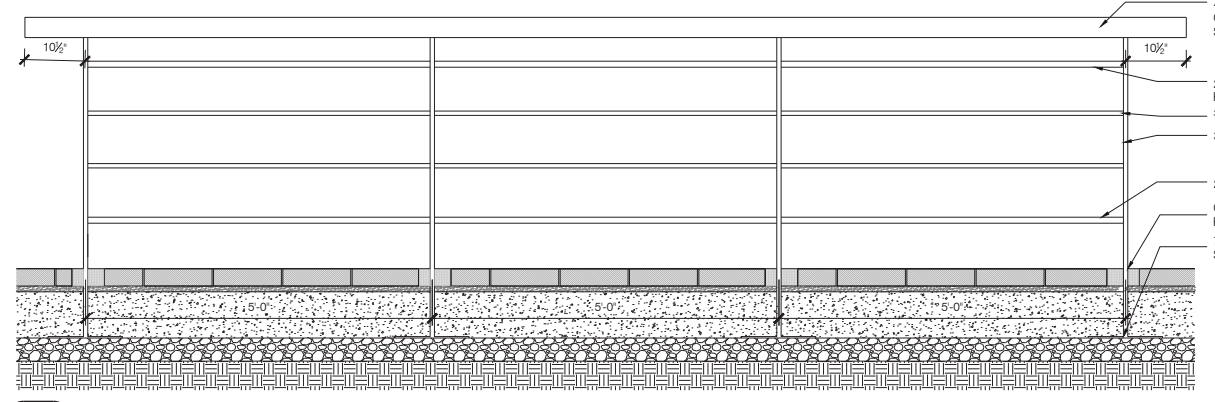


**6** C.I.P. CONC. WALL BENCH SEAT  
SCALE: 1/2" = 1'-0"

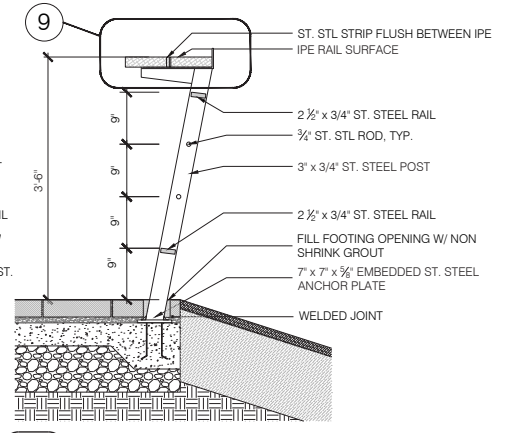


**2** BRICK ON CONCRETE SLAB  
SCALE: 1 1/2" = 1'-0"

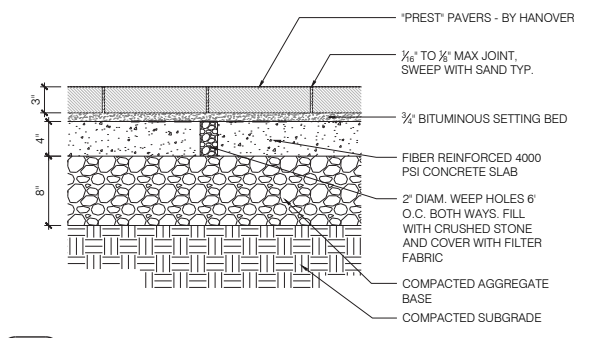
**10** NOT USED  
SCALE: 3" = 1'-0"



**8** TYP. LEAN RAIL ELEVATION  
SCALE: 1" = 1'-0"



**5** LEAN RAIL WITH IPE TOP  
SCALE: 1" = 1'-0"



**1** PRECAST CONCRETE PAVERS  
SCALE: 1 1/2" = 1'-0"

**MASSACHUSETTS PORT AUTHORITY**  
EAST BOSTON, MASSACHUSETTS 02128

PROJECT LOCATION:  
**HYATT REGENCY BOSTON HARBOR**  
101 HARBORSIDE DR, BOSTON, MA 02128

MPA CONTRACT NO: **5196** LOCATION CODE: **XXX**

PROJECT SUBMISSION PHASE:  
**NOI SUBMISSION**

REGISTRATION STAMP:

KEY PLAN:

REVISIONS:

REV NO.	DATE	DESCRIPTION	BY:

**214 CAMBRIDGE STREET #5**  
BOSTON, MA 02114  
6172272560  
<http://www.kopfermarin.com>

PROJECT NUMBER AND TITLE:

BOSTON HARBOR  
SUBMISSION PACKAGE NUMBER

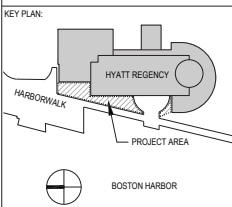
SHEET TITLE:  
**LANDSCAPE DETAILS**

DISCIPLINE:  
LANDSCAPE ARCHITECTURE

DRAWN BY: **DC** CHECKED BY: **XXX** APPROVED BY: **XXX**

SCALE: **AS NOTED** DATE: **03 APRIL 2018**

SHEET NUMBER:  
**5196-L701**



REVISIONS:

