



142 BEACON

Charles River Esplanade

Charles River

Dr Paul Dudley White Bk

Storrow Dr

Back St

Fisher College

CHABAD BOSTON  
Jewish Center and

Back St

Beacon St

Back St

Back St

Berkeley St

Gibson House Museum

Goethe-Institut Boston

Beacon St

Public Alley 421

Beacon St

Berkeley St

Public Alley 421

Beacon St

French Cultural Center

Public Alley 420

Beacon St

Public Alley 420

Berkeley St

Marlborough St

Public Alley 420

Marlborough St

First Lutheran Church

422

Original Facade @ 140&142 Beacon

142 Beacon





Existing Rear Facade Close-Up





Existing Rear Iron Gate

Existing Rear Iron Gate Door



Existing Rear Facade



Existing Garden Wall Looking East







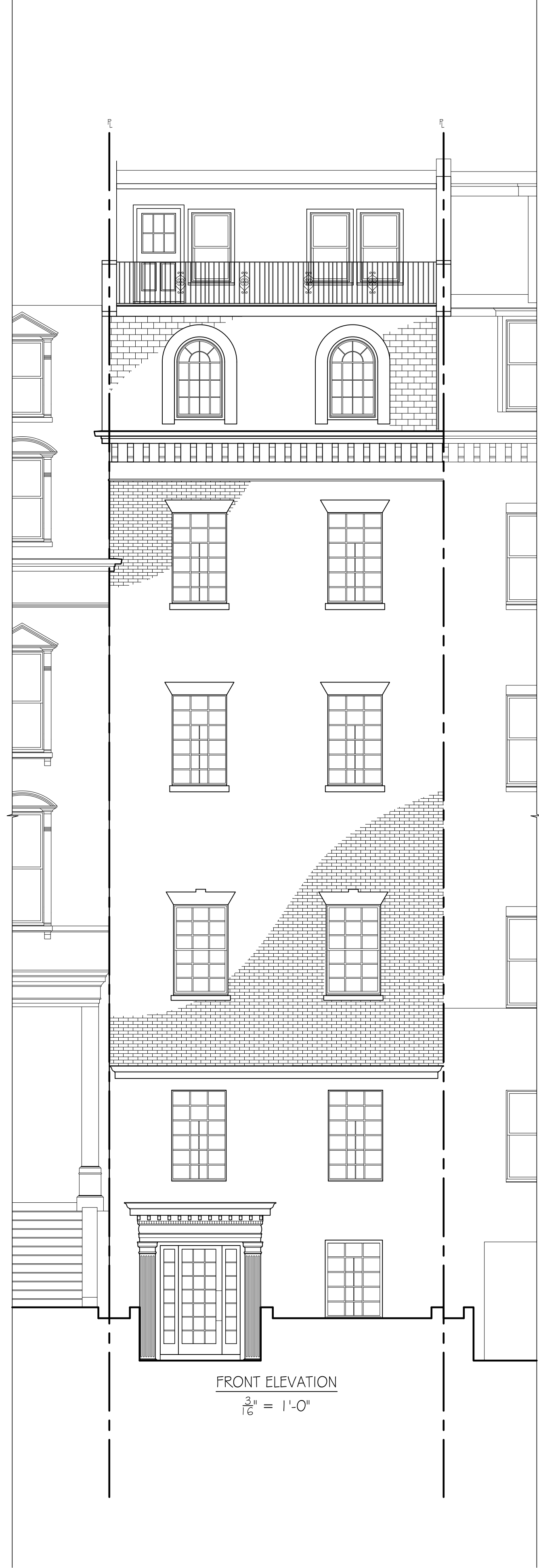
Existing Garden Wall Looking West



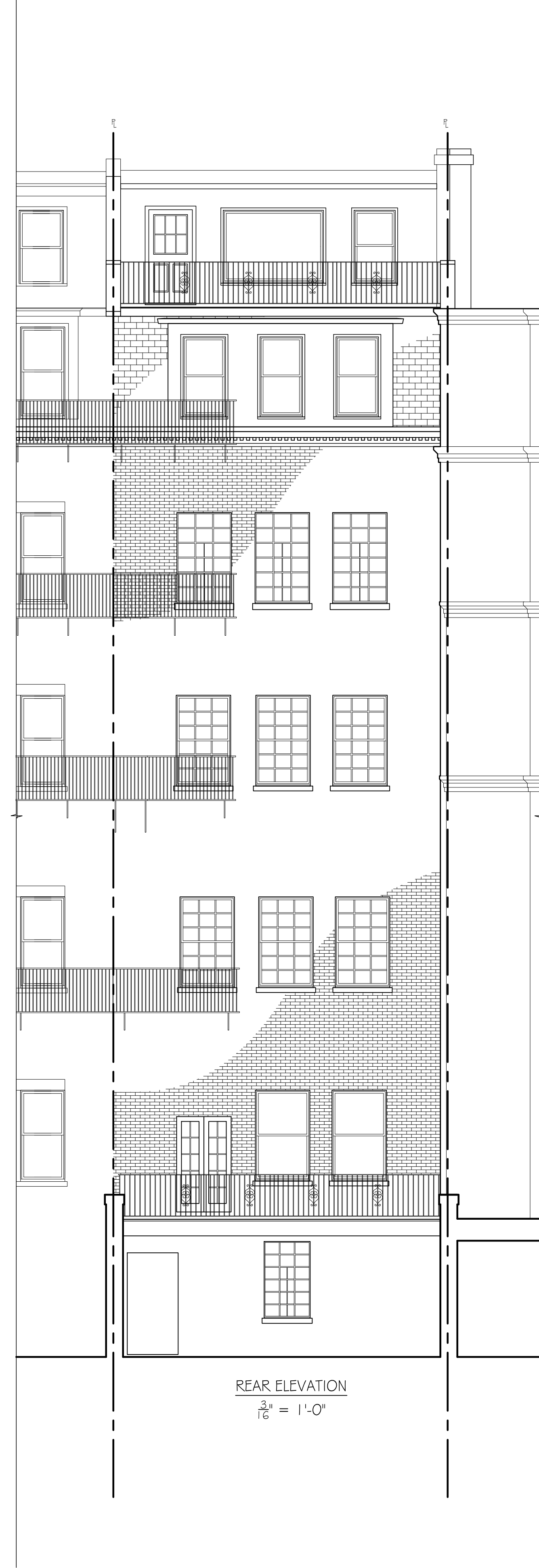
Existing Front Entry



Existing Iron Railing at Existing Front Entry



FRONT ELEVATION  
 $\frac{3}{16}'' = 1'-0''$



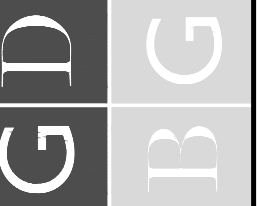
REAR ELEVATION  
 $\frac{3}{16}'' = 1'-0''$

EC6

EXISTING BUILDING  
 ELEVATIONS

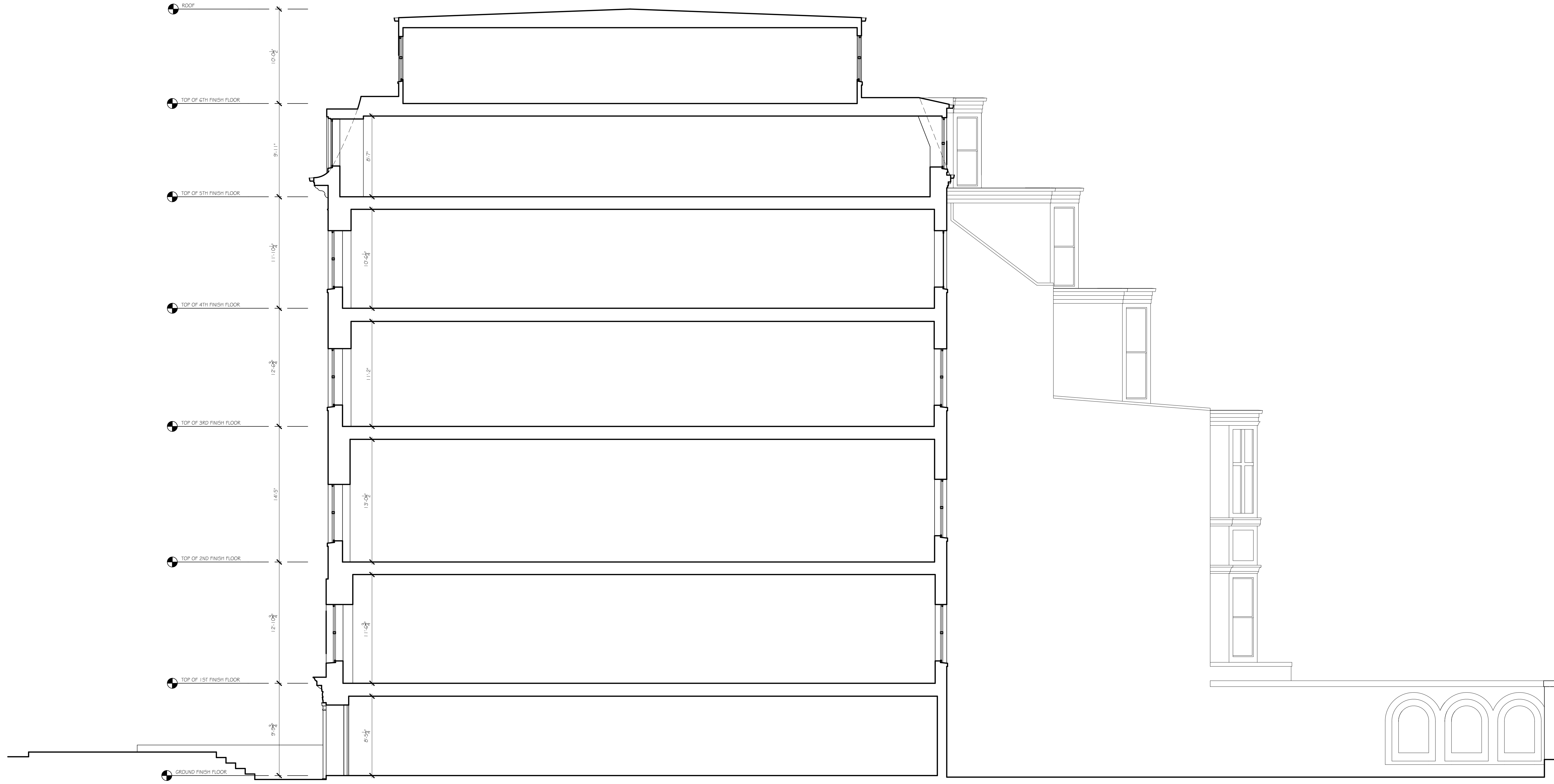
142 BEACON STREET  
 BOSTON, MA 02116

JOB NO: 1720
SCALE: AS NOTED
DATE:
REVISED



GRASSI DESIGN GROUP  
 BEAUCHEMIN GRASSI INTERIORS

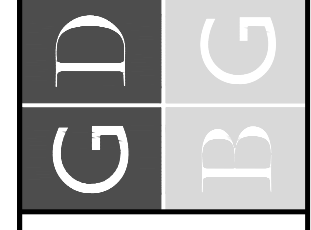
46 Waltham Street, Suite 3A  
 Boston, MA 02118  
 Phone 617-956-9992  
 Fax 917-956-9993



1 BUILDING SECTION  
 $\frac{3}{16}'' = 1'-0''$

46 Waltham Street, Suite 3A  
 Boston, MA 02118  
 Phone 617-956-9992  
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EXISTING BUILDING  
 SECTION



**INSPECTIONS**

DYE TEST SEWER  
DATE: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_

CUT AND CAP EXISTING SEWER  
DATE: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_

6" SEWER LINE INSTALLATION  
DATE: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_

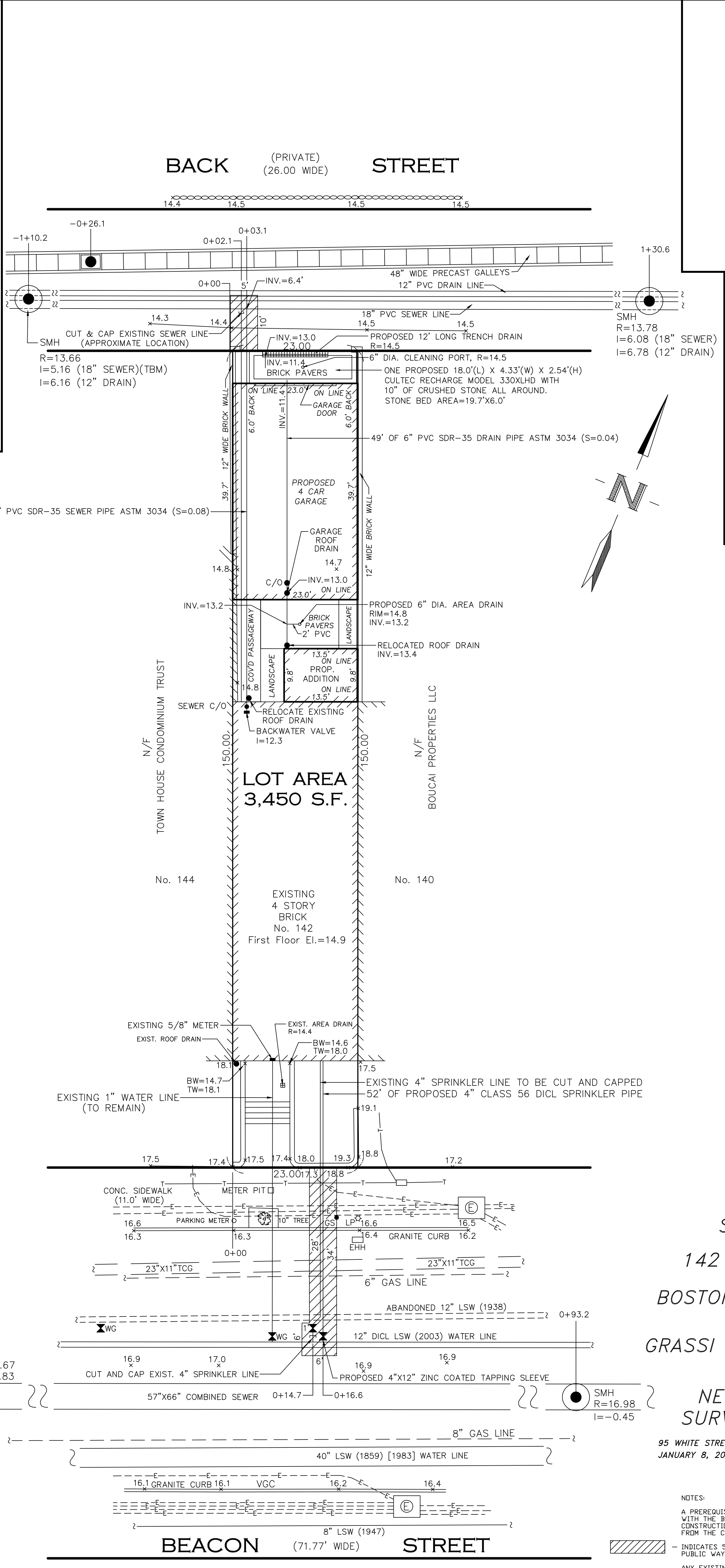
4" SPRINKLER LINE INSTALLATION  
DATE: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_

INFILTRATION SYSTEM INSTALLATION  
DATE: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_

AREA DRAIN INSTALLATION  
DATE: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_

TRENCH DRAIN INSTALLATION  
DATE: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_

AS-BUILT PREPARATION FEE  
DATE: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_



ACCOUNT NUMBER	EXISTING
PARCEL NUMBER	02586000
WARD NUMBER	5
PROPERTY LOCATION	142 KEITH STREET
NEIGHBORHOOD	PROPER
ZIP CODE	02116
OWNER	BOUCAI PROPERTIES LLC C/O GUY GRASSI
OWNERS ADDRESS	360 NEWBURY STREET, SUITE 710 BOSTON, MA 02115
OWNERS TELEPHONE NUMBER	617-956-9992
TYPE OF PREMISE	MULTI-FAMILY
METER SIZE	5/8"
BWSC PROJECT No.	17-
LAND USE CODE	R7 or more

**SITE PLAN  
FOR  
142 BEACON STREET  
IN  
BOSTON (PROPER), MASS.**

PREPARED FOR:  
**GRASSI DESIGN GROUP, INC.**

PREPARED BY:  
**NEPONSET VALLEY  
SURVEY ASSOC., INC.**

95 WHITE STREET QUINCY, MA.  
JANUARY 8, 2018 SCALE 1" = 10'  
SHEET 1 OF 2

NOTES:

A PREREQUISITE FOR FILING A GENERAL SERVICE APPLICATION WITH THE BOSTON WATER AND SEWER COMMISSION FOR NEW CONSTRUCTION IS THE BUDGET CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON'S INSPECTIONAL SERVICES DEPARTMENT.

INDICATES 5' WIDE TRENCH, MAXIMUM EXCAVATION IN PUBLIC WAY.

ANY EXISTING WATER AND SEWER SERVICES UNCOVERED ARE TO BE ABANDONED AND SHALL BE CUT AND CAPPED AT THE MAIN IN THE STREET BY THE GENERAL CONTRACTOR.

PROPOSED HOUSE CONTAINS X BEDROOMS WITH AN AVERAGE DAILY SANITARY SEWAGE FLOW OF 110 GALLONS FOR A TOTAL OF X GALLONS PER DAY.

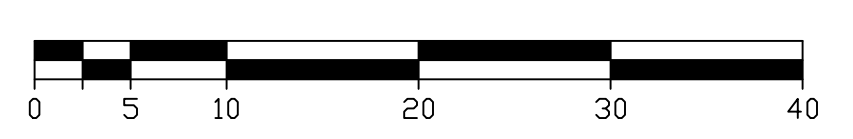
THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A FIELD SURVEY AND COMPILATION OF RECORD UTILITY PLANS. N.V.S.A., INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL OR ANY OF THE UTILITIES DEPICTED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BY CONTACTING "DIG SAFE" AT (800) 322-4844 PRIOR TO COMMENCEMENT OF CONSTRUCTION.

