



CITY OF BOSTON

THE ENVIRONMENT DEPARTMENT

Boston City Hall, Room 709 • Boston, MA 02201 • 617/635-3850 • FAX: 617/635-3435

September 20, 2016

BEACON HILL ARCHITECTURAL COMMISSION

Leslie Kerr
Carriage House Condominiums
70 Revere Street
Boston, MA 02114

CERTIFICATE OF APPROPRIATENESS

NOTICE OF DECISION
Application #: 16.1593 BB
Property: 70 Revere Street

Dear Ms. Kerr:

At the June 16, 2016 public hearing, the Beacon Hill Architectural Commission (BHAC) reviewed your application for a Certificate of Appropriateness to perform exterior work at 70 Revere Street, a Colonial Revival style apartment building built in 1905. The proposed scope of work included removing the existing wood deck and wood railing (bench); replacing the roofing membrane system, installing a skylight, and constructing a roof deck with a wrought iron railing with a black painted finish; as described and shown in the presentation existing condition photographs, sightline study photographs, and drawings labeled A-1, A-2, A-3, A-4 and Exhibit A.

The Commission voted to approve your application with provisos, citing that the removal of the existing wood roof deck will not result in the loss of, or damage to, any significant architectural features of the building; that the proposed roof deck will be less visible than the existing, and the use of a wrought iron railing with slim profiles and a black painted finish will help it recede from sight; and that the work will not detract from the special architectural and historic character of the Historic Beacon Hill District.

However, the Commission found that the height and level of visibility of the proposed wrought iron railing was unclear from the submitted sightline study photographs.

Therefore the Commission stipulated that a mock-up of the proposed metal railing be placed on the outside of the existing wood framing to assess the visibility.

Subsequently on June 20, 2016, staff and the commissioners present at the public hearing received and reviewed the mock-up photographs, and determined that the proposal approved by the Commission has been maintained.

This determination is based on documentation presented at the hearing. Statutory reviews by other agencies in conflict with this decision may affect the status of this certificate, which is valid for one (1) year from its date of issue. The applicant is required to inform the BHAC of any project changes, and failure to do so may affect the status of this certificate. Please bring a copy of this certificate with you when filing for permits from the Inspectional Services Department (1010 Massachusetts Avenue). Photographs of the completed project should be submitted in hard copy format to confirm compliance with the terms of this certificate.

Sincerely,

Lissa Schwab
Preservation Planner
Beacon Hill Architectural Commission

cc: Steven Harvey, J&S Building Exteriors, Inc.

RECORD OF VOTE ON APPLICATION 16.1593 BH
MOTION by: Hopkins; SECOND by: Pierce
AFFIRMATIVE: Donnelly, Hopkins, Pierce, Taylor
NEGATIVE: (None)

ROOF PLAN

Project:
**Carriage House
 Condominium
 Beacon Hill, MA**

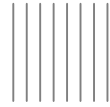

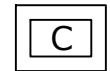

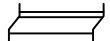


Date: March 08, 2018

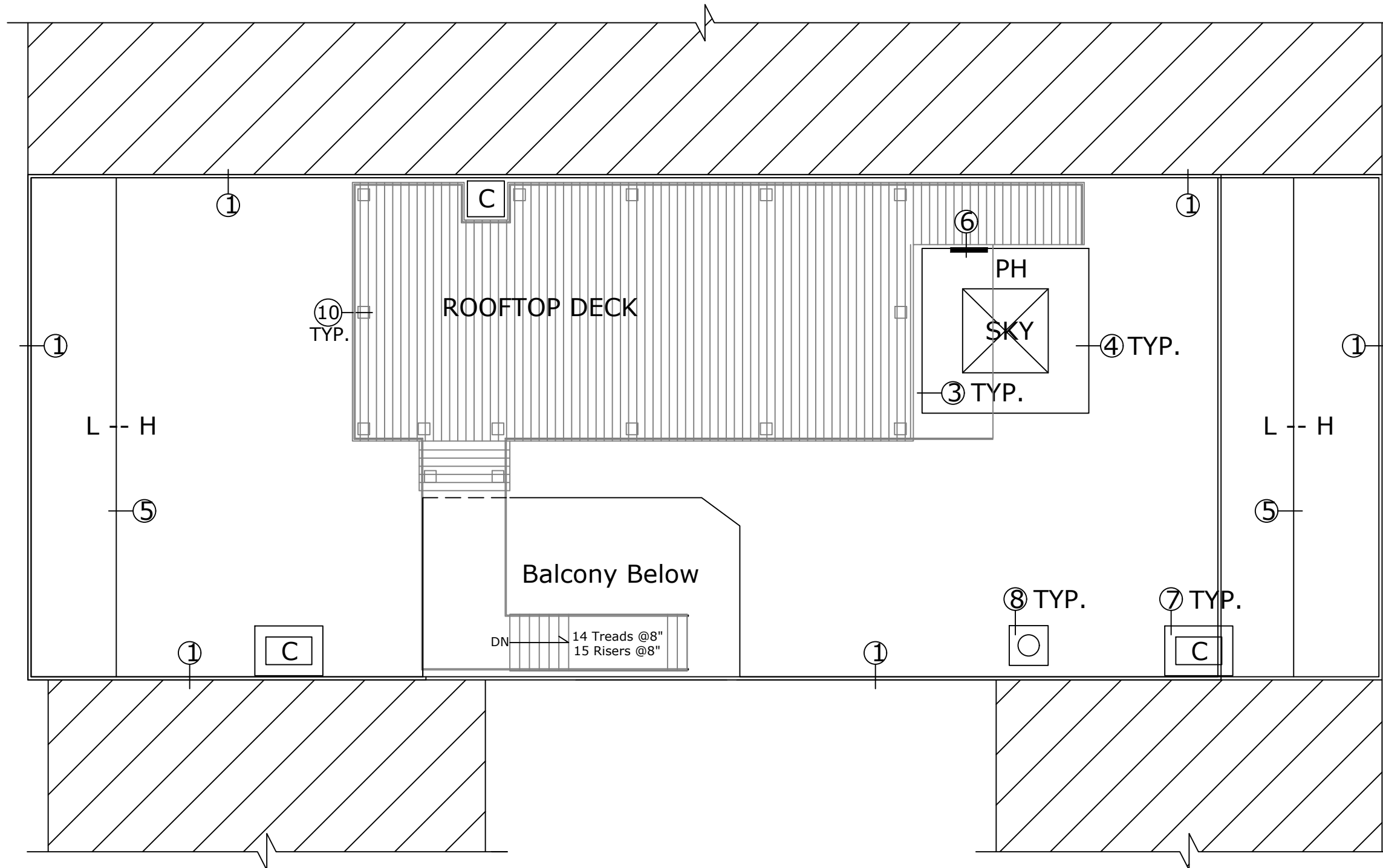
 **Roof Management Consultants, Inc.**
 29 Franklin Street, Suite 2
 Wrentham, MA 02093
 PH: 774-847-9656 / FAX: 774-847-9152

NOTES

1. The Roof Plan is not to scale and is provided as an estimating aid only.
2. The Contractor shall confirm all field dimensions, conditions, types, and quantity of units and projections.
3. Catwalk will step down to roof level.