REV. NO.	DATE	DESCRIPTION	BY

214 CAMBRIDGE STREET #5  
BOSTON, MA 02114  
6172272960  
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PROJECT NUMBER AND TITLE:

BOSTON HARBOR  
SUBMISSION PACKAGE NUMBER

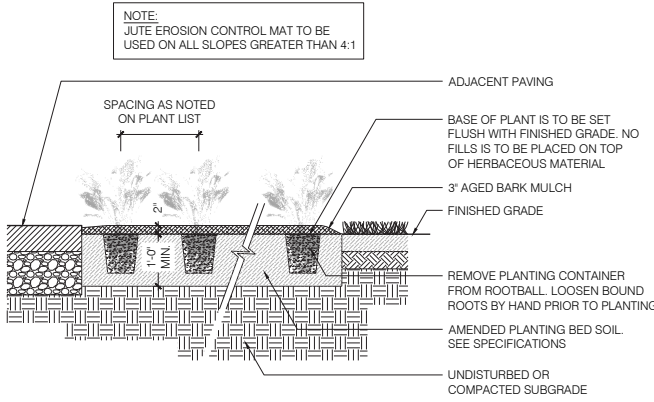
SHEET TITLE:  
**PLANTING DETAILS**

DISCIPLINE:  
LANDSCAPE ARCHITECTURE

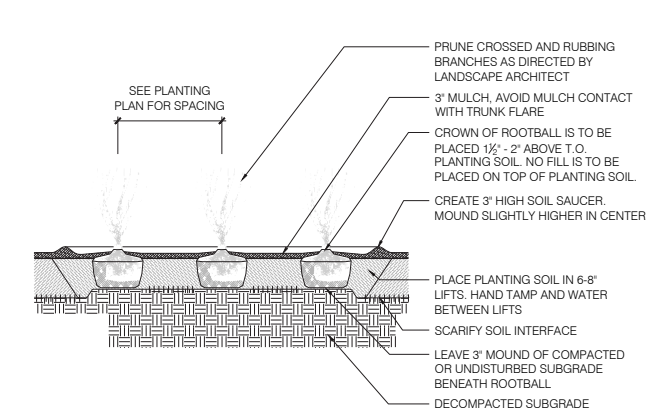
DRAWN BY: **DC** CHECKED BY: **XXX** APPROVED BY: **XXX**

SCALE: **AS NOTED** DATE: **03 APRIL 2018**

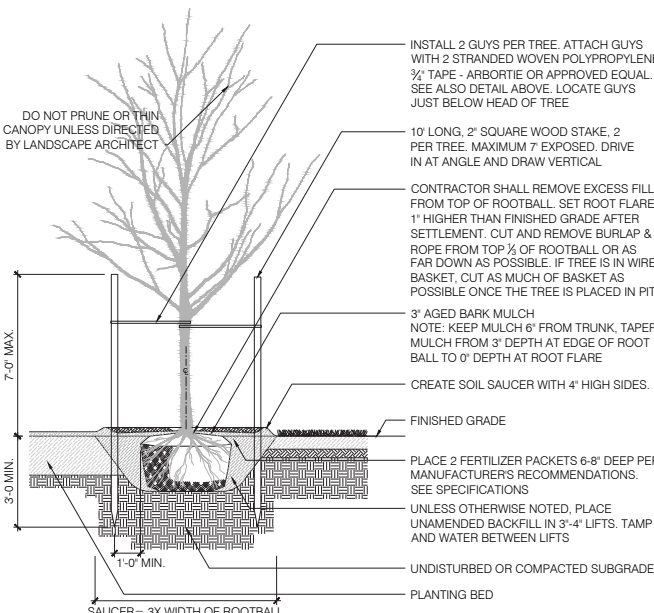
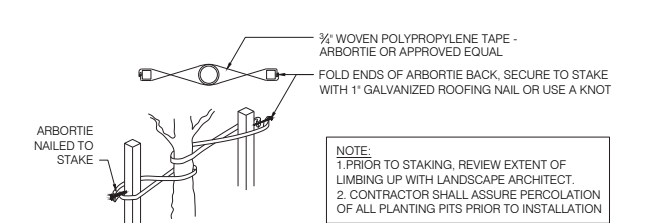
SHEET NUMBER:  
**5196-L702**



**3 PERENNIAL PLANTING**  
SCALE: 3/4" = 1'-0"



**2 SHRUB PLANTING**  
SCALE: 1/2" = 1'-0"



**1 DECIDUOUS TREE PLANTING**  
SCALE: 3/8" = 1'-0"