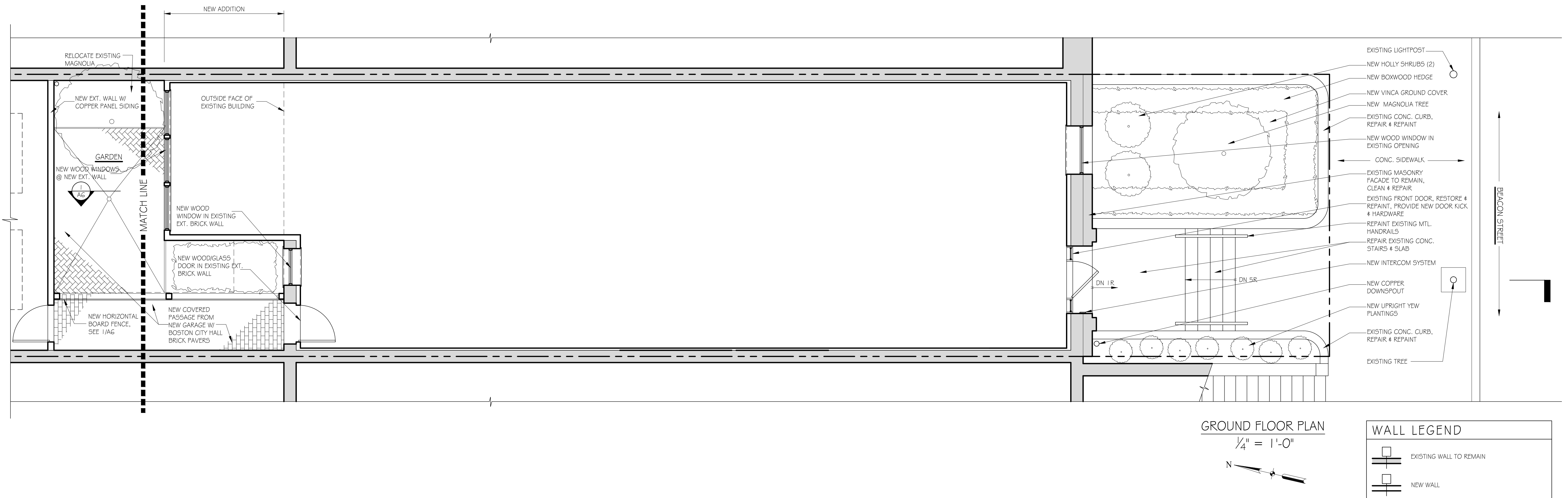
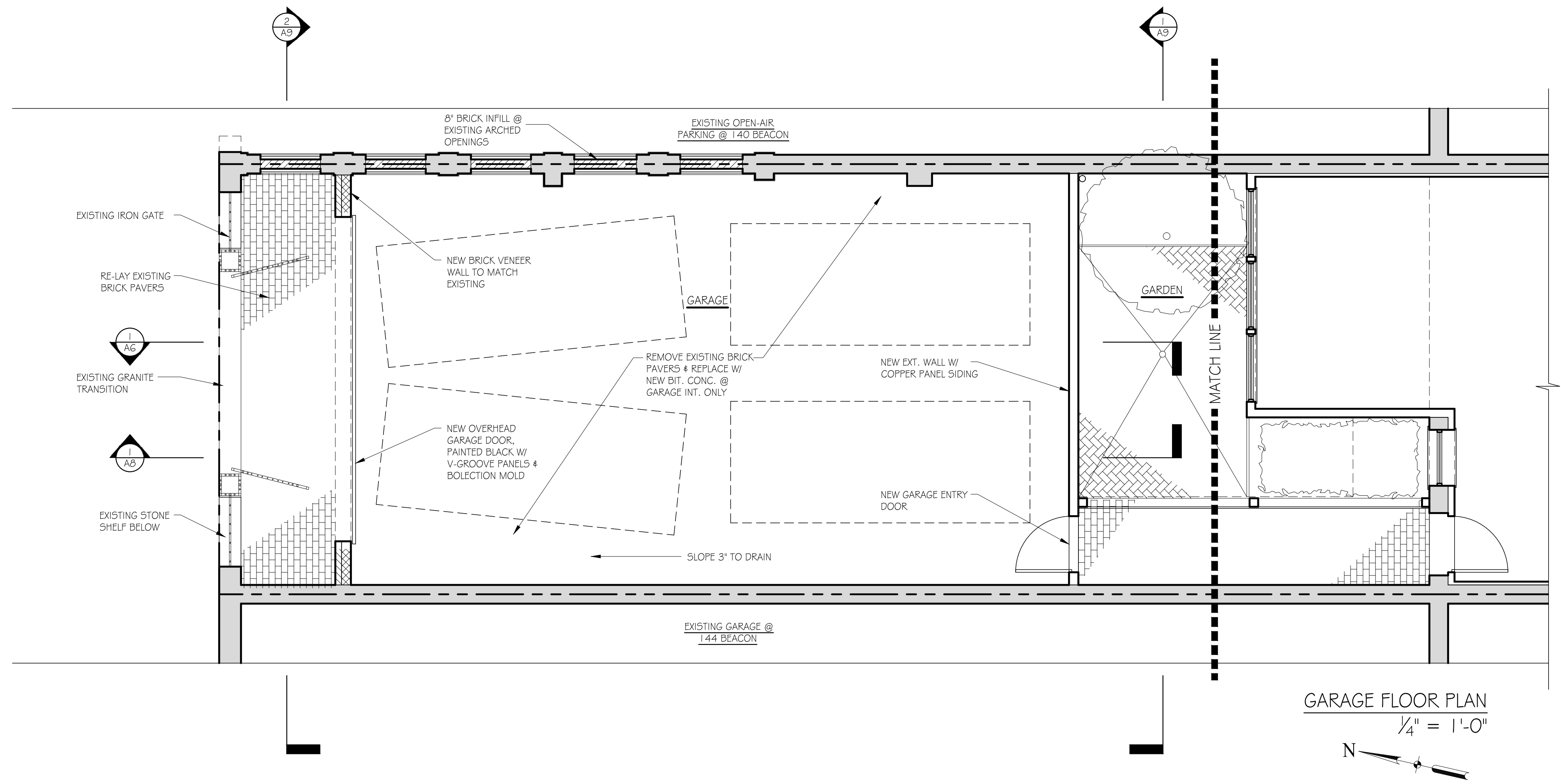
TBM - SMH INV.=5.16 @ STA -1+10.2

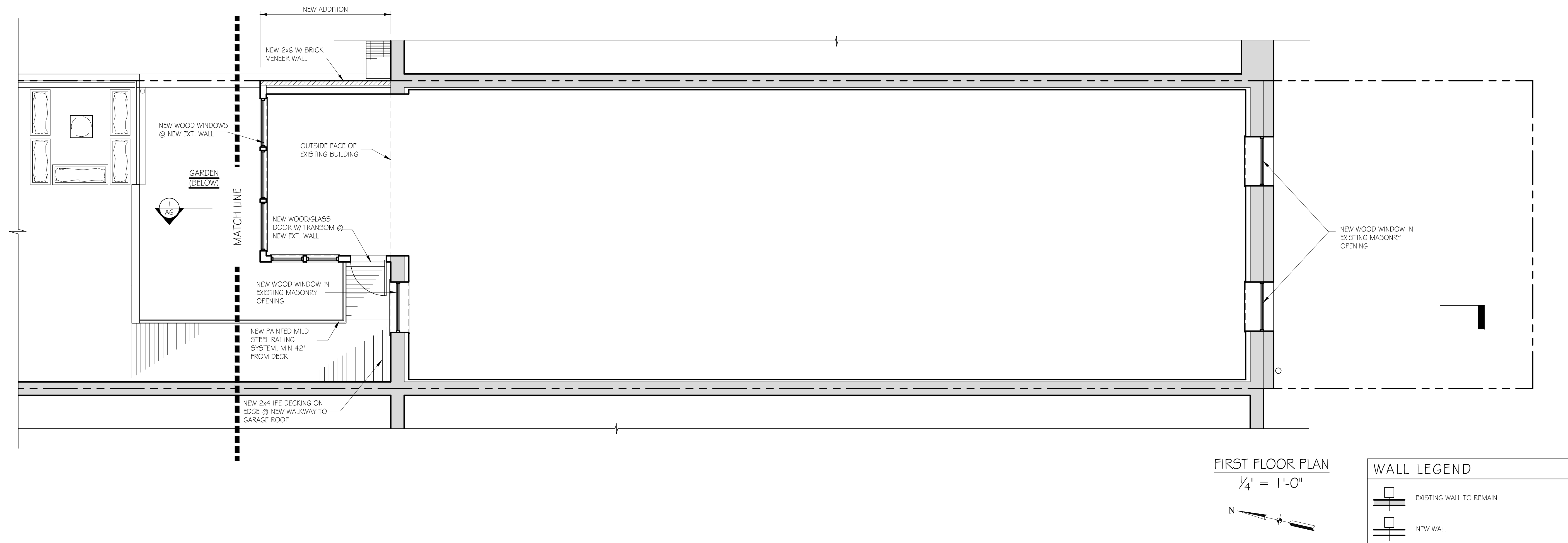
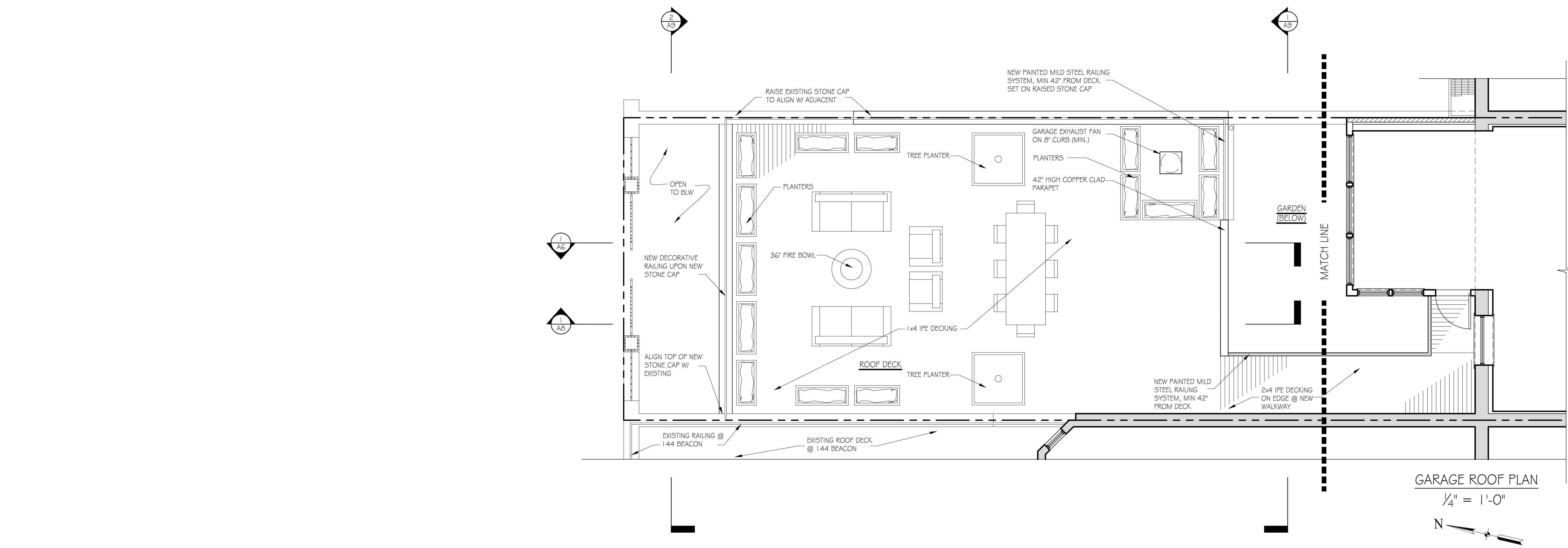
CITY OF BOSTON L-PLAN - L-2950

**LEGEND**

- Water Main Valve
- Water Service/Fire/Hydrant Valve
- Hydrant
- Water Meter
- Drain Manhole
- Catch Basin
- Sewer Manhole







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**GD** GRASSI DESIGN GROUP  
**BG** BEAUCHEMIN GRASSI INTERIORS

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142 BEACON STREET  
 BOSTON, MA 02116

FIRST FLOOR & GARAGE  
 ROOF DECK PLANS

A2



NEW ADDITION

NEW TERMINATION @ EXISTING FIRE BALCONY

REMOVE EXISTING FIRE BALCONY

NEW PAINTED WOOD TRIM @ NEW BAY W/ NEW COPPER DRIP EDGE

NEW PAINTED MILD STEEL RAILING SYSTEM, MIN 42" FROM DECK

NEW WOOD/GLASS DOOR IN EXISTING MODIFIED MASONRY OPENING

ROOF DECK

1x4 IPE DECKING

NEW WOOD WINDOW IN EXISTING MASONRY OPENING

REMOVE EXISTING BRICK VENEER, PROVIDE NEW CAST STONE VENEER TO MATCH EXISTING @ GROUND & FIRST FLOOR LEVELS

NEW CONTINUOUS CAST STONE SILL BANDS

NEW WOOD WINDOW IN EXISTING MASONRY OPENING

NEW CAST STONE EXT. WINDOW CASINGS

SECOND FLOOR PLAN  
1/4" = 1'-0"



EXISTING FIRE BALCONY TO REMAIN, REPAIR & REPAINT

NEW WOOD WINDOW IN EXISTING MASONRY OPENING

REMOVE EXISTING BRICK VENEER, PROVIDE NEW CAST STONE VENEER TO MATCH EXISTING @ GROUND & FIRST FLOOR LEVELS

NEW CONTINUOUS CAST STONE SILL BANDS

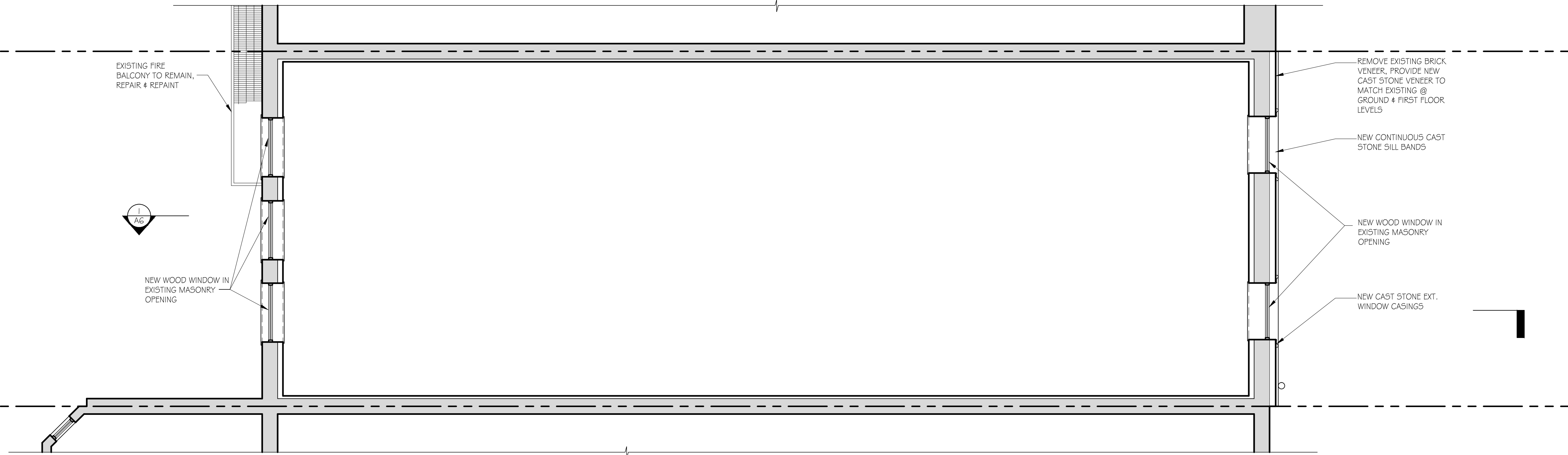
NEW WOOD WINDOW IN EXISTING MASONRY OPENING

NEW CAST STONE EXT. WINDOW CASINGS

THIRD FLOOR PLAN  
1/4" = 1'-0"

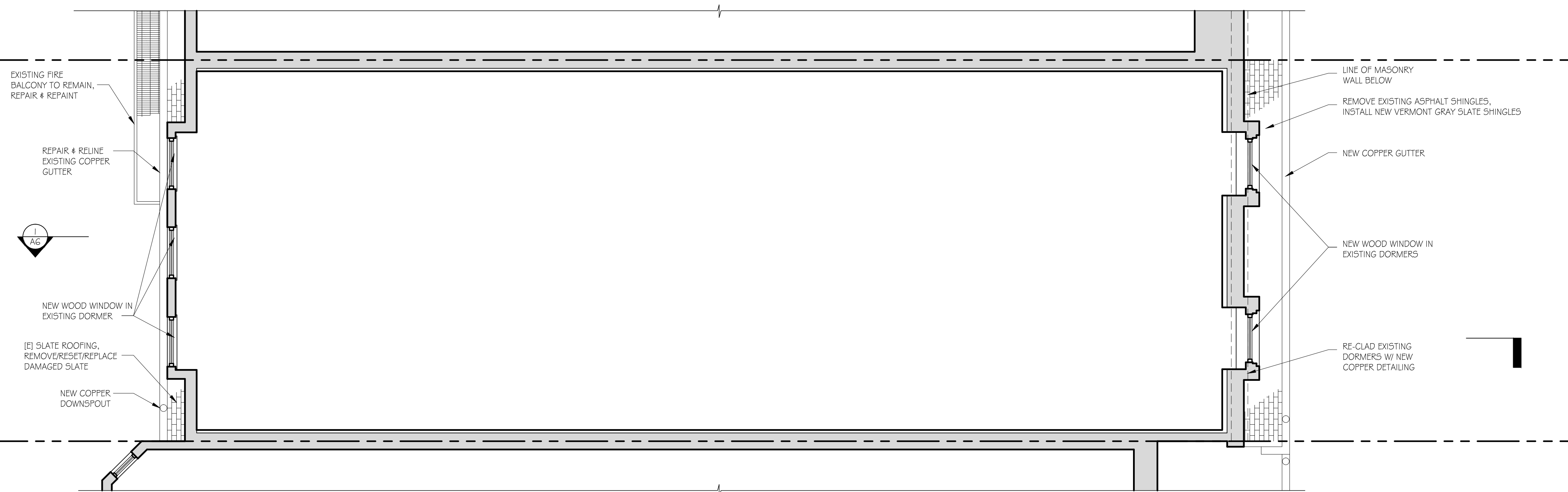
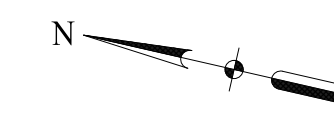


WALL LEGEND	
	EXISTING WALL TO REMAIN - SEE WALL TYPE SCHEDULE ON A5
	NEW WALL - REFER TO WALL TYPE SCHEDULE ON A5



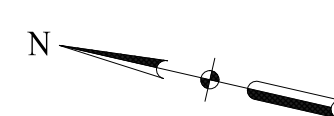
FOURTH FLOOR PLAN

1/4" = 1'-0"