SYMBOLS

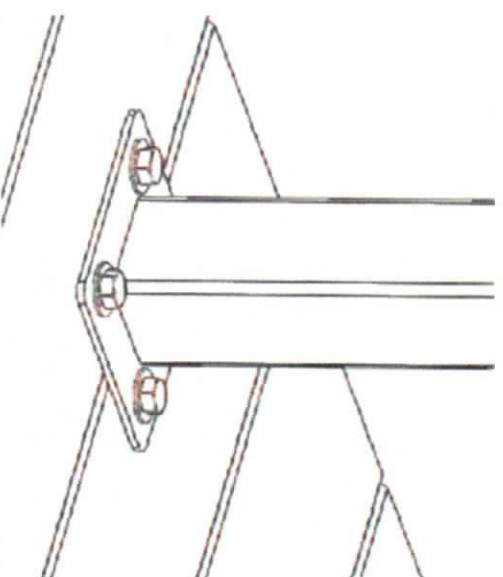
-  New Rooftop Deck
-  New Skylight
-  Chimney
-  Roof Curb with Pipe
-  Gutter
-  Vent Pipe
-  Not Included



ROOF PLAN - 70 REVERE STREET, BEACON HILL, MA

FORTRESS RAILING PANEL SYSTEM SIMPLIFIED

MOUNT POSTS

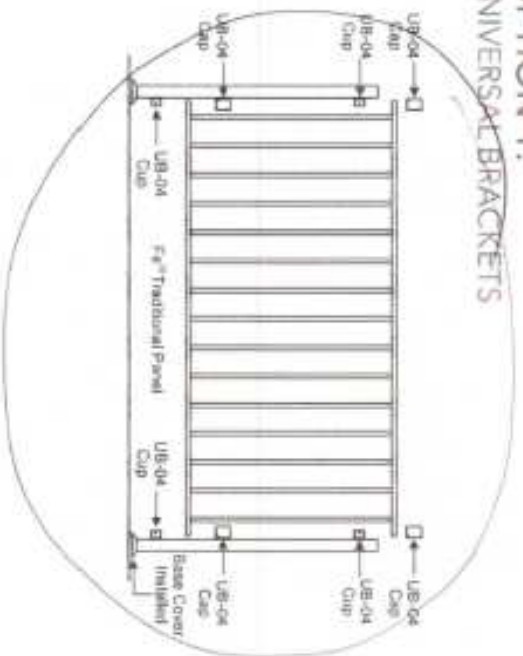


Fortress Posts must always be secured to the deck framing and should never be attached to only the deck boards.

Fe²⁶ | IRON RAILING

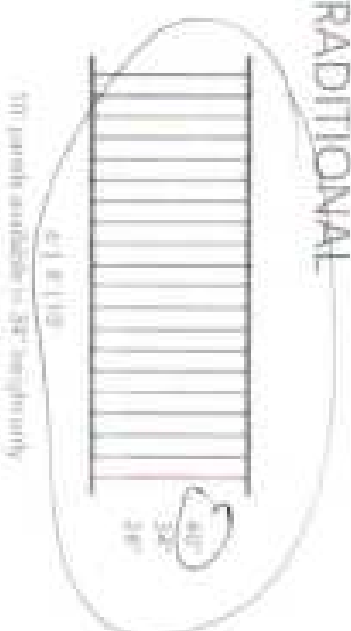
MOUNT BRACKETS & PANELS

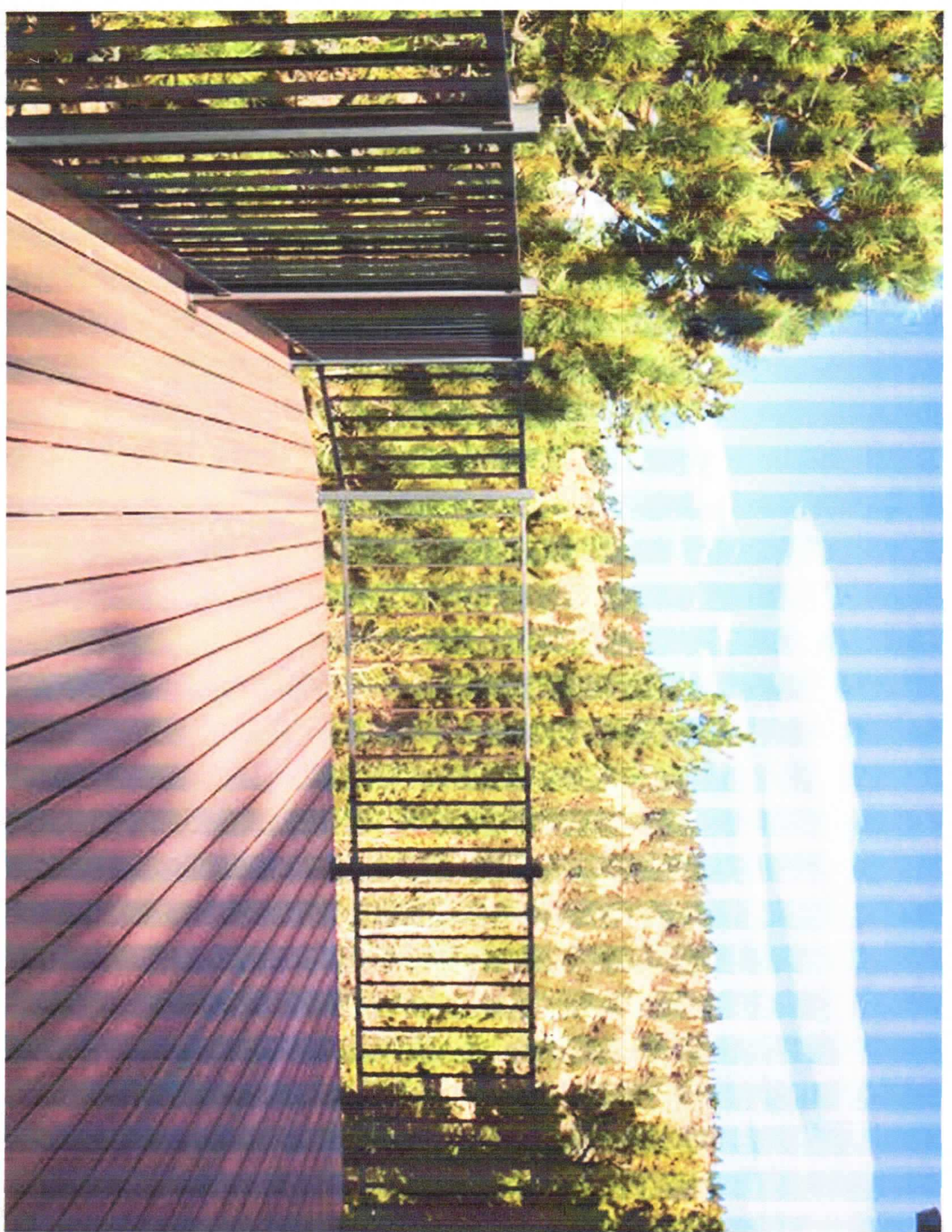
OPTION 1:
UNIVERSAL BRACKETS

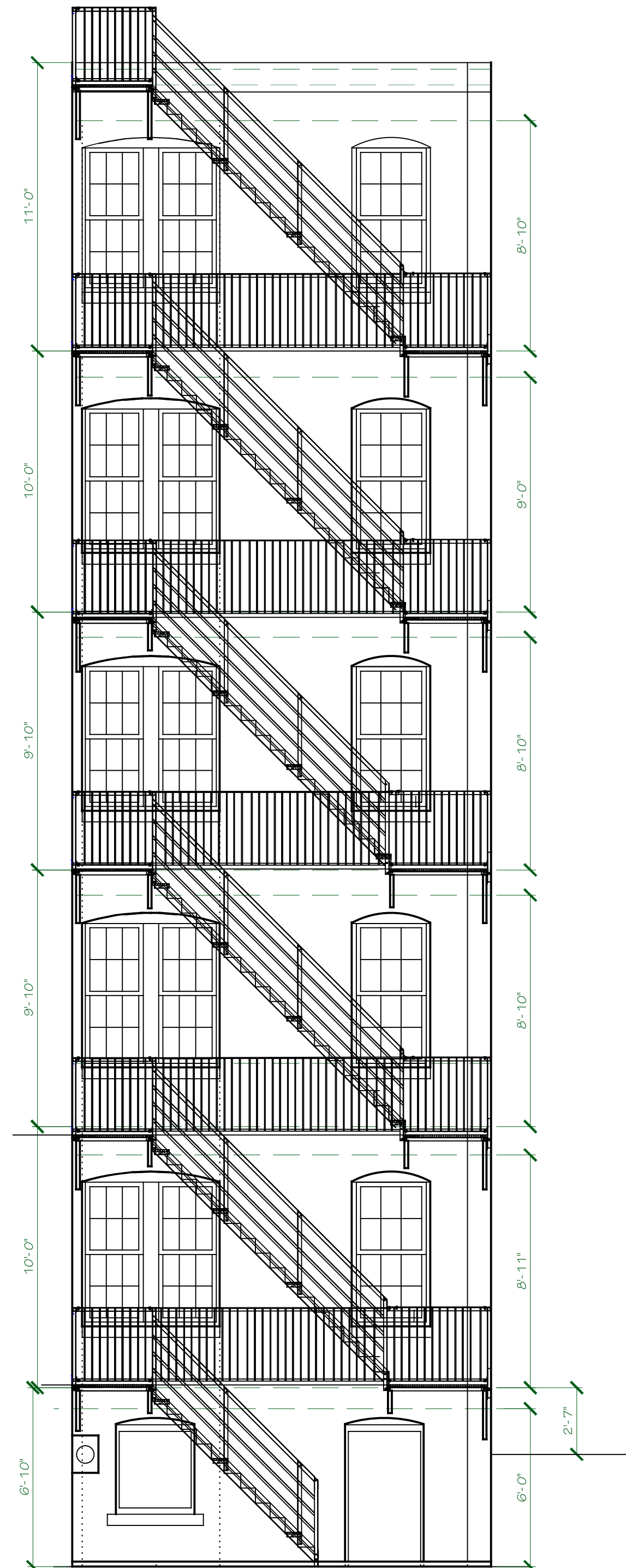


LEVEL

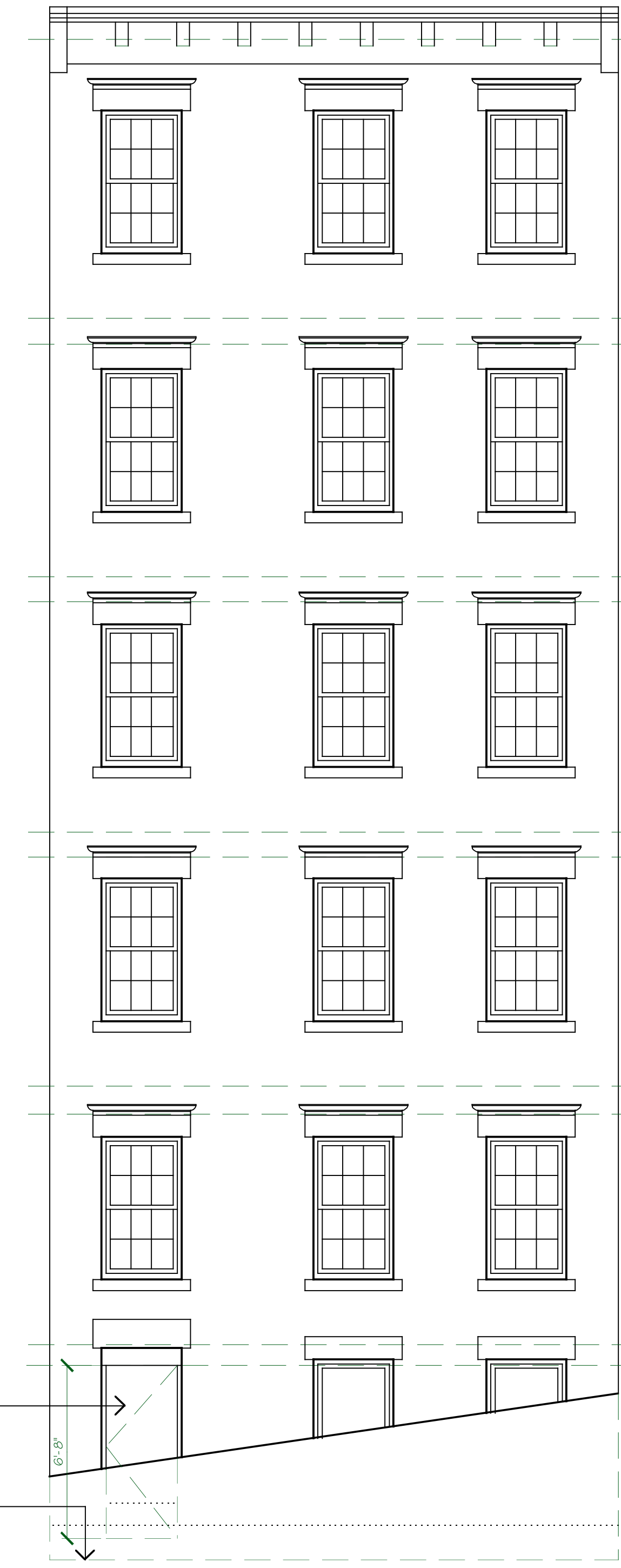
TRADITIONAL



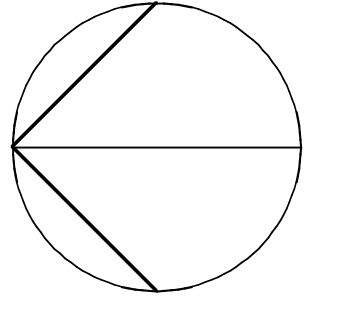




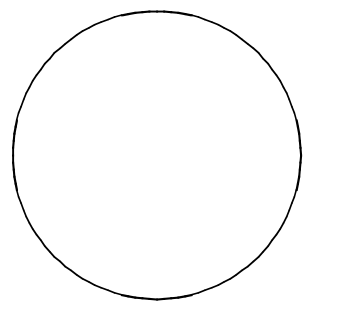
PROPOSED COURTYARD
1/4" = 1'-0"



PROPOSED MYRTLE ST. ELEV.
1/4" = 1'-0"

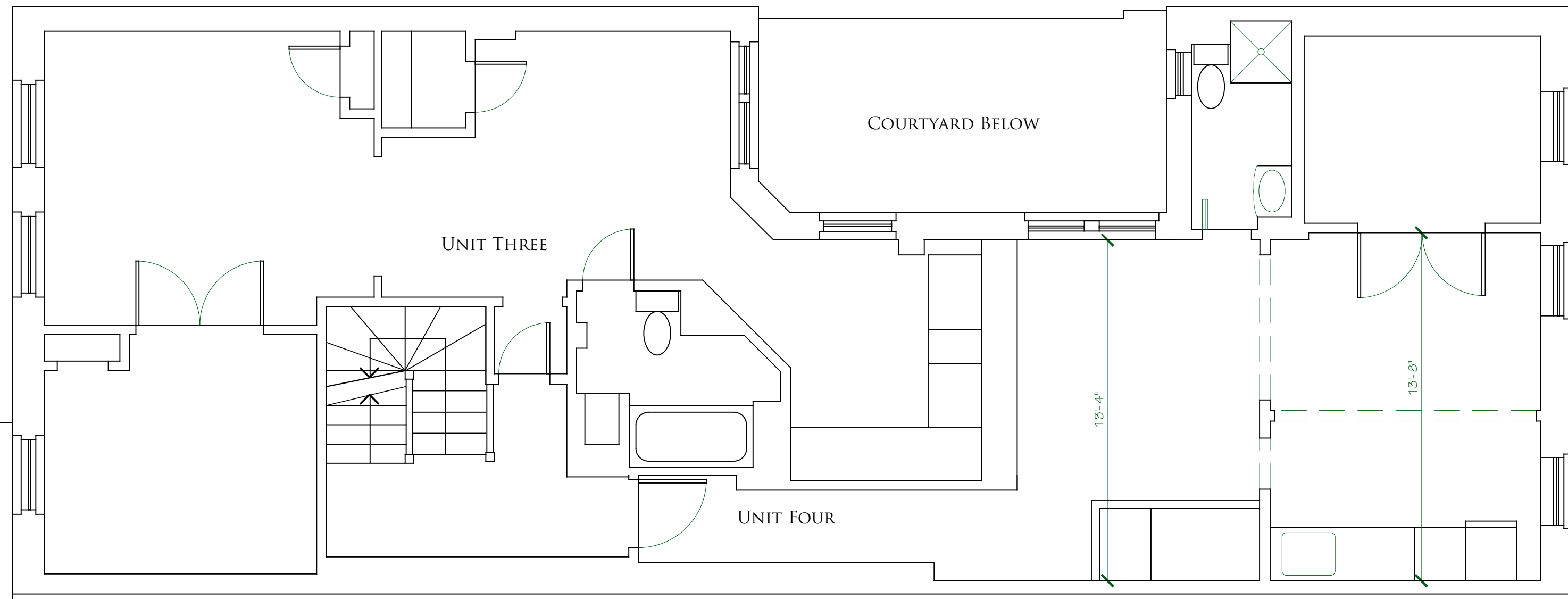


MIA
CONSULTANTS
ARCHITECTURE · PLANNING · DEVELOPMENT
MARK LANDSBERG, P.A. LEED AP
72 Pearl Street • Suite 1 • Newbury, MA 02459
617.441.1100
mark@miaconsultants.com miaad.com www.miaconsultants.com