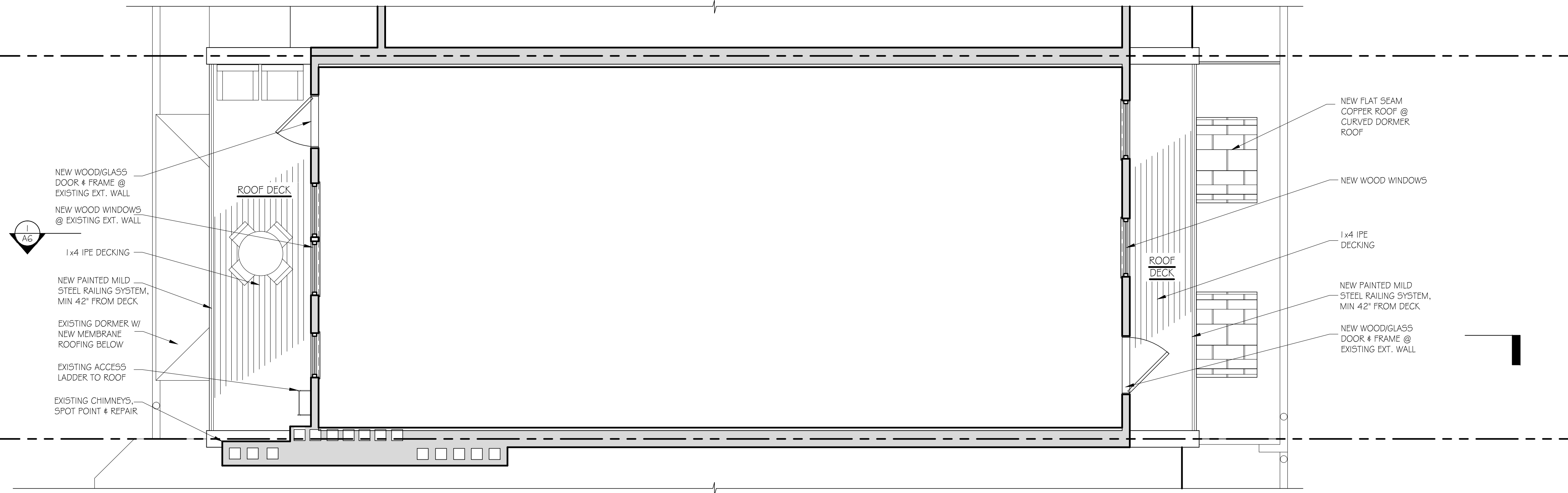


FIFTH FLOOR PLAN

1/4" = 1'-0"

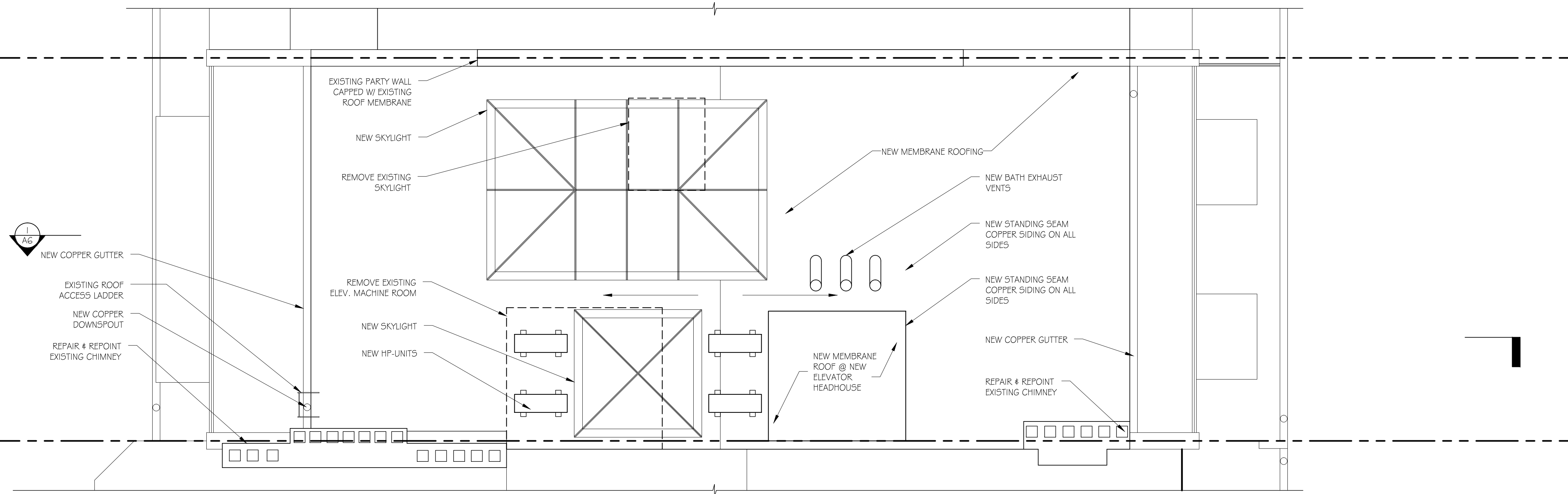
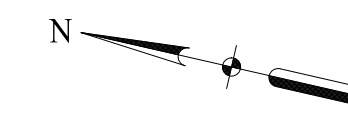


WALL LEGEND	
	EXISTING WALL TO REMAIN - SEE WALL TYPE SCHEDULE ON A5
	NEW WALL - REFER TO WALL TYPE SCHEDULE ON A5



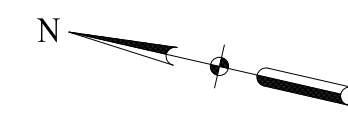
SIXTH FLOOR PLAN

1/4" = 1'-0"



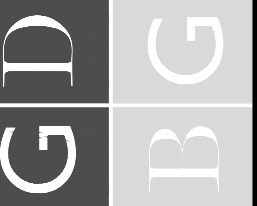
ROOF PLAN

1/4" = 1'-0"

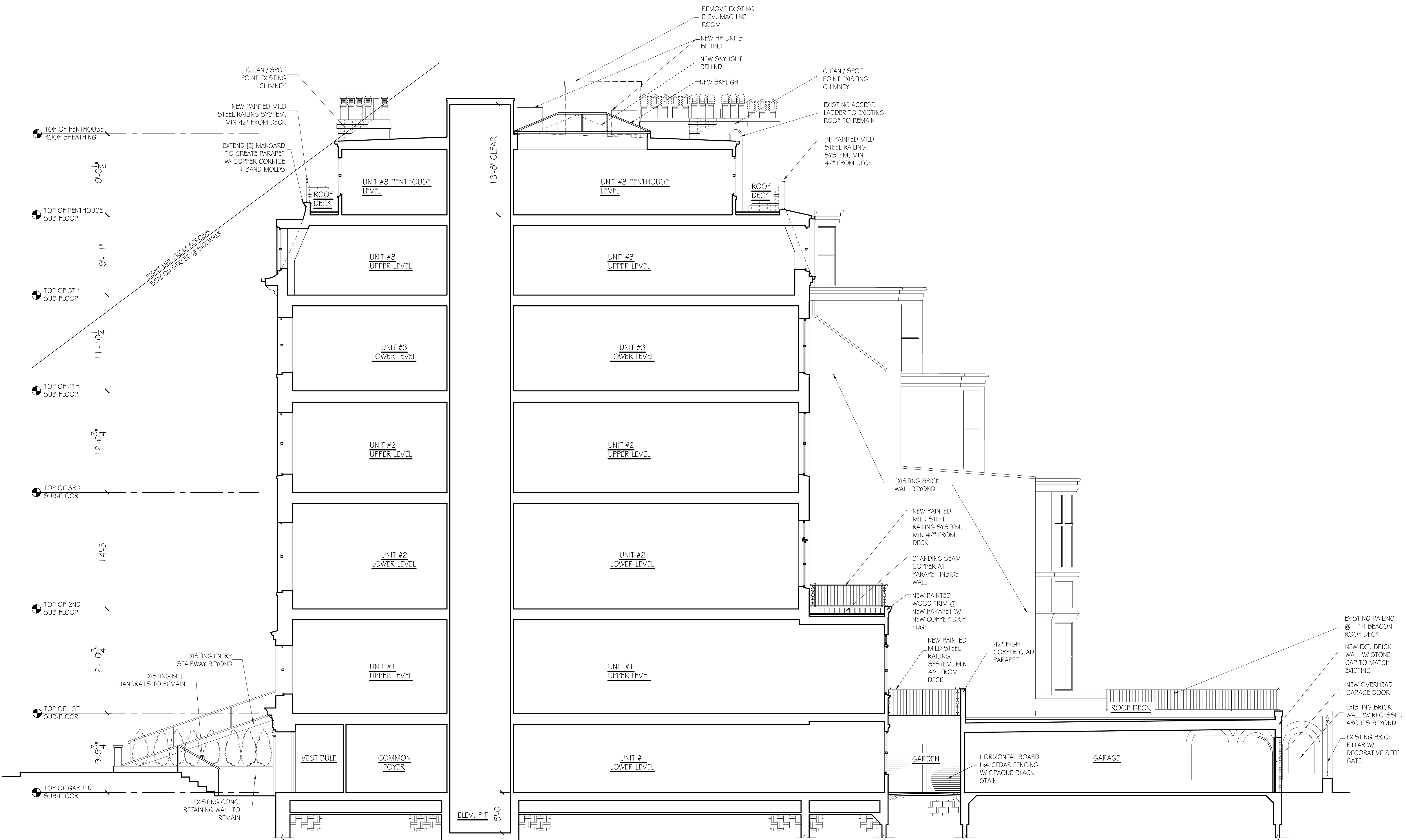


WALL LEGEND

	EXISTING WALL TO REMAIN - SEE WALL TYPE SCHEDULE ON A5
	NEW WALL - REFER TO WALL TYPE SCHEDULE ON A5



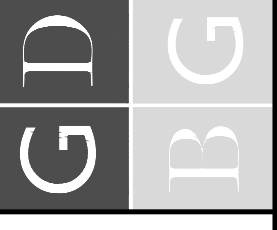
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① BUILDING SECTION  
SCALE:  $\frac{3}{16}'' = 1'-0''$

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BUILDING SECTION



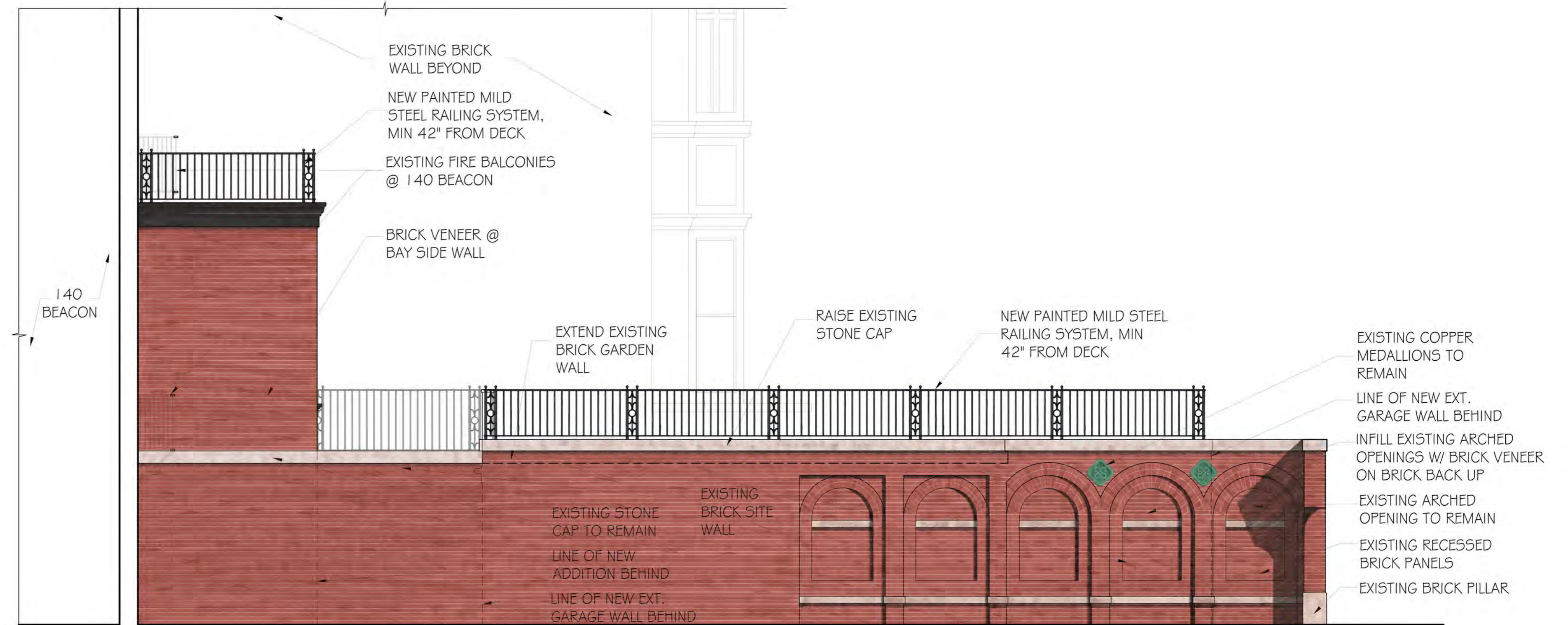
○ REAR ELEVATION  
SCALE:  $\frac{3}{16}'' = 1'-0''$

- REMOVE [E] SKYLIGHT
- REMOVE [E] ELEV. MACHINE ROOM
- [N] ELEVATOR HEADHOUSE, CLAD W/ NEW COPPER PANEL SIDING
- [N] HP-UNITS
- [N] SKYLIGHTS
- [E] CHIMNEYS, REPAIR & SPOT POINT
- [E] ACCESS LADDER TO ROOF TO REMAIN
- REPLACE [E] COPPER DRIP EDGE, GUTTER, & NEW COPPER BAND
- REMOVE [E] PAINTED SIDING, [N] FLAT SEAM COPPER SIDING
- [N] WOOD/GLASS DOOR TO SIMULATE DH WINDOW
- [N] WINDOWS IN EXISTING OPENINGS
- [E] PARTIAL PARTY WALL, PROVIDE NEW COPPER CAP
- [N] PAINTED MILD STEEL RAILING SYSTEM
- REPAIR & RELINE [E] COPPER GUTTER
- CLEAN & REPAIR [E] COPPER PANEL SIDING
- [E] SLATE ROOFING, REMOVE/RESET/REPLACE DAMAGED SLATE
- [N] WINDOWS IN EXISTING OPENINGS
- [E] FIRE BALCONY TO REMAIN
- REPAIR & RELINE [E] COPPER GUTTER
- [E] BRICK CORNICE TO REMAIN
- [E] BRICK TO REMAIN, REPAIR & SPOT POINT
- [N] CAST STONE HEADERS, FINISH TO MATCH STONE AT FRONT
- [N] WOOD DOUBLE HUNG 2/2 FRAME/SASH WINDOWS IN EXISTING OPENINGS W/ RAISED HEADS & [N] BRICK MOLD AND 1/2 SCREENS
- [E] FIRE BALCONY TO REMAIN
- [N] CAST STONE HEADERS, FINISH TO MATCH STONE AT FRONT
- [N] WOOD DOUBLE HUNG 2/2 FRAME/SASH WINDOWS IN EXISTING OPENINGS W/ RAISED HEADS & [N] BRICK MOLD AND 1/2 SCREENS
- [E] FIRE BALCONY TO REMAIN
- [N] CAST STONE HEADERS, FINISH TO MATCH STONE AT FRONT
- [N] FIXED WOOD TRANSOMS
- [N] WOOD DOUBLE HUNG 2/2 FRAME/SASH WINDOWS IN EXISTING OPENINGS W/ RAISED HEADS & [N] BRICK MOLD AND 1/2 SCREENS
- [N] WOOD DOOR, FRAME & TRANSOM TO SIMULATE WINDOWS W/ BRICK MOLD
- DASHED LINE INDICATES PARTIAL REMOVED [E] FIRE BALCONY
- [N] PAINTED MILD STEEL RAILING SYSTEM
- [N] PAINTED WOOD TRIM @ [N] BAY W/ [N] COPPER DRIP EDGE
- [N] PAINTED RECESSED PANEL
- [N] COPPER DOWNSPOUT
- [N] WOOD DOUBLE HUNG 2/2 FRAME/SASH WINDOWS IN [N] WOOD TRIMMED BAY W/ FIXED WOOD TRANSOMS AND 1/2 SCREENS
- [N] WOOD DOUBLE HUNG 2/2 FRAME/SASH WINDOW IN [E] MASONRY OPENING W/ BRICK MOLD AND 1/2 SCREEN
- [N] BRICK VENEER @ ELL SIDE WALL
- [N] PAINTED MILD STEEL RAILING SYSTEM
- [N] WALKWAY TO NEW GARAGE ROOF DECK, CLAD W/ COPPER & IPE DECKING
- [N] WOOD/GLASS ENTRY DOOR IN [N] MASONRY OPENING
- [N] 6'-0" HIGH WOOD FENCE
- [N] WOOD DOUBLE HUNG 2/2 FRAME/SASH WINDOWS IN [N] WOOD TRIMMED BAY W/ 1/2 SCREENS
- [N] WOOD DOUBLE HUNG 2/2 FRAME/SASH WINDOW IN [N] MASONRY OPENING W/ BRICK MOLD AND 1/2 SCREEN
- [E] BRICK GARDEN WALLS