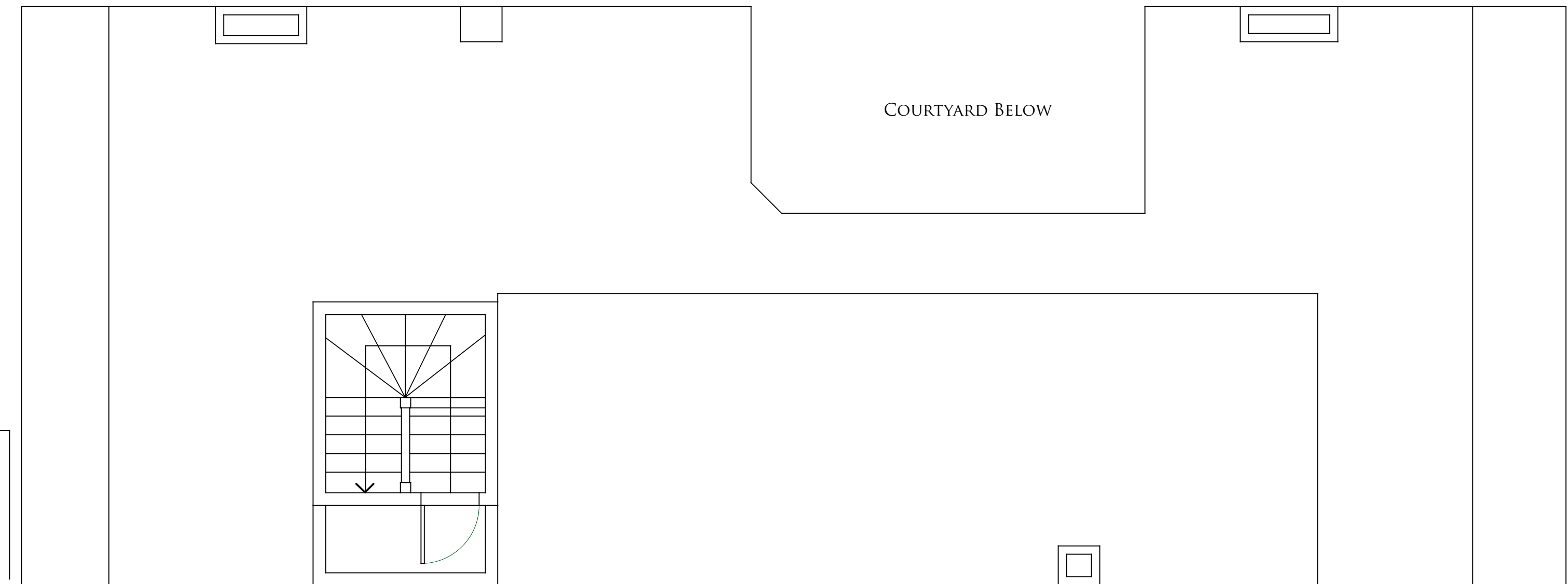
Date 10 Jan. 2018
Rev. 21 Feb. 2018
Scale 1/4"=1'-0"
Job 1803
Drawn ML

ALTERATIONS TO CARRIAGE HOUSE CONDOMINIUM
70 Revere Street, Boston, MA
PROPOSED ELEVATIONS



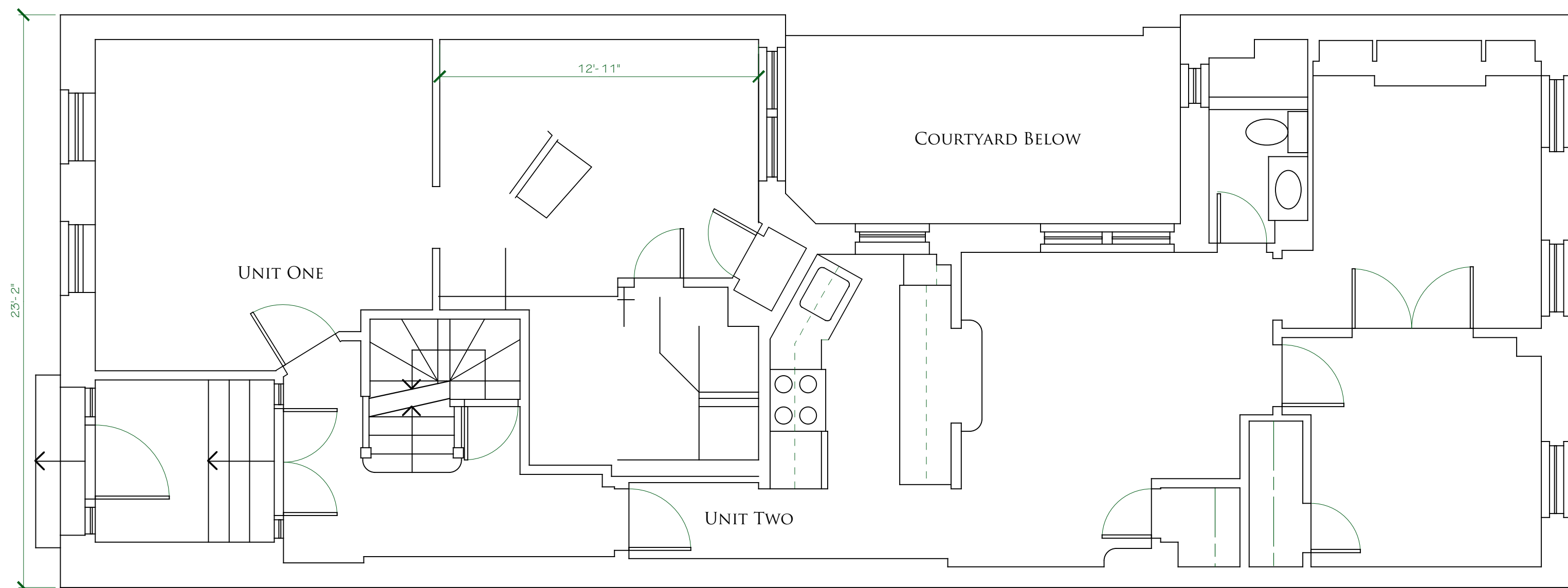
EXISTING SECOND FLOOR PLAN

1/4" = 1'-0"