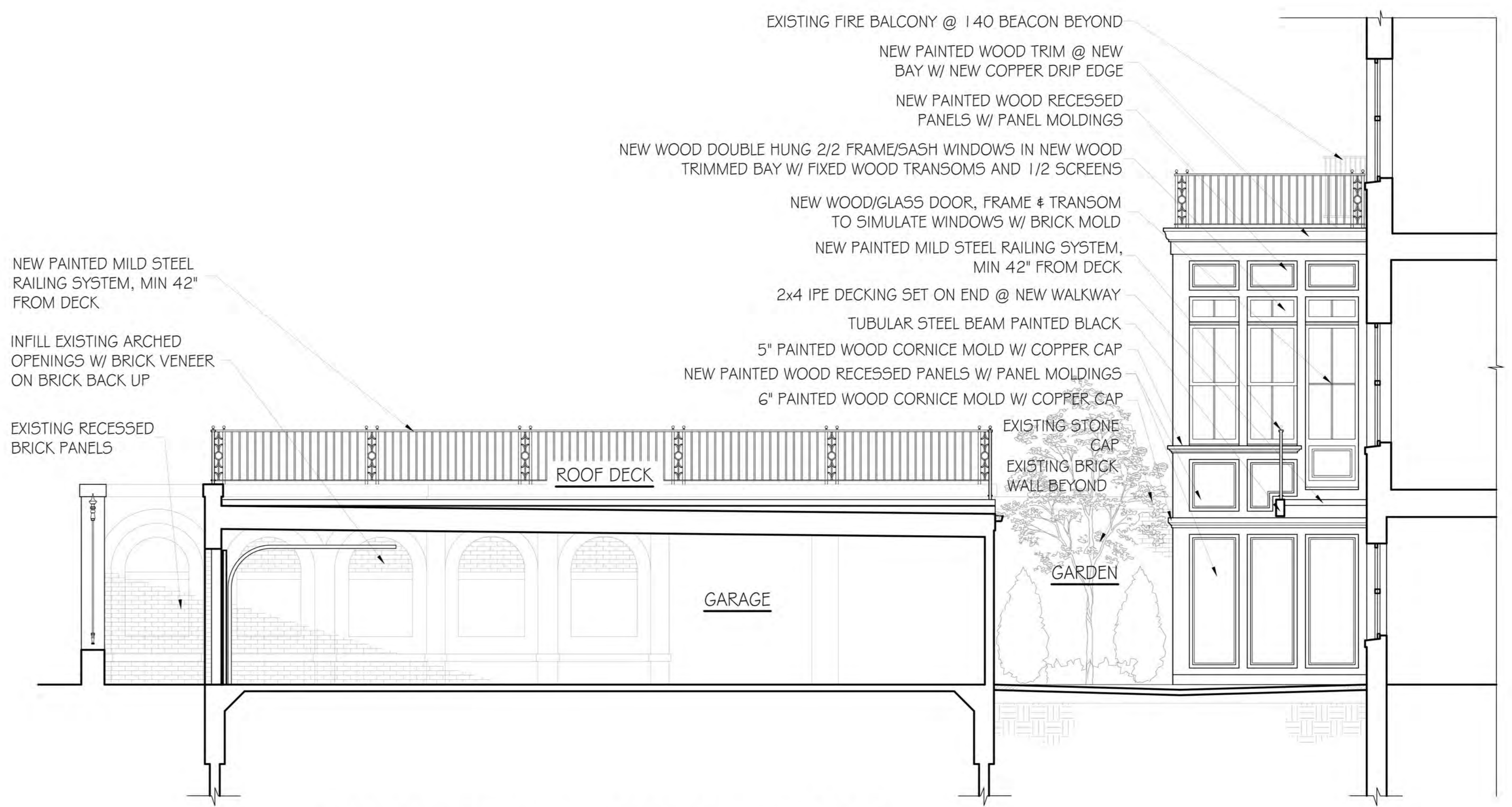


○ FRONT ELEVATION  
SCALE:  $\frac{3}{16}'' = 1'-0''$

- [N] SKYLIGHT
- [N] BATH EXHAUST VENTS
- [E] CHIMNEYS, REPAIR & SPOT POINT
- REPLACE [E] COPPER DRIP EDGE, GUTTER, & NEW COPPER BAND
- [N] FLAT SEAM COPPER SIDING
- [N] WOOD DOUBLE HUNG SASH/FRAME W/ 1/2 SCREENS & 4" COPPER CASING
- REPLACE [E] COPPER CLADDING @ PARTY WALL
- [N] PAINTED MILD STEEL RAILING SYSTEM, MIN 42" FROM DECK
- EXTEND [E] MANSARD TO CREATE PARAPET W/ COPPER CORNICE & BAND MOLDS
- REMOVE [E] ASPHALT SHINGLES, INSTALL NEW VERMONT GRAY SLATE SHINGLES
- [N] PAINTED WOOD TRIM DETAILS & FLAT SEAM COPPER ROOFING @ [E] ARCHED DORMERS
- REPLACE [E] COPPER DRIP EDGE & GUTTER
- [E] WOOD BRACKETS & FASCIA TO REMAIN, REPAIR & REPAINT
- [E] MASONRY BAND TO REMAIN
- [N] CAST STONE WINDOW CASINGS
- [N] WOOD DOUBLE HUNG 1/1 FRAME/SASH WINDOWS IN [E] MASONRY OPENINGS W/ RAISED HEADS & [N] BRICK MOLD AND 1/2 SCREENS
- [N] CONTINUOUS CAST STONE SILL BANDS
- [N] COPPER DOWNSPOUT
- [N] CAST STONE WINDOW CASINGS
- [N] WOOD DOUBLE HUNG 1/1 FRAME/SASH WINDOWS IN [E] MASONRY OPENINGS W/ RAISED HEADS & [N] BRICK MOLD AND 1/2 SCREENS
- [N] CONTINUOUS CAST STONE SILL BANDS
- [N] CAST STONE WINDOW CASINGS & ARCHITRAVES
- [N] WOOD DOUBLE HUNG 1/1 FRAME/SASH WINDOWS IN [E] MASONRY OPENINGS W/ RAISED HEADS & [N] BRICK MOLD AND 1/2 SCREENS
- [N] CONTINUOUS CAST STONE SILL BANDS
- REMOVE [E] BRICK VENEER, PROVIDE [N] CAST STONE VENEER TO MATCH EXISTING
- [E] MASONRY DETAILS TO REMAIN
- [N] WOOD DOUBLE HUNG 1/1 FRAME/SASH WINDOW IN [E] MASONRY OPENING W/ BRICK MOLD AND 1/2 SCREEN
- [E] MASONRY FACADE TO REMAIN
- [E] DECORATIVE IRON RAILING TO REMAIN
- [E] MASONRY DETAILS @ EXISTING ENTRY TO REMAIN
- [N] WOOD DOUBLE HUNG 1/1 FRAME/SASH WINDOW IN [E] MASONRY OPENING W/ BRICK MOLD AND 1/2 SCREEN
- [N] EXT. WALL SCONCES
- [N] INTERCOM SYSTEM
- [E] CONC. SITE CURBS TO REMAIN
- [E] FRONT DOOR, RESTORE & REPAINT, PROVIDE NEW DOOR KICK & HARDWARE

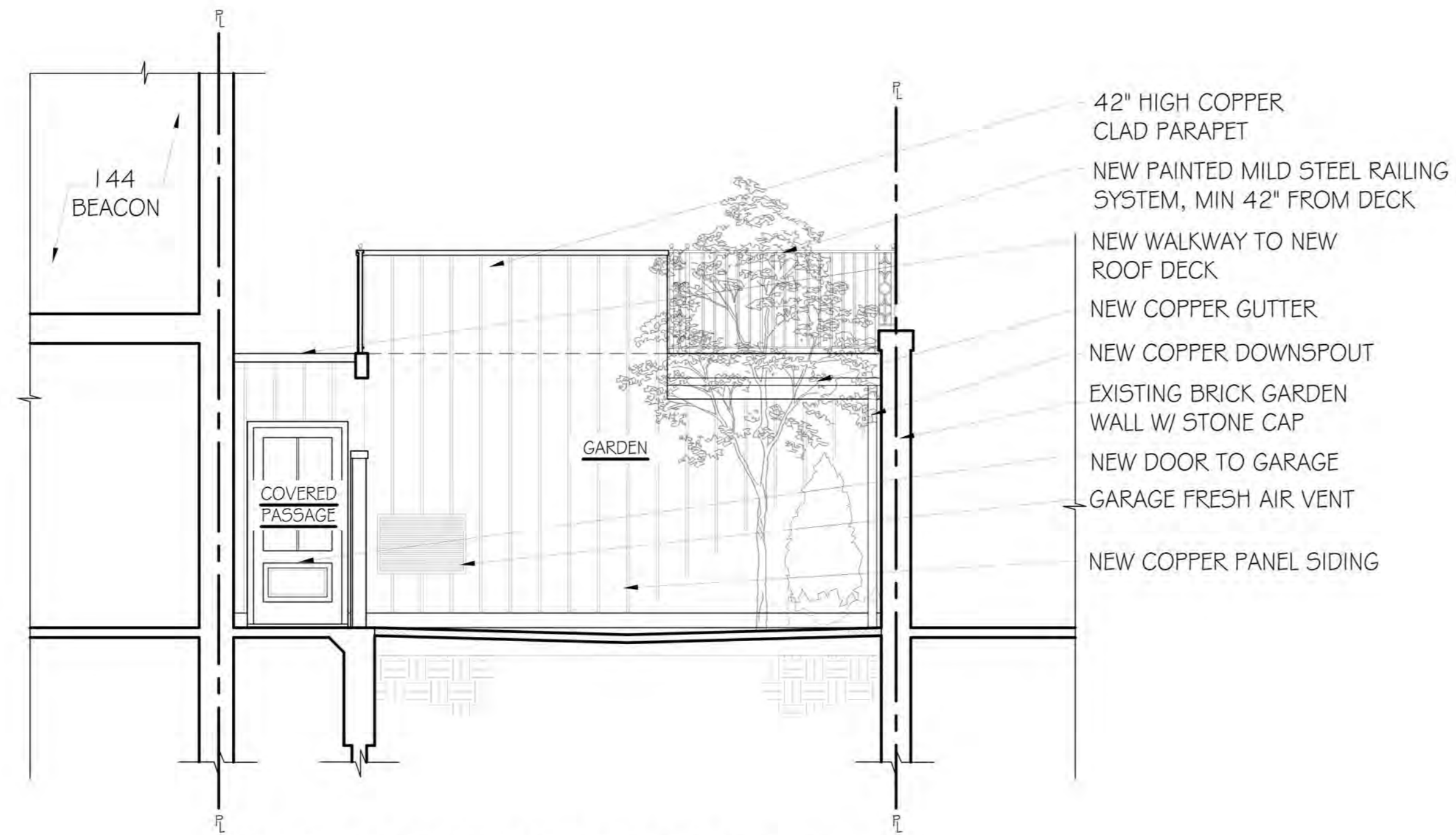


**EAST GARAGE ELEVATION**  
SCALE:  $\frac{1}{4}'' = 1'-0''$



**BUILDING SECTION @ GARAGE LOOKING EAST**  
SCALE:  $\frac{1}{4}'' = 1'-0''$

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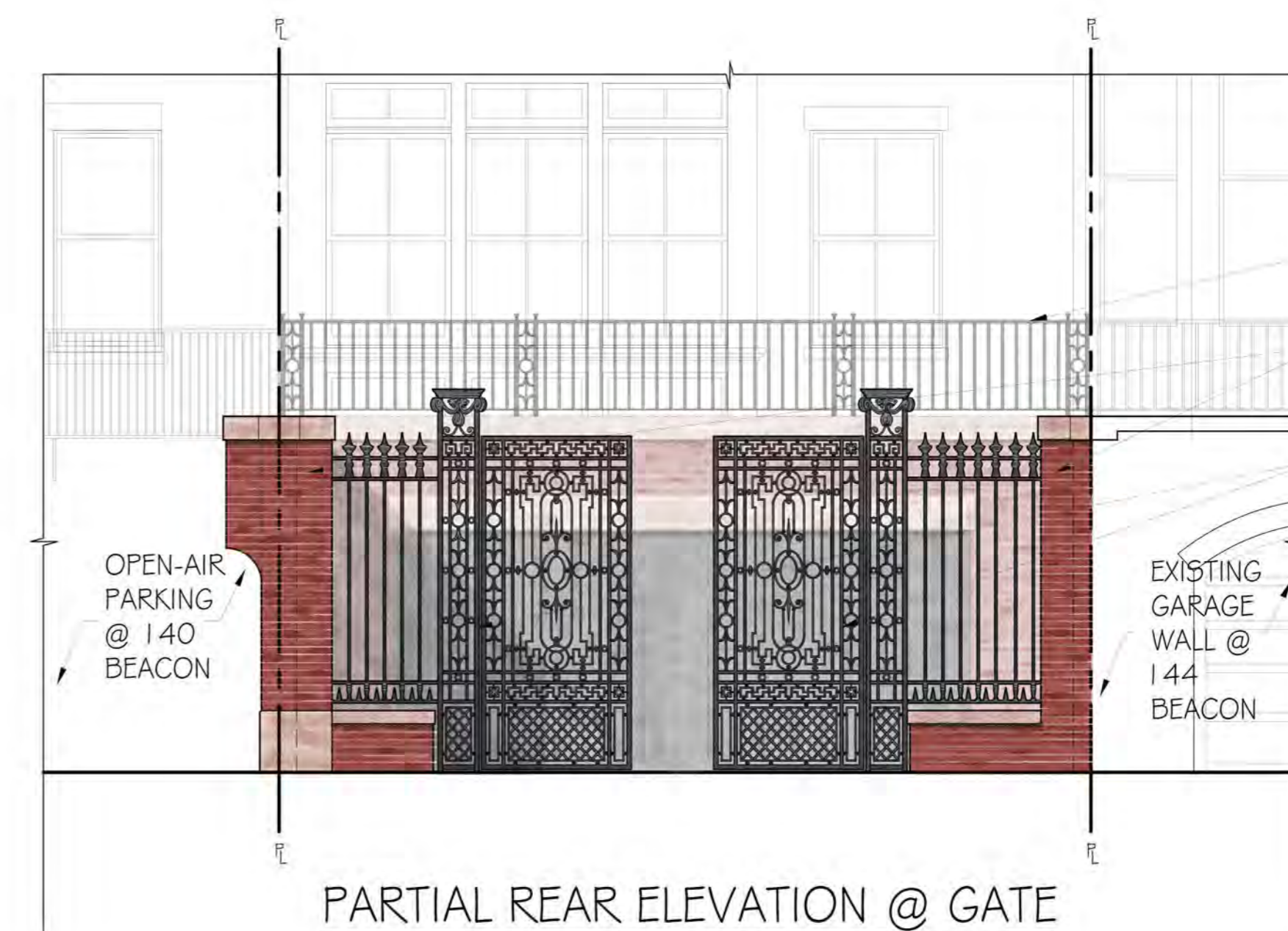
① GARDEN SECTION @ LOOKING NORTH  
SCALE: 1/4" = 1'-0"

- 42" HIGH COPPER CLAD PARAPET
- NEW PAINTED MILD STEEL RAILING SYSTEM, MIN 42" FROM DECK
- NEW WALKWAY TO NEW ROOF DECK
- NEW COPPER GUTTER
- NEW COPPER DOWNSPOUT
- EXISTING BRICK GARDEN WALL W/ STONE CAP
- NEW DOOR TO GARAGE
- GARAGE FRESH AIR VENT
- NEW COPPER PANEL SIDING



② PARTIAL REAR ELEVATION @ GARAGE  
SCALE: 1/4" = 1'-0"

- NEW PAINTED MILD STEEL RAILING SYSTEM, MIN 42" FROM DECK
- NEW CAST STONE CAP TO MATCH EXISTING
- NEW CAST STONE CAP ABOVE NEW GARAGE DOOR
- NEW EXT. BRICK WALL
- NEW EXT. SCONCES
- NEW CUSTOM WOOD CLAD OVERHEAD GARAGE DOOR, PAINTED BLACK W/ V-GROOVE RECESSED PANELS AND BOLECTION MOLD & FALSE POST @ CENTER



PARTIAL REAR ELEVATION @ GATE  
SCALE: 1/4" = 1'-0"

- NEW PAINTED MILD STEEL RAILING SYSTEM, MIN 42" FROM DECK
- EXISTING BRICK PILLARS W/ STONE CAPS
- EXISTING DECORATIVE IRON GATE TO REMAIN, REPAIR & REPAINT

ROOF MOCK-UPS @ 142 BEACON

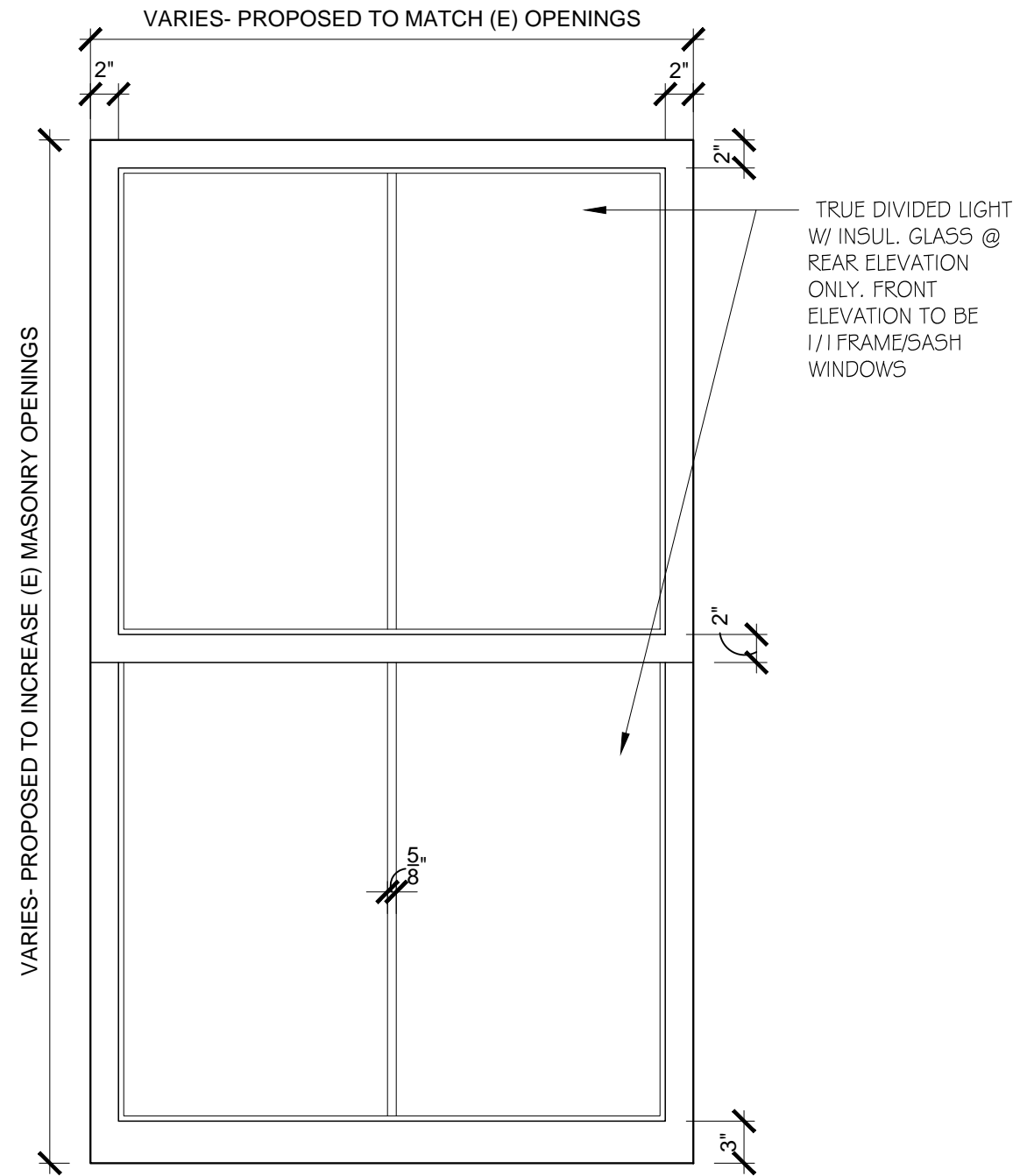
HEIGHT OF PROPOSED ELEVATOR HEADHOUSE

HEIGHT OF PROPOSED SKYLIGHT

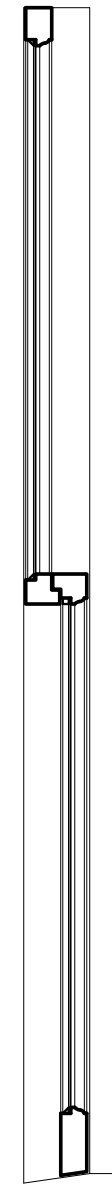
HEIGHT OF PROPOSED HEAT PUMP UNITS



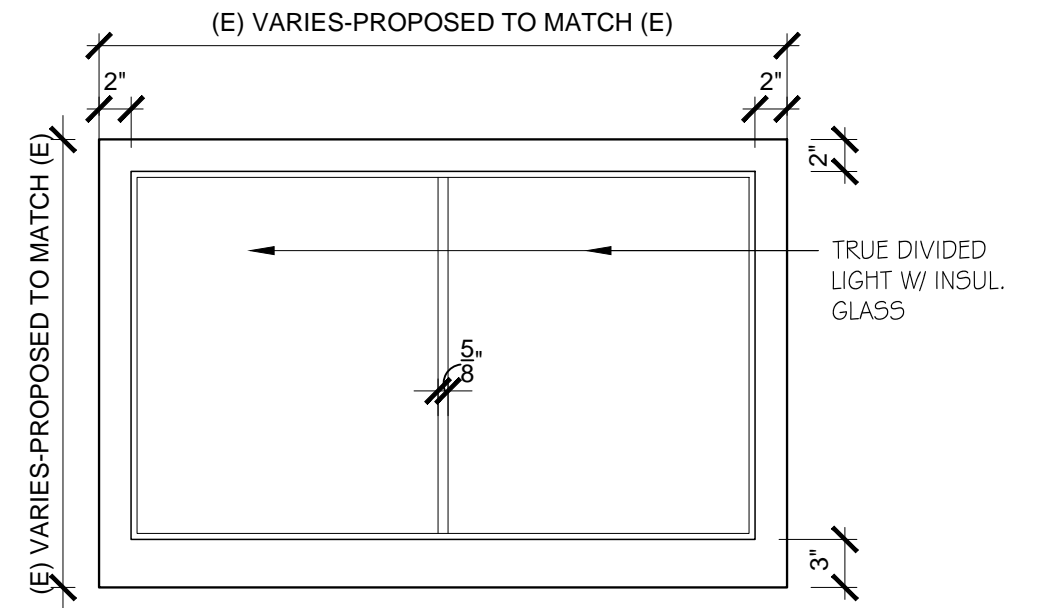




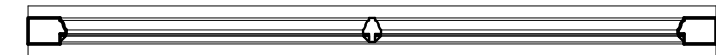
TYPICAL WINDOW ELEVATION



TYPICAL WINDOW SECTION



TRANSOM WINDOW ELEVATION



TRANSOM WINDOW SECTION

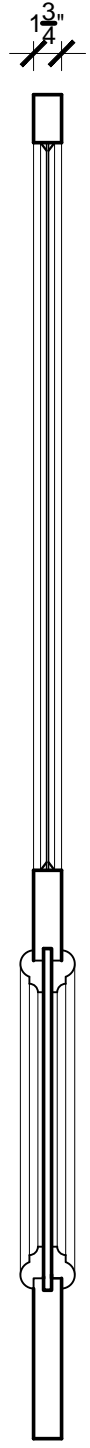
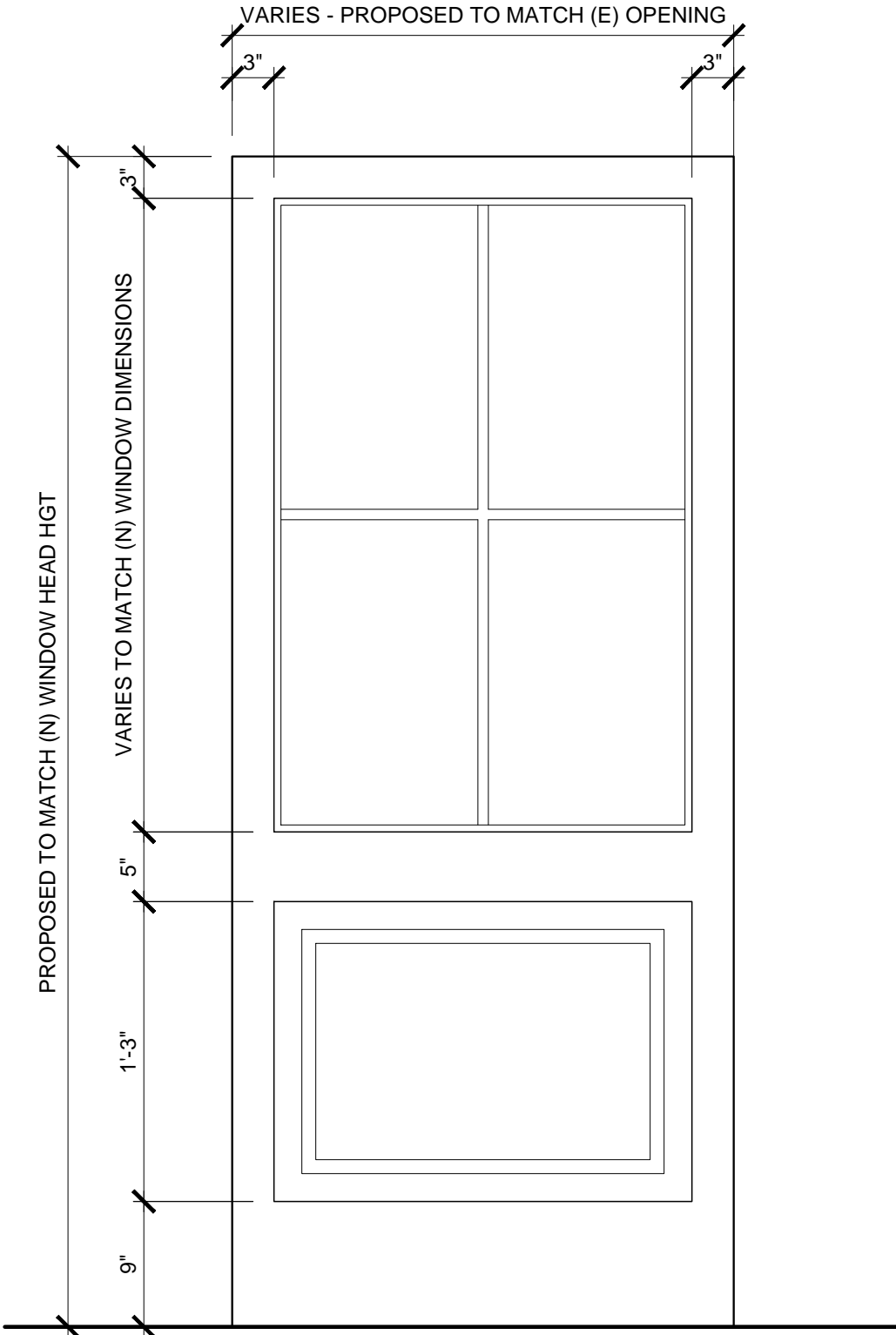
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TYPICAL REPLACEMENT WINDOW SASH/FRAME & TRANSOM WINDOW SASH/FRAME

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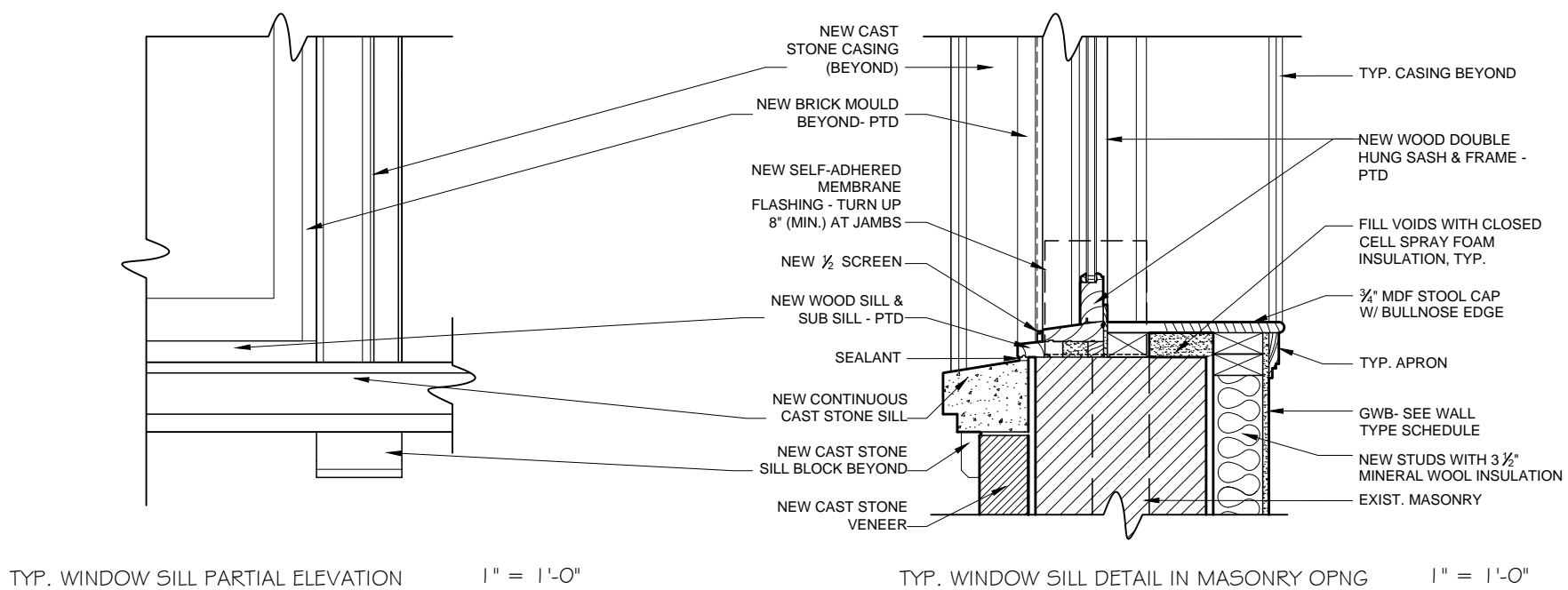
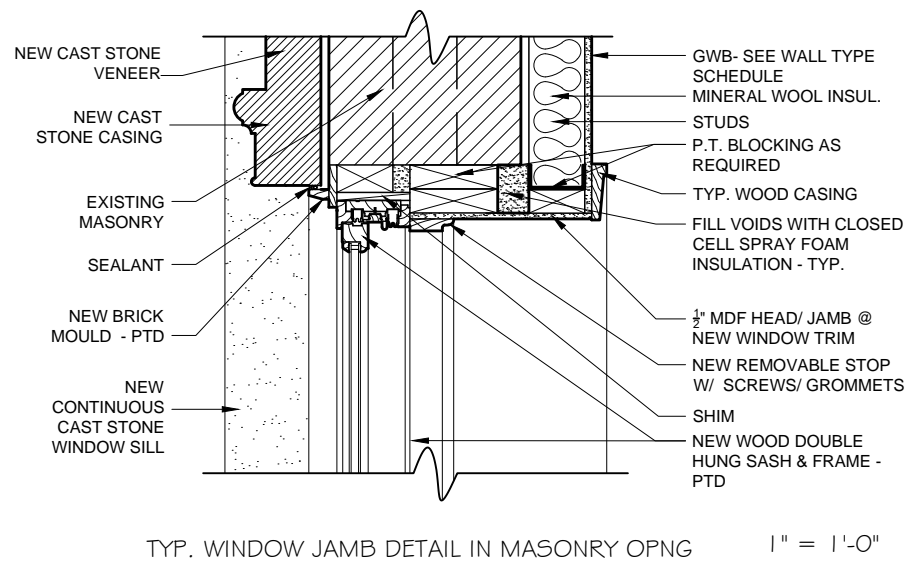
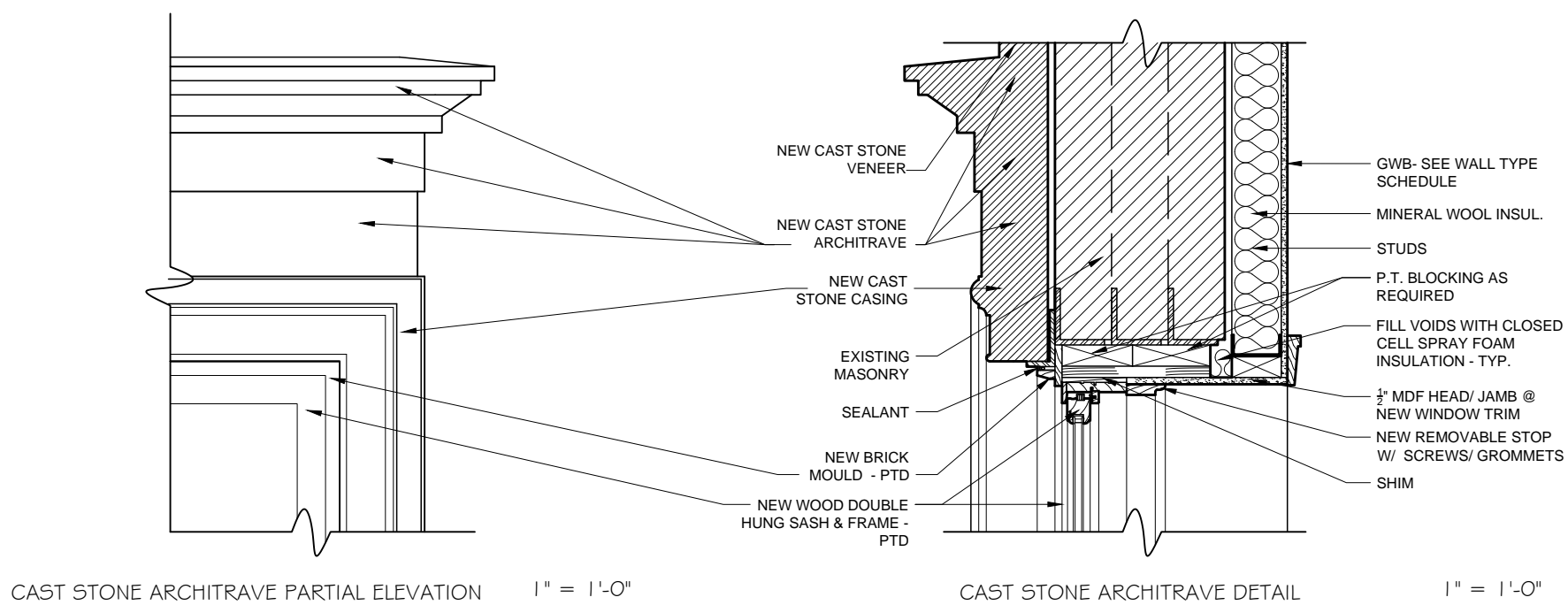
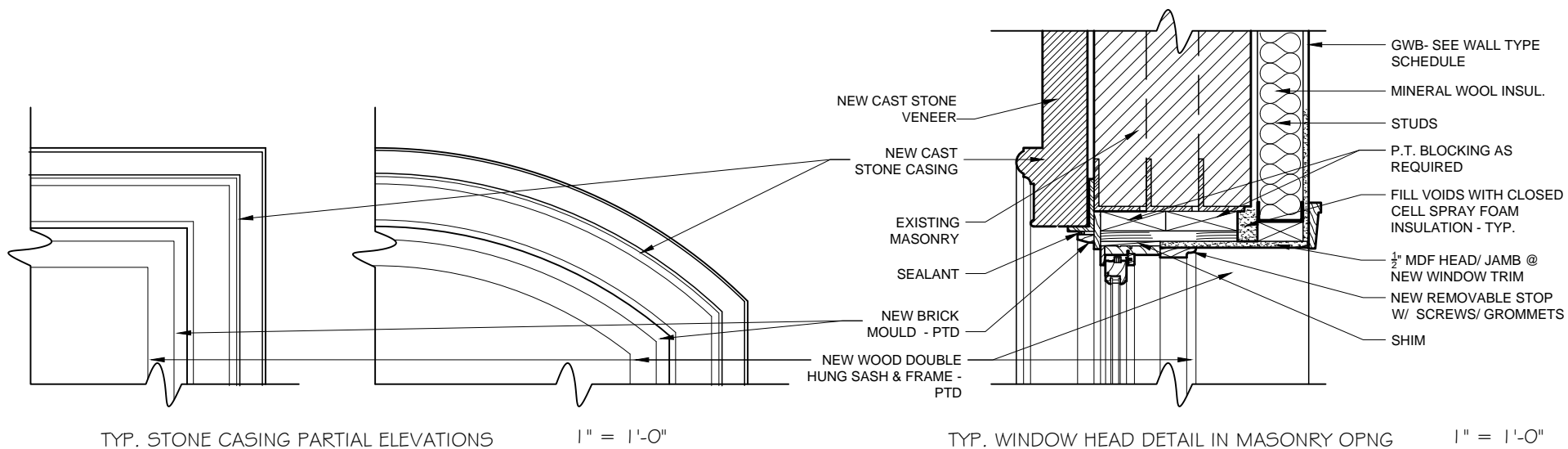


DOOR ELEVATION

DOOR SECTION

DOOR FINISH : PAINTED BLACK

JOB NO:1720	SCALE: 1" = 1'- 0"	DATE: 12.21.17	TYPICAL WOOD/GLASS DOOR ELEVATION & SECTION	<b>2</b>
<b>GID</b>	GRASSI DESIGN GROUP 46 Waltham Street, Suite 3A Boston, MA 02118		<u>142 BEACON ST</u> BOSTON, MA	
	<b>BG</b>	BEAUCHEMIN GRASSI INTERIORS Phone 617-956-9992 Fax 917-956-9993		



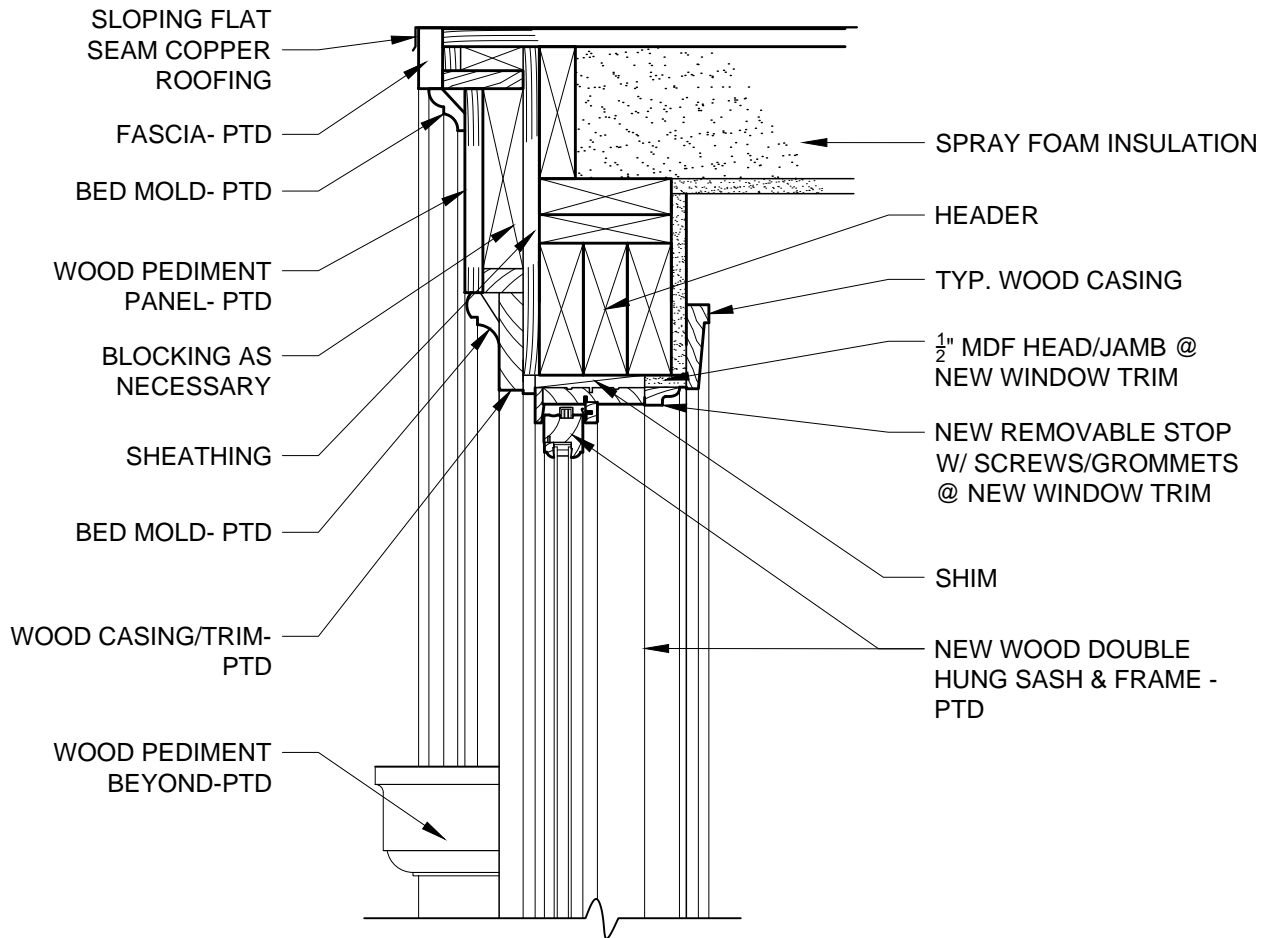
JOB NO:1720 SCALE: 1" = 1'-0" DATE: 12.18.17