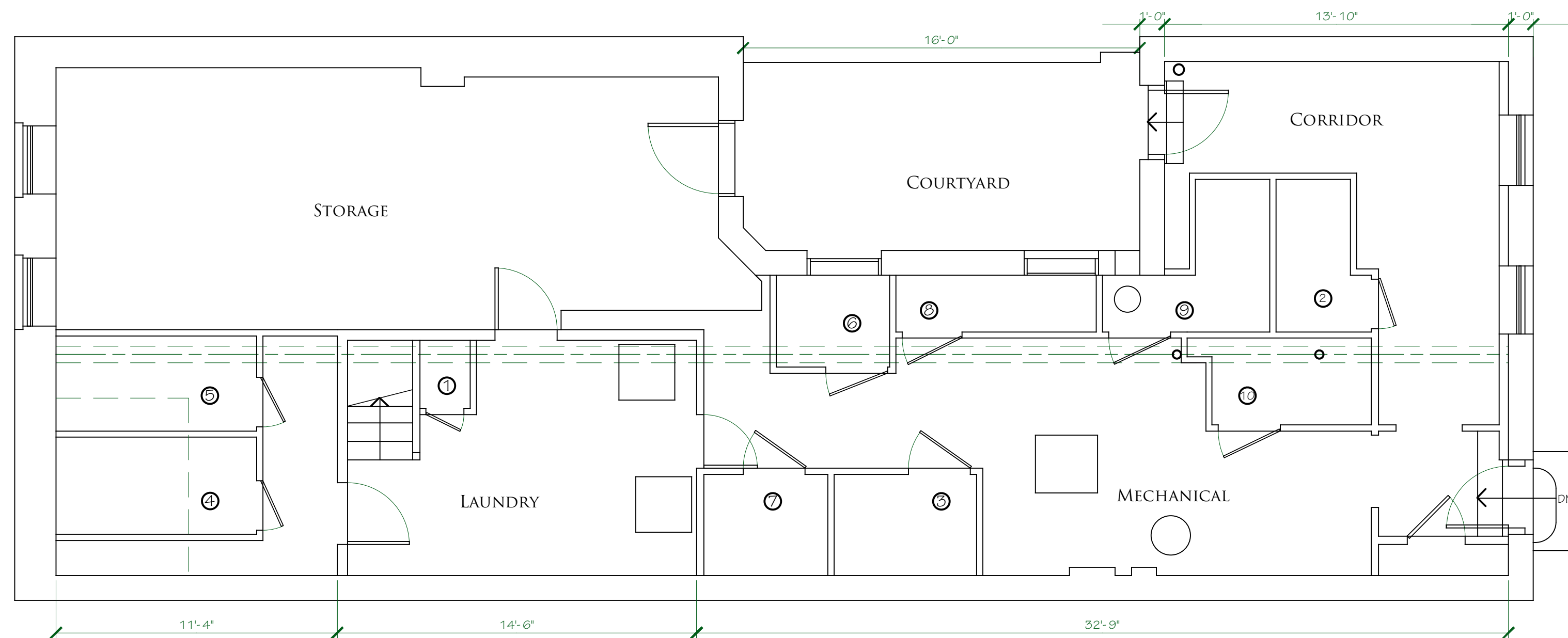
EXISTING ROOF PLAN

1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN

1/4" = 1'-0"



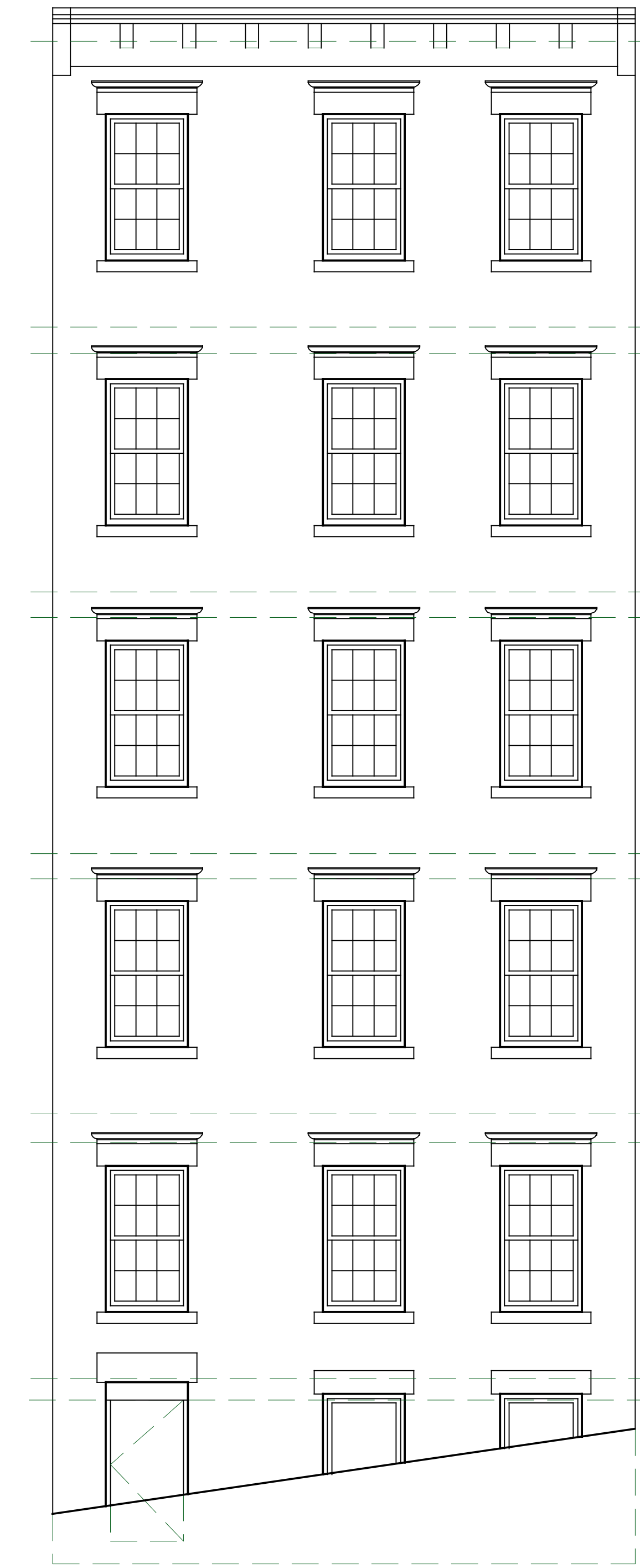
EXISTING GROUND FLOOR PLAN

1/4" = 1'-0"



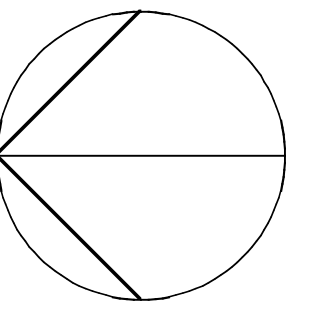
EXISTING COURTYARD

1/4" = 1'-0"

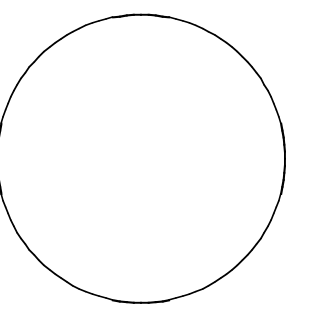


EXISTING MYRTLE ST. ELEV.