TYPICAL WINDOW DETAILS @ FRONT ELEVATION

**G I** GRASSI DESIGN GROUP  
46 Waltham Street, Suite 3A  
Boston, MA 02118  
Phone 617-956-9992  
Fax 917-956-9993

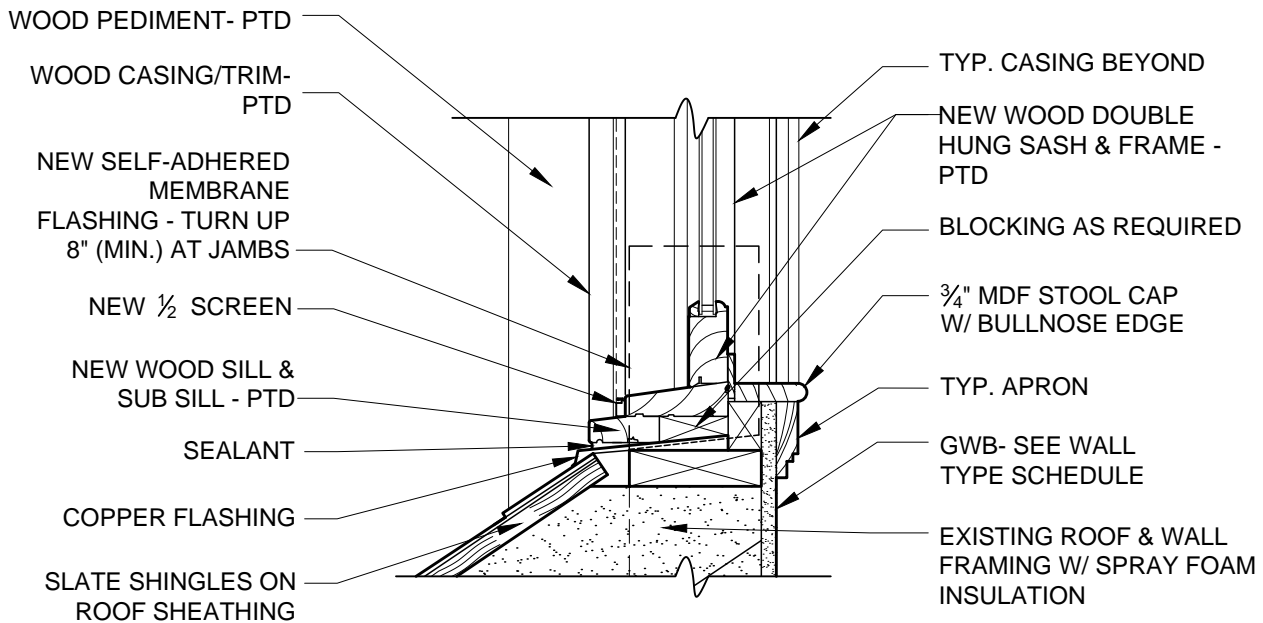
**B G** BEAUCHEMIN GRASSI INTERIORS

142 BEACON ST  
BOSTON, MA




WINDOW HEAD DETAIL @ FRONT DORMERS

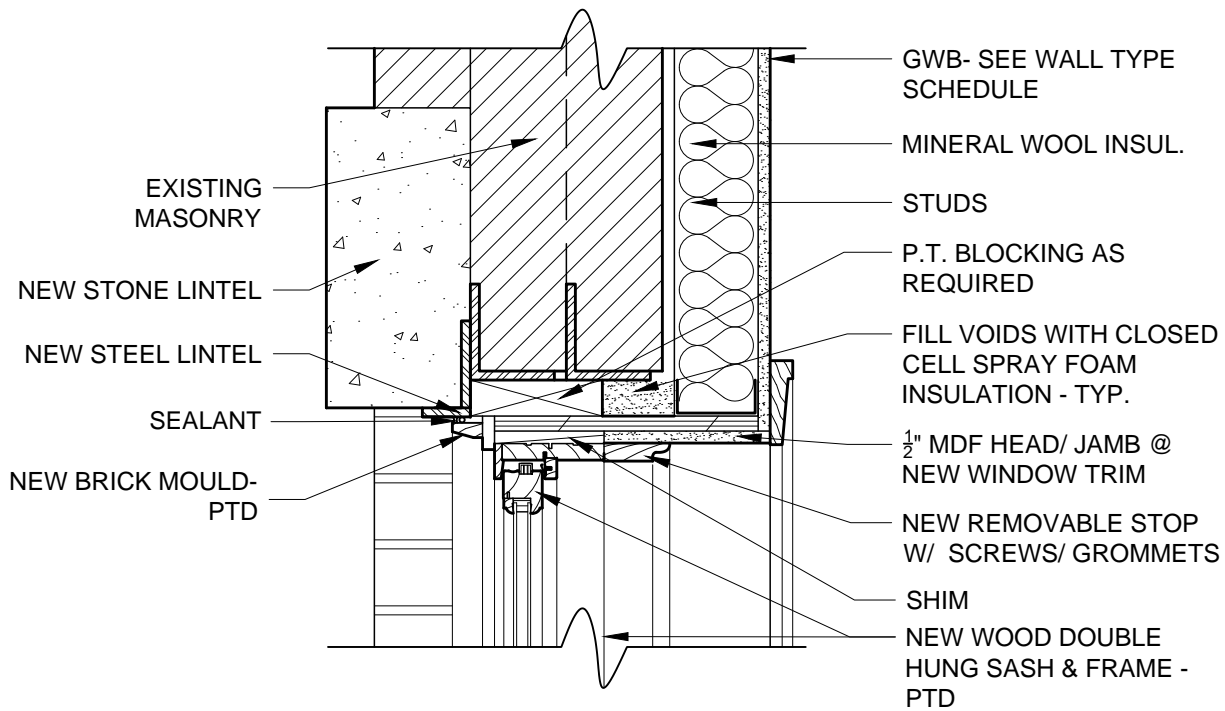
1 1/2" = 1'-0"



WINDOW SILL DETAIL @ FRONT DORMERS

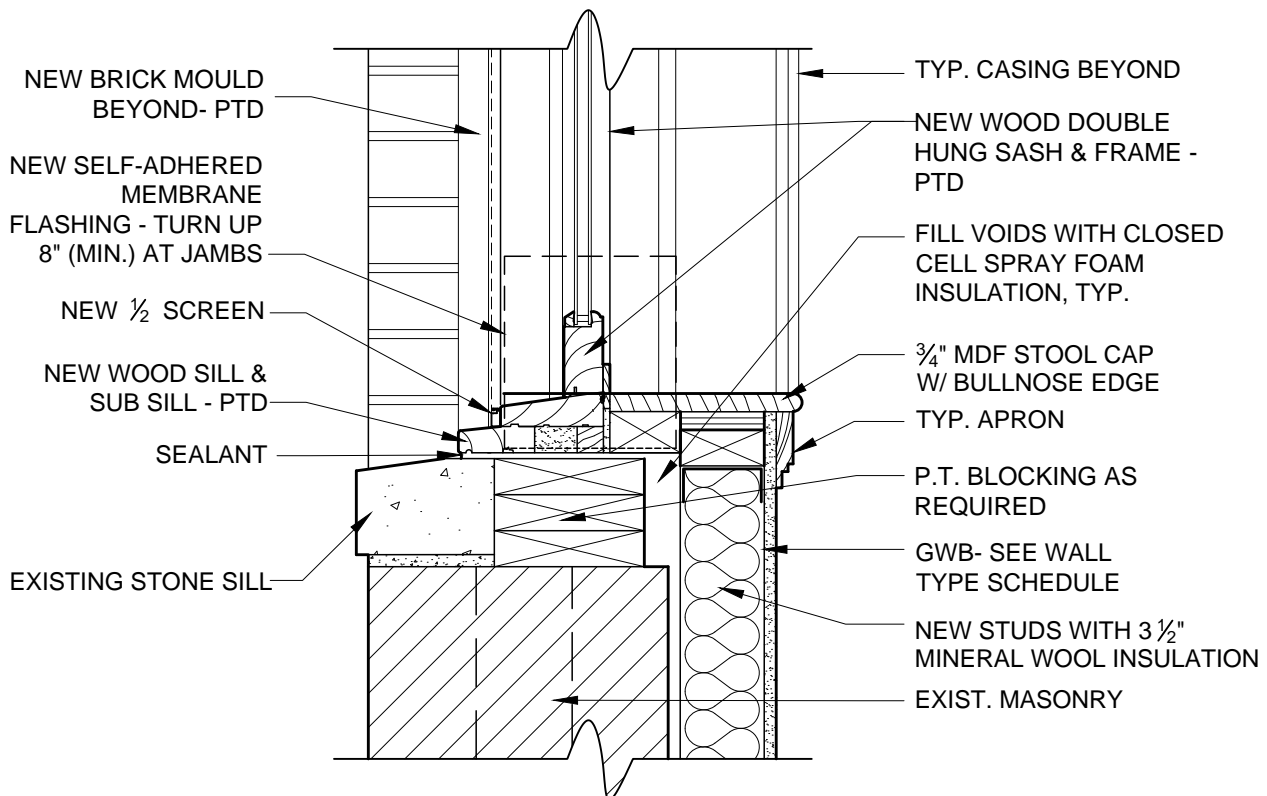
1 1/2" = 1'-0"

JOB NO:1720	SCALE: 1 1/2" = 1'-0"	DATE: 12.21.17	WINDOW HEAD & SILL DETAILS @ FRONT ARCHED DORMERS	4
 GRASSI DESIGN GROUP 46 Waltham Street, Suite 3A Boston, MA 02118 Phone 617-956-9992 Fax 917-956-9993		<u>142 BEACON ST</u> BOSTON, MA		



TYP. WINDOW HEAD DETAIL IN MASONRY OPNG

1 1/2" = 1'-0"



TYP. WINDOW SILL DETAIL IN MASONRY OPNG

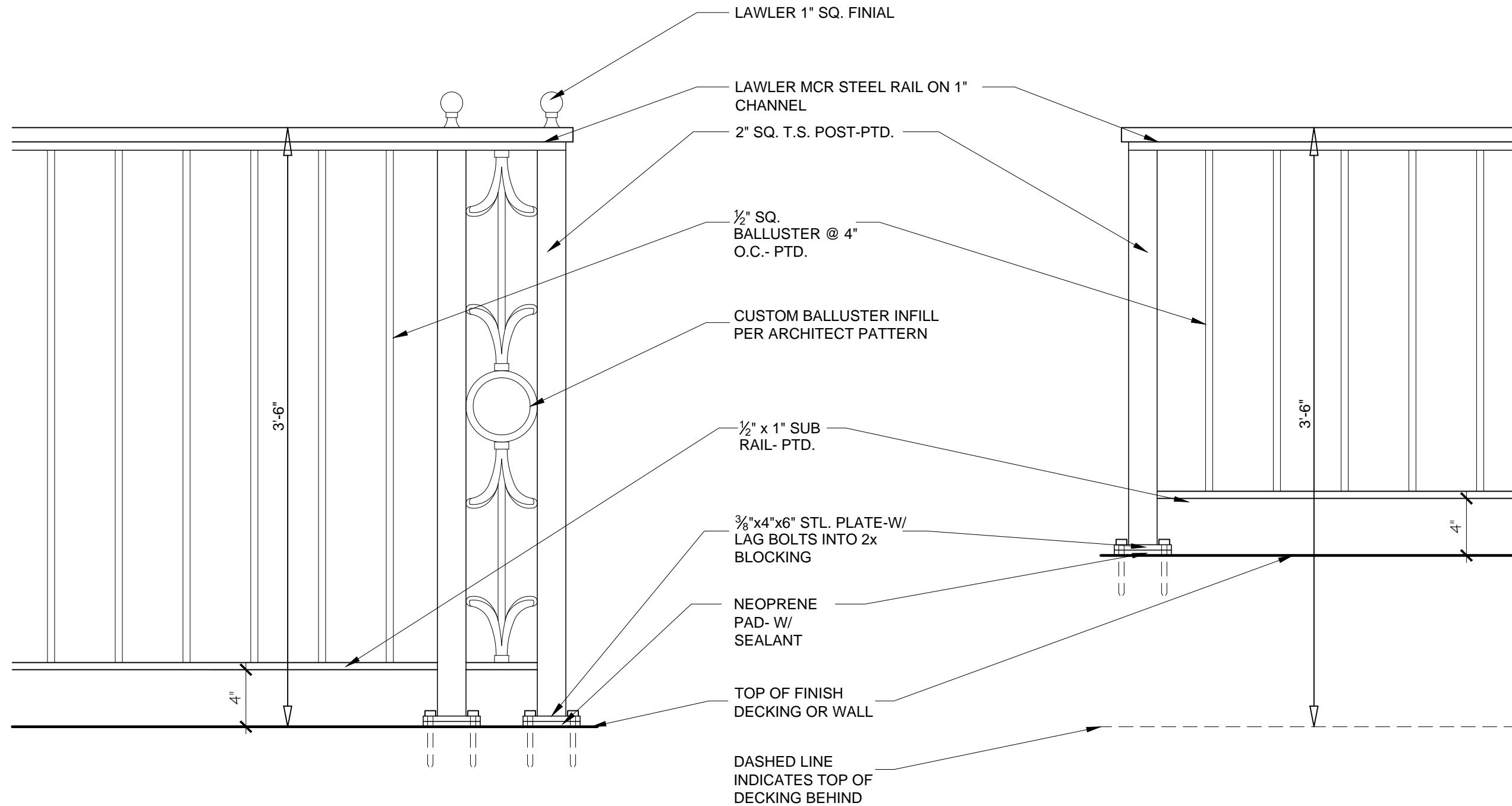
1 1/2" = 1'-0"

JOB NO:1720	SCALE: 1 1/2" = 1'- 0"	DATE: 12.21.17	TYP.WINDOW HEAD & SILL DETAILS @ REAR ELEVATION
-------------	---------------------------	----------------	--

**GD** GRASSI DESIGN GROUP  
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Boston, MA 02118  
Phone 617-956-9992  
Fax 917-956-9993

**BG** BEAUCHEMIN GRASSI INTERIORS

142 BEACON ST  
BOSTON, MA



TYPICAL RAILING @ REAR ELEVATION

PENTHOUSE RAILING @ FRONT ELEVATION

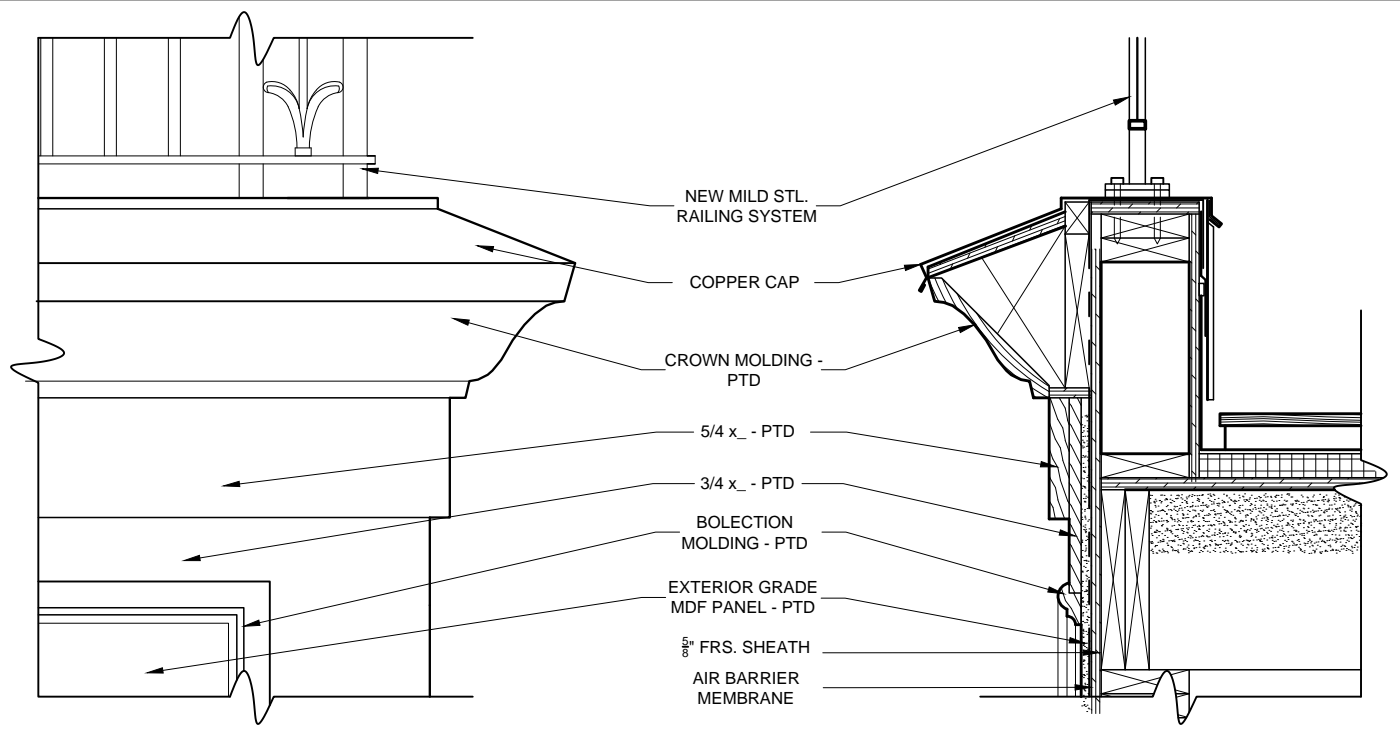
JOB NO:1720    SCALE: 1 1/2" = 1'-0"    DATE: 12.21.17

PROPOSED EXTERIOR RAILING SYSTEMS ELEVATIONS

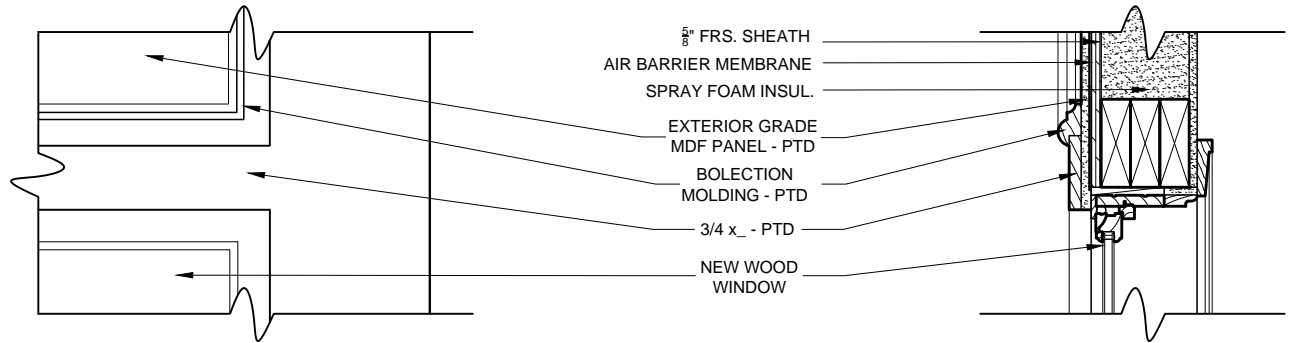
**G | D** GRASSI DESIGN GROUP    46 Waltham Street, Suite 3A  
 Boston, MA 02118  
 Phone 617-956-9992  
**B | G** BEAUCHEMIN GRASSI INTERIORS    Fax 917-956-9993

142 BEACON ST  
 BOSTON, MA

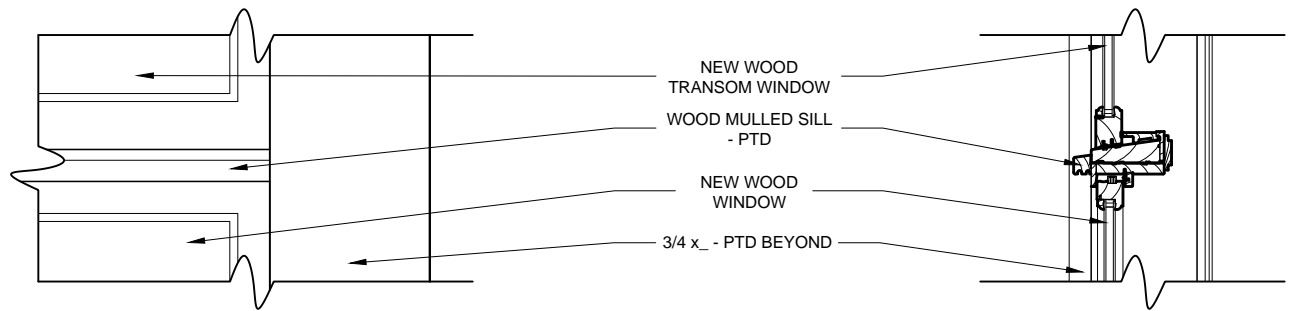
SECTION / ELEVATION @ PARAPET & WOOD PANEL  
1" = 1'-0"



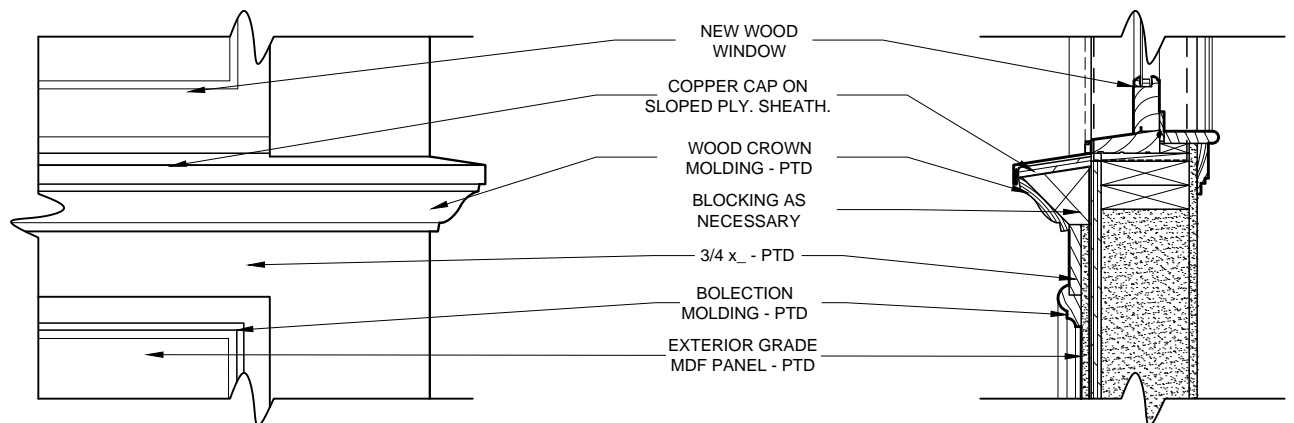
SECTION / ELEVATION @ WOOD PANEL & WOOD WINDOW HEAD  
1" = 1'-0"



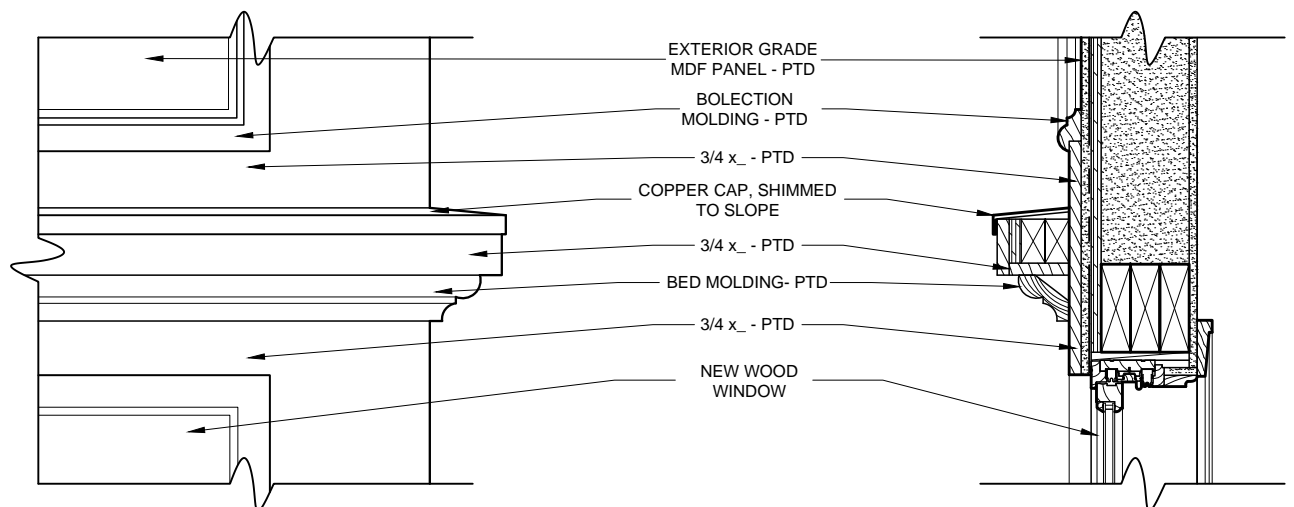
SECTION / ELEVATION @ MULLED WOOD TRANSOM & WINDOW  
1" = 1'-0"



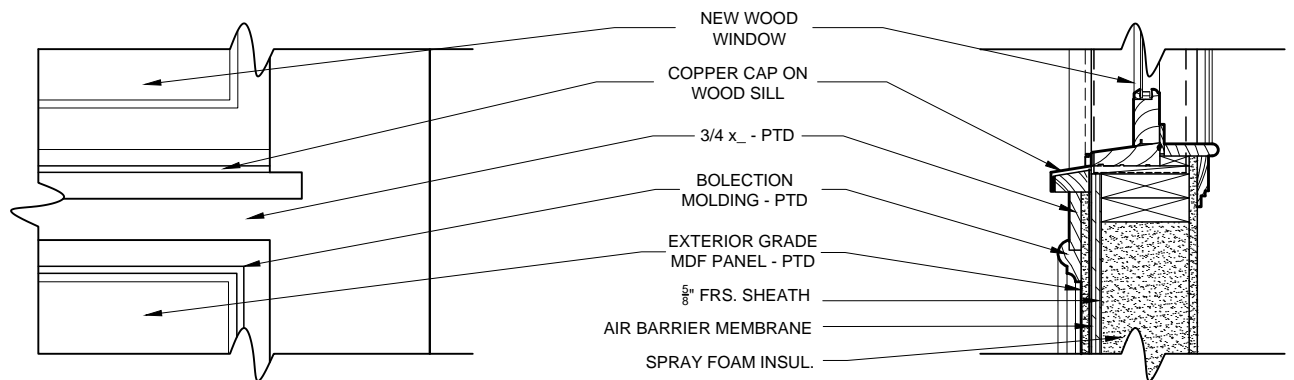
SECTION / ELEVATION @ WOOD WINDOW SILL & WOOD PANEL  
1" = 1'-0"



SECTION / ELEVATION @ WOOD PANEL & WOOD WINDOW HEAD  
1" = 1'-0"



SECTION / ELEVATION @ WOOD WINDOW SILL & WOOD WINDOW HEAD  
1" = 1'-0"



*The Lawler Line*®



### Product Information

**Item No.:** 7-X  
1" Sq. Finial

**Dimensions:**  
**Height:** 2.25 in.  
1" ball Plug 1" x 3/4" deep

**Weight:**  
0.31 lb.



[<< Back to Search](#)





## V1996 Kickplates

V-PAC

8" x 34", Brass

Stock # N244-079

Finish:



Selected: Brass

Size:

6" x 30"

8" x 34"

\*Not all sizes are available in all finishes.

[+ ADD TO PROJECT LIST](#)

[WHERE TO BUY »](#)

### Product Overview

- Plate is easy to install
- Plastic cover protects finish during installation
- Includes fasteners
- Aluminum material
- Anodized surface for extra durability



#### Home Designs

A variety of knobs, pulls, cabinet catches and hinges designed to add the final detail to any kitchen or bathroom.

### Package Specifications

V-PAC	
Stock #	N244-079
Catalog #	V1996
Material	Aluminum
UPC	038613244078
Quantity Per Package	1
Quantity Per Box	2 PK

### Documents



Technical Drawing



IMAGE Line Art

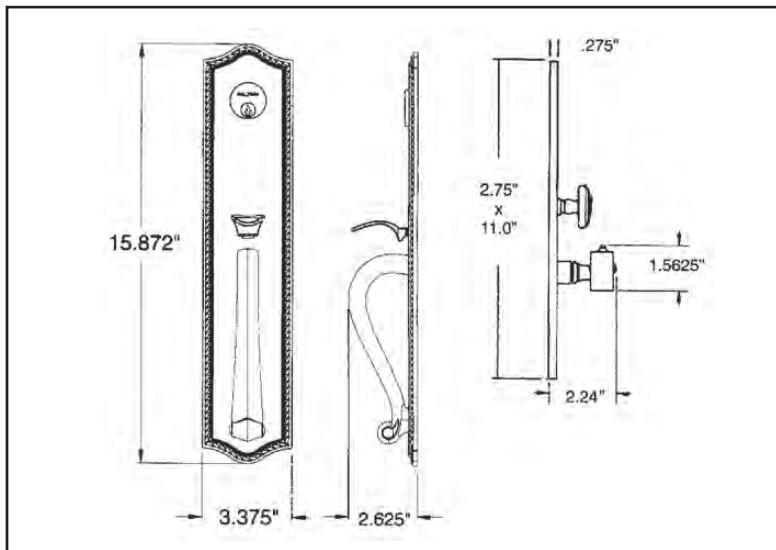
### Related Products

[Main Entry Door Kick Plate](#)

# BALDWIN®

## 6963 - BRISTOL ESTATE HANDLESET

### SPECIFICATIONS

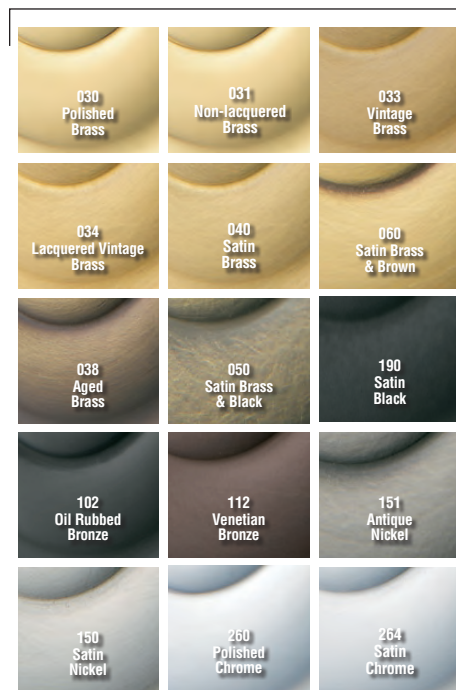


- > Accessibility Code (ADA) A117.1 for all levers.
- > Certified by Underwriters Laboratories (UL) for use on fire doors up to three-hour rating
- > U L10C / UBC 7-2 (1997) Positive Pressure Rated, UL10B Pressure Rated
- > Material: Solid Forged Brass

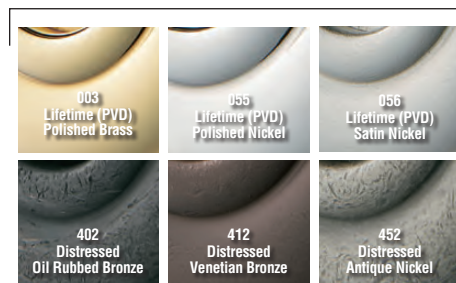
SHOWN WITH LEVER 5104



### TIER 1 FINISHES



### TIER 2 FINISHES



# Kingsman Fire Bowl

Item#: 3580628 [f](#) [p](#) [g](#) [t](#) [e](#) [v](#)

[Overview](#) [Specs](#) [Warranty](#) [Q&A](#) [Reviews](#)

The Kingsman Fire Bowl is crafted from hand cast concrete, a beautiful low-maintenance material that provides incredible strength and durability. The textured black or smooth grey finish is beautiful and will blend with any outdoor decor.



### Features:

- Dimensions: 30" D x 14" H
- Cast concrete construction
- Can be set on wood deck or patio
- Ultimate in design, engineering and quality

This Kingsman Fire Bowl includes leg extensions, filler strip, key way valve and lava rock. The fire pit burner that is included has been tested with the burner to use lava rock media at 65,000 BTUs.



Owner's Manual

**CERTIFIED SPECIALISTS** **WOODLAND DIFFERENCE** **SHIPPING INFORMATION**

Special Order | Ships Within: 3 to 4 Weeks  
FREE Shipping - Freight

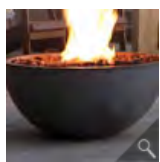
Starting At: \$1,712.70



Rating: 5 out of 5

Qty:  [Add To Cart](#)

## Build Your Kingsman Fire Bowl



### Required

#### Select your Fire Bowl Finish Color

- Fire Bowl is constructed of cast concrete
- Choose between black or grey

Item #: 358FPColor

Price: \$0.00

\*Select Finish



### Required

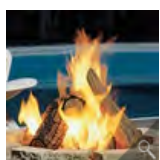
#### Select Fuel Type

- Select fuel type
- Unit can use natural gas or propane

Item #: 358FuelType

Price: \$0.00

\*Select Your Fuel Type:



### Option

#### Kingsman Fire Pit Log Set

- Add these logs to your fire bowl
- 4-piece log set
- Cast oak construction/design

Item #: 3580633

Price: \$191.70

[Add Item](#)



### Option

#### Kingsman Fire Pit Bowl Cover - Charcoal

- Protect your outdoor fire pit from the elements
- Fits a 30" fire bowl
- Designed for Kingsman fire pit bowl

Item #: 3580626

Price: \$175.50

[Add Item](#)

[Garage Roof Deck Fire Bowl](#)



## AX-DV, AX-DVF Video Door Stations for AX Series



### DESCRIPTION:

The AX-DV is a surface mount color video door station for the AX Series. The AX-DVF is a flush mount color video door station. Both units wire directly to the AX Central Exchange Unit using CAT-5e wire with an RJ45 jack for connection.

The AX-DV has an aluminum die cast cover. The AX-DVF has a stainless steel faceplate. Both units include a camera, microphone, speaker, and call button. Tamper resistant screws are provided for mounting.

When the call button on the door station is pushed, the master station(s) ring and the video monitor comes on with the image from the door station's camera. The master station user then pushes the "TALK" button to initiate communication. The person at the door station speaks hands-free.

The AX door stations can be located up to 980' from the AX CEU and wired with CAT-5e cable. Additional equipment is available to interface with third party hardware for transmission over fiber optic cable or an IP network.