1/4" = 1'-0"



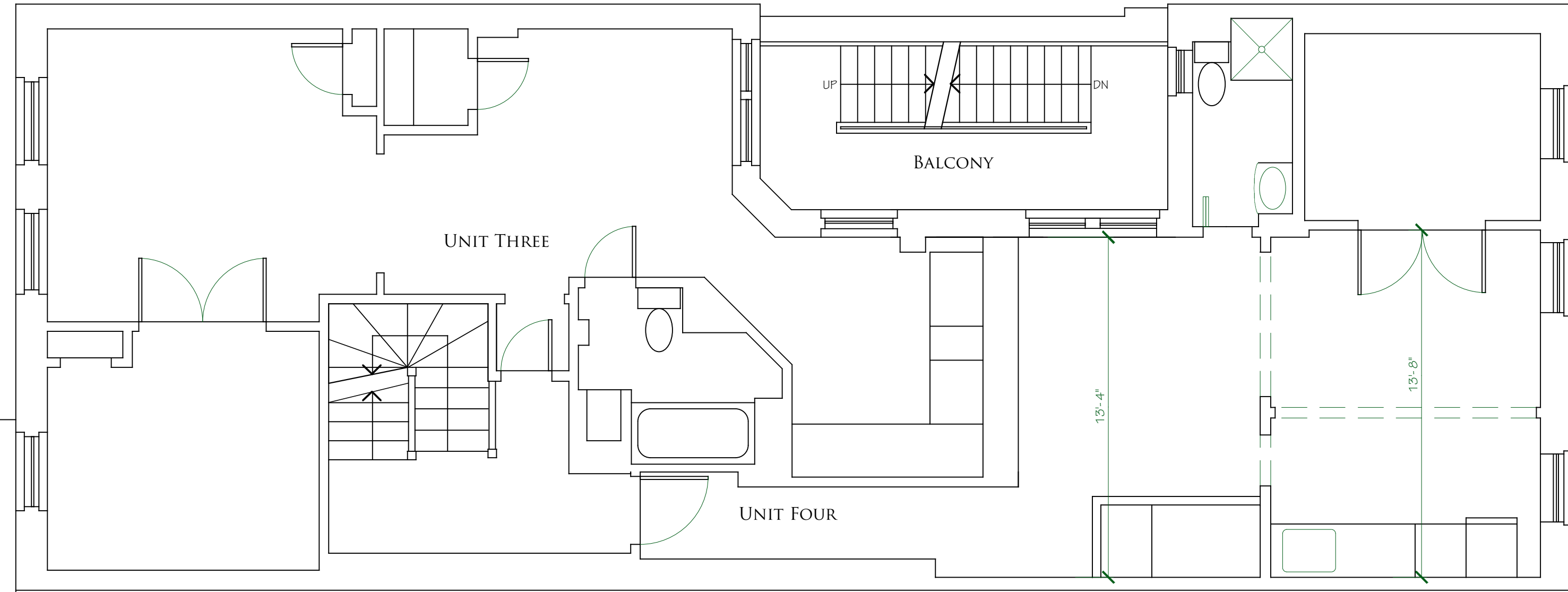
MIA
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 MARK LANDSBERG, RA, LEED AP
 77 Pearl Street 4th Floor Boston, MA 02108
 617.452.6262
 mia@miacollaborative.com mia.com



Date 10 Jan. 2018
 Rev. 6 Feb. 2018
 Scale 1/4" = 1'-0"
 Job 1803
 Drawn ML

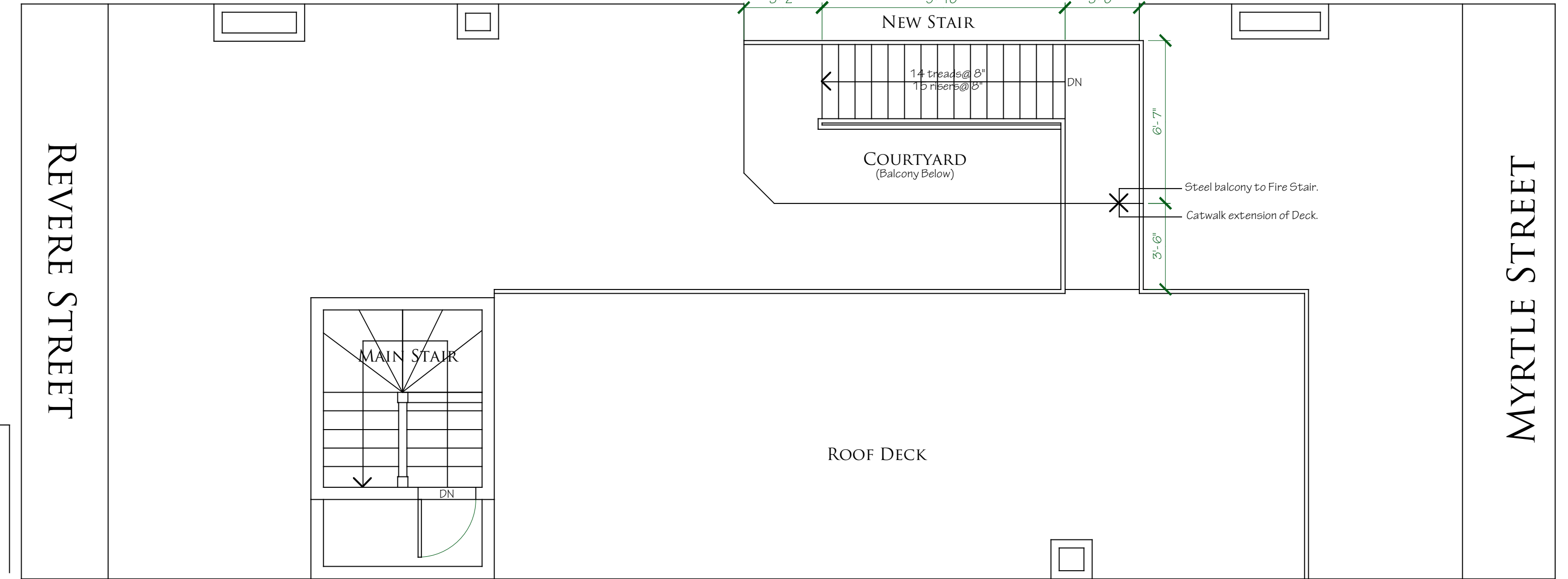
ALTERATIONS TO CARRIAGE HOUSE CONDOMINIUM
 70 Revere Street, Boston, MA

EXISTING FLOOR PLANS & ELEVATIONS



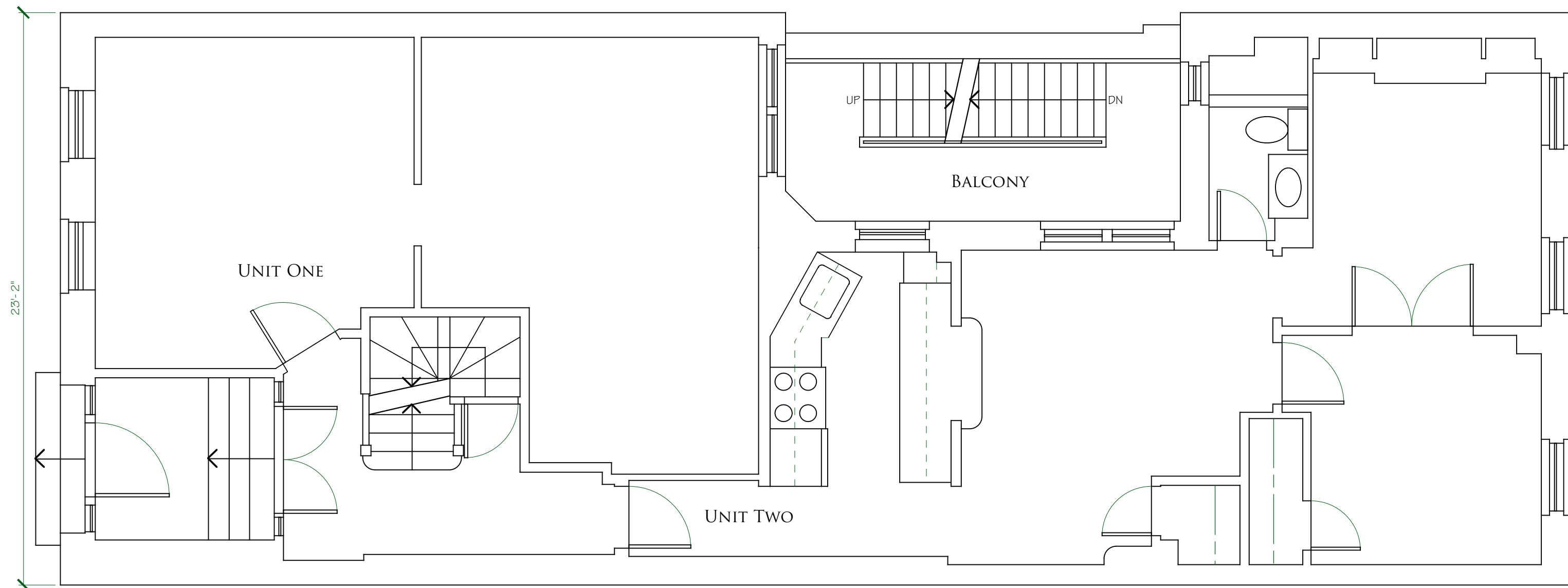
PROPOSED TYPICAL FLOOR PLAN

1/4" = 1'-0"



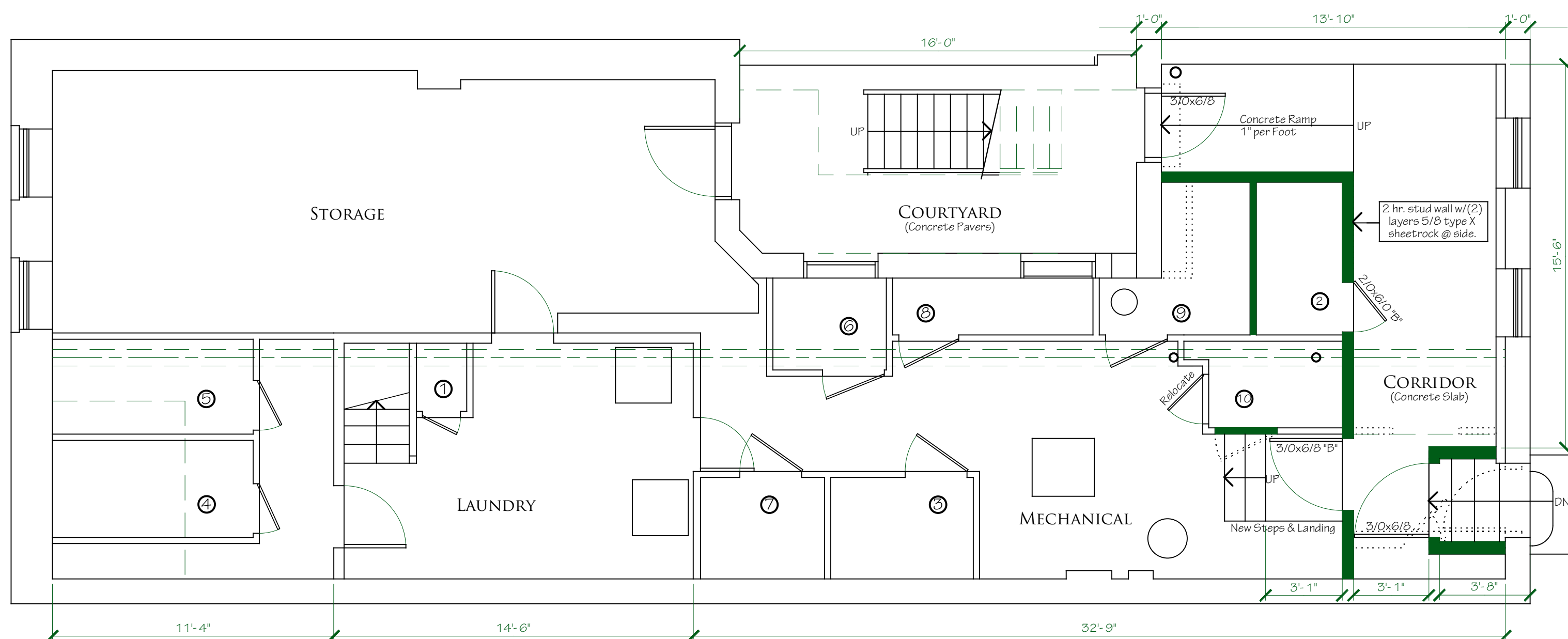
PROPOSED ROOF PLAN

1/4" = 1'-0"



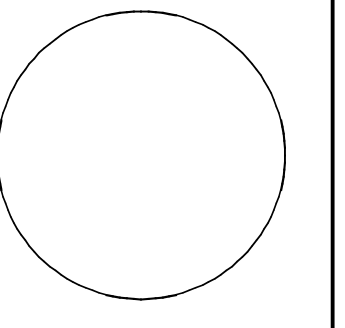
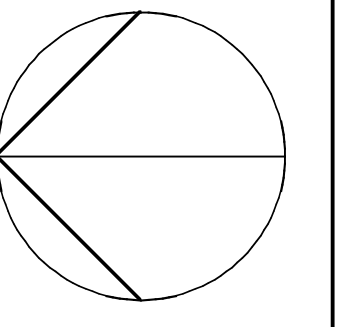
PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0"



PROPOSED GROUND FLOOR PLAN

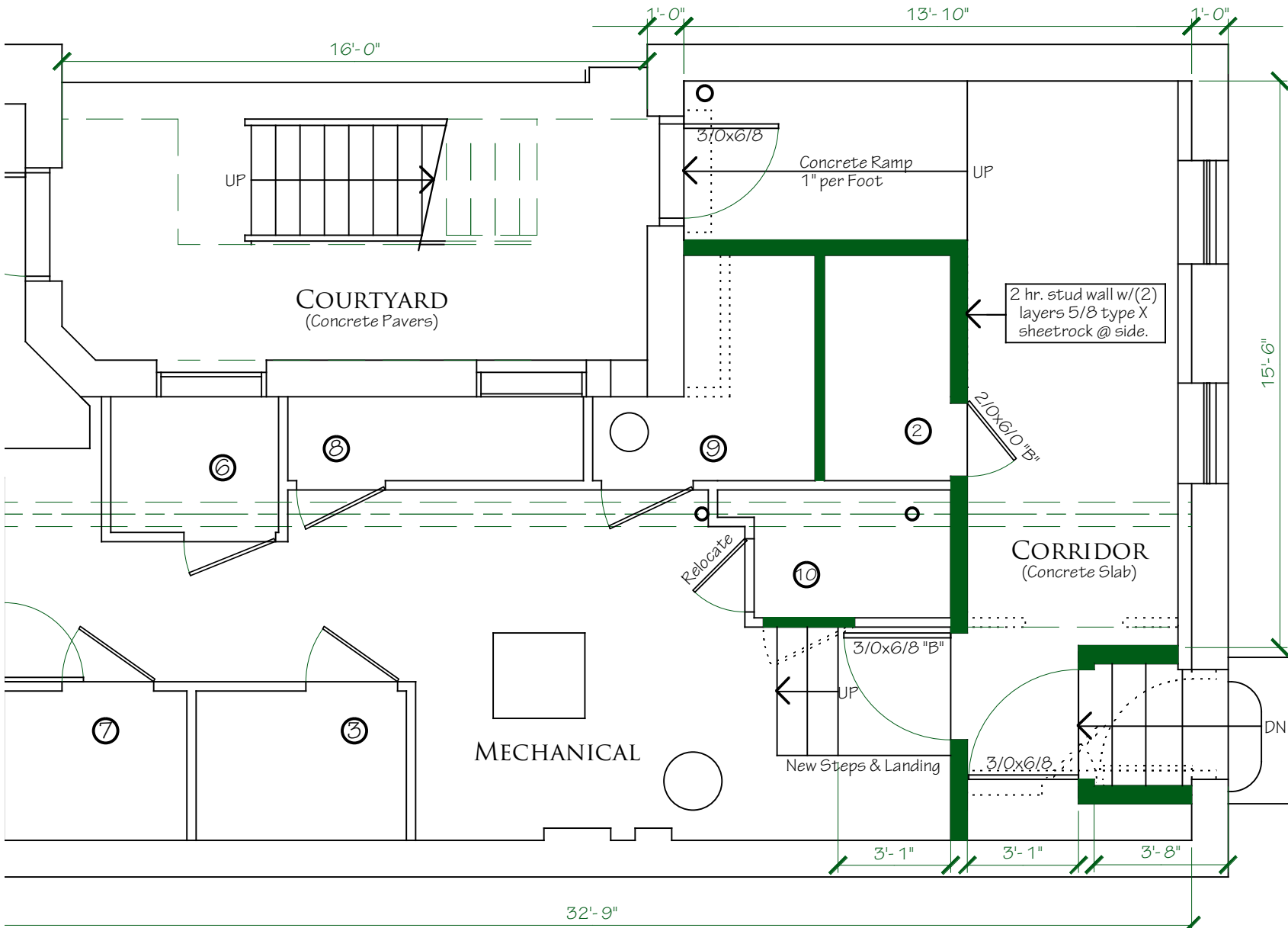
1/4" = 1'-0"



Date	10 Jan. 2018
Rev.	7 Mar. 2018
Scale	1/4" = 1'-0"
Job	1803
Drawn	ML

ALTERATIONS TO CARRIAGE HOUSE CONDOMINIUM
 70 Revere Street, Boston, MA

PROPOSED FLOOR PLANS



MYRTLE STREET

EXISTING
BASEMENT
ENTRY

PROPOSED GROUND FLOOR PLAN

1/4" = 1'-0"



PROPOSED MYRTLE ST. ELEV.

1/4" = 1'-0"

Specs for proposed back door

BROSCO		"JUST THE FAX" ORDER FORM - WOOD ENTRY UNITS				BROSCO	
Dealer <u>V.B. SASH & DOOR</u>		Purchase Order No. _____		Date <u>3/2/2018</u>			
Location <u>CHELSEA, MA</u>		Contact Name <u>MIKE CUNNING</u>		<small>Bold text indicates Basic "Standard" Unit</small>			
Quantity	Door <u>F-9416V</u> <small>design number</small> <input checked="" type="checkbox"/> Single (ex. 3-0 x 6-8) or <input type="checkbox"/> Double (ex. 6-0 x 6-8)	Handing <small>see diagram below</small> <input checked="" type="checkbox"/> Left Hand - Inswing <input type="checkbox"/> Right Hand - Inswing <input type="checkbox"/> Left Hand - Outswing <input type="checkbox"/> Right Hand - Outswing	Sidelights <small>design number</small> <input type="checkbox"/> Add Single Sidelight <input type="checkbox"/> Knob side <input type="checkbox"/> Hinge side <input type="checkbox"/> Add Double Sidelight <small>size</small>	Transoms <small>design number</small> <input type="checkbox"/> Elliptical <input type="checkbox"/> Rectangle <input type="checkbox"/> Round Top <input type="checkbox"/> Grilles	Misc./Special Instructions <input type="checkbox"/> Weather Out Sit Flashing <u>VERTICAL GRAIN DOUGLAS FIR</u> <u>(FLUSH PANEL)</u> Please Specify Yale hardware - refer to tab H.	Subtotal LIST PRICE \$ _____	
BASIC (std) UNIT LIST PRICE						Subtotal LIST PRICE	
BASIC (std) UNIT LIST PRICE						Subtotal LIST PRICE	
Lock Prep <input checked="" type="checkbox"/> Single Bore <input type="checkbox"/> Single Bore & 2 1/2" Deadbolt Bore* <input type="checkbox"/> Single Bore & 1 1/2" Deadbolt Bore* <input type="checkbox"/> No Bore <input type="checkbox"/> Other _____		Hinges <input type="checkbox"/> Antique Brass <input type="checkbox"/> Antique Bronze Leque <input type="checkbox"/> Antique Bronze Oil Rubbed <input type="checkbox"/> Antique Nickel <input type="checkbox"/> Black <input type="checkbox"/> Back Zinc <input type="checkbox"/> Bright Brass Patent <input type="checkbox"/> Bright Brass <input type="checkbox"/> Polished Chrome <input type="checkbox"/> Satin Brass <input type="checkbox"/> Satin Chrome <input type="checkbox"/> Satin Nickel <input type="checkbox"/> Solid Brass <input type="checkbox"/> Solid Brass Ball Top <input type="checkbox"/> Stainless Steel <input type="checkbox"/> White Pinned <input type="checkbox"/> Zinc <input type="checkbox"/> Zinc Dichromate	Jamb Width <input checked="" type="checkbox"/> 4 1/4" <input type="checkbox"/> 5 1/4" <input type="checkbox"/> 5 7/8" <input type="checkbox"/> 6 1/4" <input type="checkbox"/> 6 7/8" <input type="checkbox"/> 8" <input type="checkbox"/> Other _____	Jamb Type <input type="checkbox"/> FJP Frame Defense <input type="checkbox"/> FJP FrameSaver <input checked="" type="checkbox"/> Clear Pine <input type="checkbox"/> Fir <input type="checkbox"/> Fir Veneered <input type="checkbox"/> Oak <input type="checkbox"/> Oak Veneered <input type="checkbox"/> Mahogany <input type="checkbox"/> Mahogany Veneered <input type="checkbox"/> Oak <input type="checkbox"/> Composite Pained <input type="checkbox"/> Composite Mah. Grained <input type="checkbox"/> Composite White Cap	Sill <input type="checkbox"/> Aluminum Sill (MIL) <input type="checkbox"/> Bronze Sill <input type="checkbox"/> Brass Sill <input type="checkbox"/> Satin Nickel Sill <input checked="" type="checkbox"/> Oak Sill (Lam.) <input type="checkbox"/> Solid Cap Oak Sill <input type="checkbox"/> Mahogany Sill <input type="checkbox"/> Public Access Sill <input type="checkbox"/> Other _____	Casing <input type="checkbox"/> FJP Brickmould <input type="checkbox"/> FJP Flat 1 1/4" x 3 1/2" <input type="checkbox"/> FJP Cape Cod Flat 1 1/4" x 4 1/2" <input type="checkbox"/> FJP FrameSaver Brickmould <input checked="" type="checkbox"/> Pine Brickmould <input type="checkbox"/> Clear Pine Flat 1 1/4" x 3 1/2" <input type="checkbox"/> Fir Solid Brickmould <input type="checkbox"/> Fir Veneered Brickmould <input type="checkbox"/> Oak Solid Brickmould <input type="checkbox"/> Oak Veneered Brickmould <input type="checkbox"/> Mahogany Solid Brickmould <input type="checkbox"/> Mahogany Veneered Brickmould <input type="checkbox"/> No Casing <input type="checkbox"/> Other _____	Subtotal LIST PRICE \$ _____
BASIC (std) UNIT LIST PRICE						Subtotal LIST PRICE	
BASIC (std) UNIT LIST PRICE						Subtotal LIST PRICE	
DEALER USE ONLY						TOTAL LIST PRICE \$ _____	
Customer Name <u>MARY LANDSBERG</u>							
Address <u>70 RAVINE STREET</u>							
City, State, Zip <u>BOSTON, MA 02114</u>							
Telephone <u>617 645-9535</u>							
I understand that once the units are set-up, there is no credit allowed for returned units and all sales are final. Please proceed on my order as listed above.							
Dealer Signature: _____							

HANDING

When the door opens toward you and the knob is on the left hand side, it is a LEFT HAND DOOR. When the knob is on the right, it is a RIGHT HAND DOOR.

SINGLE DOOR		DOUBLE DOOR		SINGLE DOOR w/Sidelights
Left hand Inswing	Right hand Inswing	Left hand Inswing	Right hand Inswing	
Left hand Outswing	Right hand Outswing	Left hand Outswing	Right hand Outswing	

Handing is determined the same as a single door unit. If ordering a unit with one sidelight, specify sidelight on hinge side or knob side.

PRE-6R JULY 2012 REVISED



Search Search

EZSet F Series SD Lever Grade I Entrance Function Commercial Lockset [Back](#)

★★★★★ 1 Review(s)  Write a Review

Zoom



EZSet Grade I Entrance FC Commercial Lockset

Note:

Interchangeable core option comes without core - compatible with BEST format 6 Pins or 7 Pins (SFIC).



Description

Leslie Kerr

From: Mark Landsberg [mark@milaconsultants.com]

Sent: Thursday, March 08, 2018 4:01 PM

To: Leslie Kerr

Subject: Photos