### FEATURES:

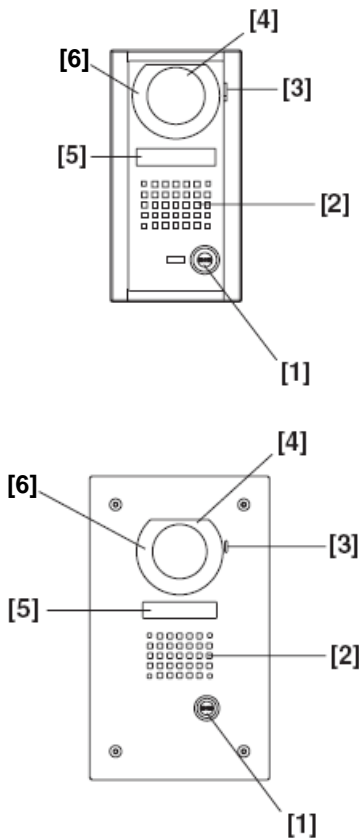
- Color video camera with audio intercom
- 2-way hands-free voice communication with AX master station
- Call button to initiate call to master(s)
- White LED illuminator for low light conditions
- RJ45 jack for easy CAT-5e connection
- Surface (AX-DV) or flush mount (AX-DVF) styles available
- 980' wiring distance from CEU on CAT-5e cable

**Covered with a Brass finish housing box**

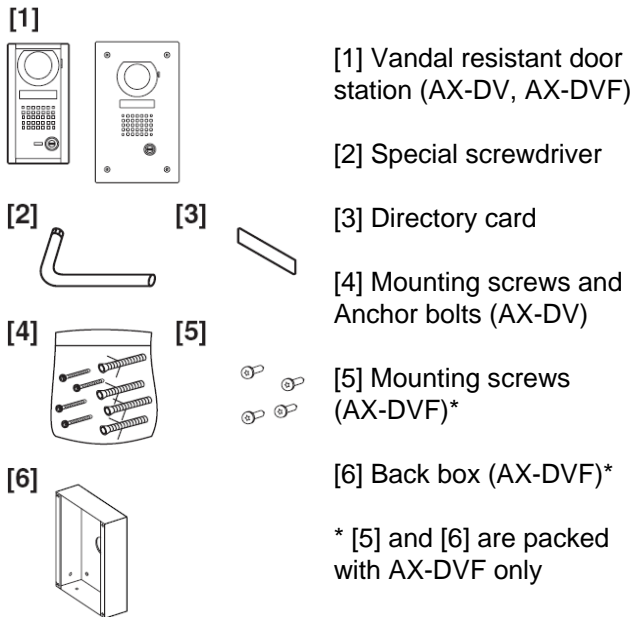
# AX-DV, AX-DVF

## Video Door Stations for AX Series

### FEATURE CALL-OUTS:



### PACKAGE CONTENTS:



### FEATURE CALL-OUT DEFINITIONS:

- [1] Call Button
- [2] Speaker
- [3] Microphone
- [4] Camera
- [5] Directory Card
- [6] White LED illuminators

### SPECIFICATIONS:

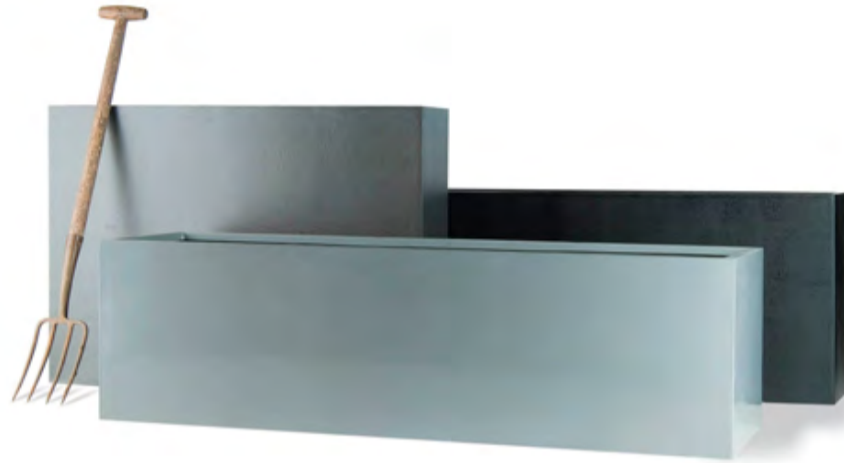
Power Source:	24V DC Supplied from CEU
Wiring connection:	RJ45 jack (CAT-5e)
Communication:	Hands-free communication (auto-voice actuated or PTT) controlled by master station
Camera:	¼" color CCD camera
Pixels:	250,000 Pixels
Minimum illumination:	5 Lux
Operating temp:	14 – 140° F (-10 ~ 60° C)
Mounting:	
AX-DV	Surface wall mount
AX-DVF	Flush mount (with provided box)
Housing:	
AX-DV	Front Panel: Aluminum die cast Main Unit: Resins
AX-DVF	Front Panel: Stainless steel Main Unit: Resins Back box: Steel plate
Color:	
AX-DV	Solid silver (metallic gray)
AX-DVF	Stainless steel, brush-finished
Dimensions:	
	AX-DV: 7-11/16" x 3-15/16" x 1" (195x100x25 mm)
(HxWxD)	AX-DVF: 9-11/16" x 5-¾" x 1-7/8" (246x146x45 mm)
Weight:	
(approx.)	AX-DV: 0.88 lbs (400g) AX-DVF: 1.45lbs (660g)

## Paint Colors

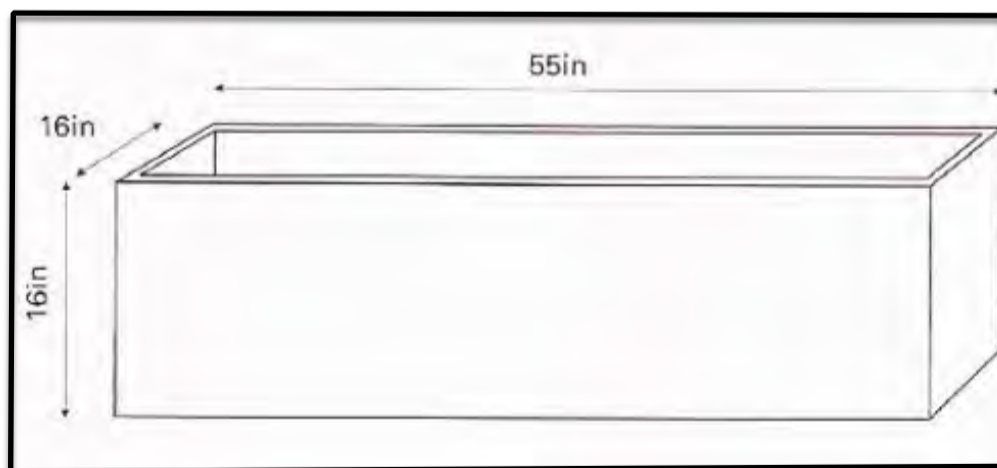
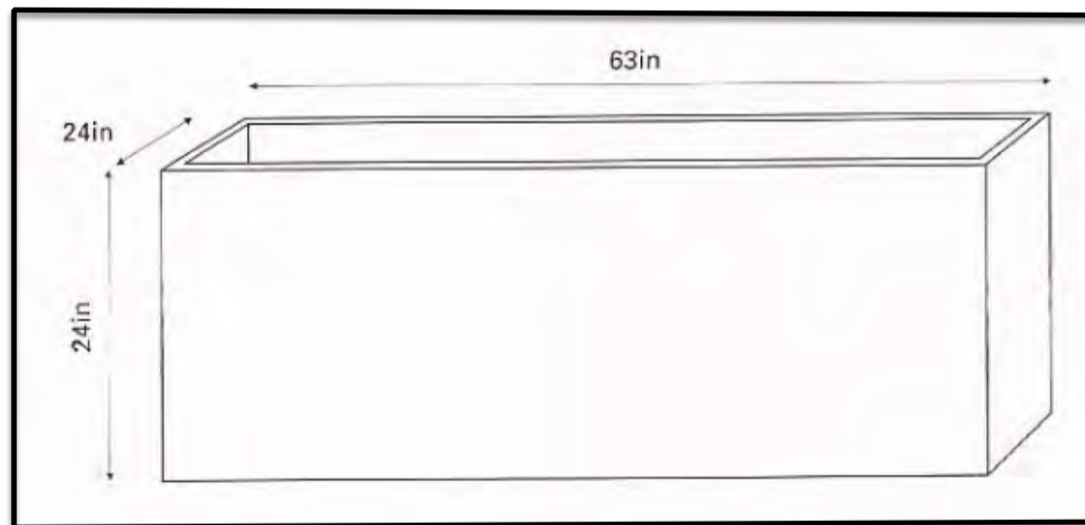


Benjamin Moore Black 2132-10:  
For windows / doors & trim at rear addition at 142 Beacon St.

## 142 Beacon Street Roof Deck Planters



Lightweight, fiberglass planters with drainage  
(4) 63"L x 24"D x 24"H    44.1 lbs ea  
(2) 55"L x 16"W x 16"H    22 lbs ea



# CITY MULTI® S-Series Building Comfort Solutions

Roof Top Mech. Equipment

INVERTER



## S-Series Solutions for the home or small office

The CITY MULTI S-Series offers all the features and benefits of our large commercial CITY MULTI Y-Series. The S-Series Solution features a single-phase outdoor unit with Variable Refrigerant Flow Zoning (VRFZ) technology and CITY MULTI Controls Network (CMCN) to cool or heat all zones with a variety of indoor unit styles. The compact outdoor unit utilizes R410A refrigerant and an INVERTER-driven compressor to use energy effectively. A maximum of eight CITY MULTI indoor units can be connected with up to 130% connected capacity, depending on diversity. CITY MULTI Controls Network intelligently manages the CITY MULTI building comfort solution through zone controllers and system controllers and optionally through a networked PC to manage individual comfort and to provide the ultimate building comfort solution.



## Easy, flexible installation

The S-Series outdoor unit is easy to install and can be accessed for service through both a front and side panel. The unit's compact dimensions and easy accessibility allow multiple units to be stacked side by side in tight areas, saving valuable space and resources.

## Available indoor units

Capacity Code	Wall-mounted PKFY-P-N*MU-E	Ceiling-recessed Cassette PLFY-P-N*MU-E	Ceiling-recessed Cassette PMFY-P-NBMU-E	Ceiling-suspended PCFY-P-NGMU-E	Ceiling-concealed (ducted) PDFY-P-NMU-E	Ceiling-concealed (ducted low-profile) PEFY-P-NMLU-E	Ceiling-concealed (ducted alternate high-static) PEFY-P-NMHU-E	Floor-standing (exposed/concealed) PFFY-P-NEMU/NRMU-E
Nominal Btu/h	 6,000-30,000	 8,000-36,000	 6,000-15,000	 15,000-36,000	 6,000-48,000	 6,000-12,000	 15,000-54,000	 <small>(PFFY-NEMU shown)</small> 6,000-24,000





PUMY-P-NHMU(-BS) Specifications				
Model Name			PUMY-P36NHMU(-BS)	PUMY-P48NHMU(-BS)
Power Source			208/230V, 1-phase, 60Hz	
Capacity *1	Cooling	Btu/h	36,000	48,000
	Heating	Btu/h	40,000	54,000
Power Input	Cooling	kW	3.22	4.97
	Heating	kW	2.93	4.88
Current (208-230V)	Cooling	A	14.2-15.7	24.0-21.7
	Heating	A	12.9-14.2	23.6-21.3
Fan	Type x Qty.		Propeller Fan x 2	
	Airflow Rate	CFM	3,530	
	Motor Output	kW	0.086 x 2	
Compressor	Type		Inverter-driven Scroll	
	Motor Output	kW	2.2	2.4
	Crankcase Heater	W	-	
	Lubricant		FV50S	
Refrigerant			R410A	
External Finish			Galvanized Sheets (plus Powder Coating for -BS Model) Munsell 3Y 7.8/1.1	
Dimensions	Height	Inches	53-3/16	
	Width	Inches	37-7/16	
	Depth	Inches	13 + 1-3/16	
Net Weight		Pounds	287	
Sound Levels (as measured in an anechoic room)		dB(A)	49/51	50/52
Protection Devices	High Pressure Protection		High Pressure Switch	
	Compressor/Fan		Discharge Thermo and Overcurrent Detection/Overheat and Voltage Protection	
	Inverter		Overcurrent/Overheat Protection	
Refrigerant Pipe Dimensions	Low Pressure	Inches	5/8 Flare	
	High Pressure	Inches	3/8 Flare	
Indoor Unit	Total Capacity		50 - 130% of Outdoor Unit Capacity	
	Quantity		P06-36/1-6	P06-P54/1-8
Operating Temperature Range	Cooling		Outdoor: 23°FDB ~ 115°FDB; 50°FDB ~ 115°FDB if connecting PKFY-P06/08 Indoor Unit	
	Heating		Outdoor: 0°FWB ~ 60°FWB	

Note: Rating Conditions:

\*1 Cooling: Indoor: 80°F (27°C) DB / 67°F (19°C) WB; Outdoor: 95°F (35°C) DB.

Heating: Indoor: 70°F (21°C) DB; Outdoor: 47°F (8°C) DB/ 43°F (6°C) WB.

-BS indicates seacoast protection option.

Specifications are subject to change without notice.

Optional Parts for PUMY Outdoor Units		
Description	Model	Remarks
Branch Joint	CMY-Y62-G-E	Branch Joint (2 branches)
Header - 4 Branch	CMY-Y64-G-E	4 Branch Header includes sets for use with liquid and gas pipes
Header - 8 Branch	CMY-Y68-G-E	8 Branch Header includes sets for use with liquid and gas pipes
Drain Socket	PAC-SG61DS-E	For use when drain piping is necessary, use the drain socket or the drain pan (option)
Drain Pan	PAC-SG64DP-E	
Air Outlet Guide	PAC-SG59SG-E	Need 2 pieces
Wind Baffle	WB-PA2	Need 2 pieces



Printed on recycled paper.



HVAC Advanced Products Division

Mitsubishi Electric Shizuoka Works acquired ISO 9001 certification under Series 9000 of the International Standard Organization (ISO), based on a review of quality warranties for the production of air-conditioning equipment. The plant also acquired environmental management system standard ISO 14001 certification.

Form No. CMBROS-02-08-5M

For more information visit [www.mehvac.com](http://www.mehvac.com)

Mitsubishi Electric HVAC Advanced Products Division  
3400 Lawrenceville Suwanee Road  
Suwanee, GA 30024

Phone: 888-467-7546 Fax: 800-658-1458

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## Front Entry Wall Sconces

### Venetian Rain Collection

### Outdoor Wall Sconce 1Lt BKG

49130BKG (Black W/Gold)

Project Name: \_\_\_\_\_

Location: \_\_\_\_\_

Type: \_\_\_\_\_

Qty: \_\_\_\_\_

Comments: \_\_\_\_\_



#### Dimensions

Height	11.75"
Width	6.75"

#### Ordering Information

Product ID	49130BKG
Finish	Black W/Gold
Available Finishes	BKG, BRZ
Collection	Venetian Rain Collection

#### Dimensions

Extension	3.75"
Height from center of Wall opening	7.50"
Base Backplate	5.00 X 6.75
Weight	3.00 LBS

#### Specifications

Material	Cast Aluminum
Diffuser Description	Clear Vertical Rain

#### Electrical

Voltage	120V
---------	------

#### Qualifications

Safety Rated	Wet
ADA Compliant	Yes
Warranty	<a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a>

#### Primary Lamping

Light Source	Incandescent
Lamp Included	Not Included
# of Bulbs/LED Modules	1
Max or Nominal Watt	60W
Socket Wire	150
Socket Type	Candelabra
Lamp Type	B
Bulb Product ID	4064CLR

#### Alternate Lamps

Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Alternate	INCA	40W	5971CLR	

#### Notes:

- 1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
- 2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

## Exterior Sconces at New Garage

### Venetian Rain Collection

### Outdoor Wall 2Lt BKG

49131BKG (Black W/Gold)

Project Name: \_\_\_\_\_

Location: \_\_\_\_\_

Type: \_\_\_\_\_

Qty: \_\_\_\_\_

Comments: \_\_\_\_\_



#### Dimensions

Height	25.25"
Width	7.25"

#### Ordering Information

Product ID	49131BKG
Finish	Black W/Gold
Available Finishes	BKG, BRZ
Collection	Venetian Rain Collection

#### Dimensions

Extension	10.50"
Height from center of Wall opening	6.00"
Base Backplate	5.25 X 15.00
Weight	7.00 LBS

#### Specifications

Material	Cast Aluminum
Diffuser Description	Clear Vertical Rain

#### Electrical

Voltage	120V
---------	------

#### Qualifications

Safety Rated	Wet
Warranty	<a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a>

#### Primary Lamping

Light Source	Incandescent
Lamp Included	Not Included
# of Bulbs/LED Modules	2
Max or Nominal Watt	60W
Socket Wire	150
Socket Type	Candelabra
Lamp Type	B
Bulb Product ID	4064CLR

#### Alternate Lamps

Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Alternate	INCA	40W	5971CLR	

#### Notes:

- 1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
- 2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

## SECTION 04500

### MASONRY RESTORATION AND CLEANING

#### PART 1 GENERAL

##### 1.01 RELATED DOCUMENTS

A. Drawings and general provisions of contract, including general and supplementary conditions and Division-1 specifications sections, apply to work of this section.

##### 1.02 DESCRIPTION OF WORK

- A. Extent of masonry restoration work is indicated on drawings and in schedules.
- B. Masonry Restoration Work Includes the Following:
  - 1. Chemical cleaning of exposed exterior masonry surfaces.
  - 2. Repairing and rebuilding damaged stonework.
  - 3. Stonework restoration.
  - 4. Re-pointing of masonry joints as required.

NOTE: The chemical cleaning of exterior surfaces should be accomplished before new windows are installed.

- C. Masonry construction is specified in other Division 4 sections.
- D. Joint sealers are specified in a Division 7 section.

##### 1.03 QUALITY ASSURANCE

A. Restoration Specialist: Work must be performed by a firm with not less than 5 years successful experience in masonry restoration projects employing skilled personnel for execution of the work.

- B. Job Mock-Ups: Prior to start of general masonry restoration, conduct the following procedures. Obtain Architect's acceptance of visual qualities before proceeding with the work.
  - 1. Cleaning: Prepare a 4 ft. by 6 ft. sample area on the building where directed by architect, showing materials and methods to be used for cleaning exterior masonry surfaces.

2. Re-pointing: Prepare a 4 ft. by 6 ft. sample area on the building where directed by architect, showing routing and repointing including mortar, type of joint, and workmanship for masonry in project.

3. Stonework Restoration: Prepare a 2' x 2' sample area on the building, where directed by Architect for stonework restoration. Use anchorage, bonding, mortar and workmanship expected in completed work. The restoration patching mix shall match the existing brownstone in texture and color. Acceptable panel shall be used as a standard for judging completed work.

C. Source of Materials: Obtain materials for masonry restoration from a single source for each type material required (face brick, cement, sand, etc.) to ensure match quality, color, pattern, and texture.

#### 1.04 SUBMITTALS:

A. Product Data: Submit manufacturer's specifications and other data for each manufactured product, including certification that each product complies with specified requirements. Include instructions for handling, storage, installation and protection of each product.

B. Samples: Sample areas shall be used to exhibit the cleaning performance of the restoration cleaner on brick work. Test areas shall be selected by Architect and shall be approximately 20 sq. ft. Multiple tests of varying concentrations shall determine composition of cleaning solution required. Provide written certification by manufacturer that restoration cleaner is compatible with brownstone.

#### 1.05 DELIVERY, STORAGE AND HANDLING

A. Protect masonry materials during storage and construction from wetting by rain, snow or ground water, and from staining or intermixture with earth or other types of materials.

B. Protect grout and mortar materials from deterioration by moisture and temperature. Store in a dry location or in waterproof containers tightly closed and away from open flames. Protect liquid components from freezing. Comply with manufacturer's recommendations for minimum and maximum temperature requirements for storage.

#### 1.06 JOB CONDITIONS

A. Materials Protection: Do not use metal reinforcing or ties having loose rust or other coatings, including ice, which will reduce or destroy bond.

B. Protection of Work: During restoration cover wall with heavy waterproof sheeting at end of each day's work, if precipitation is expected.

- C. Staining: Prevent grout or mortar from staining face of masonry to be left exposed. Remove immediately grout or mortar in contact with masonry.
- D. Protect sills, ledges and projections from droppings of mortar.
- E. Cold Weather Protection:
  - 1. Remove ice or snow formed on masonry bed by carefully applying heat until top surface is dry to the touch.
  - 2. Remove masonry determined to be frozen or damaged by freezing conditions.
- F. Perform the following construction procedures while the work is in progress:
  - 1. When air temperature is from 40 deg. F (4 C) to 32 Deg. F (0 C), heat sand or mixing water to produce mortar temperatures between 40 deg. F (4 C) and 120 deg. F (49 C).
  - 2. When air temperature is below freezing, do not undertake tuckpointing or stone restoration.
- G. Perform the following protections for completed masonry and masonry not being worked on:
  - 1. Protect masonry from rain or snow for at least 24 hours by covering with water-resistive membrane.

## PART 2 PRODUCTS

### 2.01 BRICK:

- A. Rebuild and/or repair existing masonry to be exposed, using bricks salvaged from selective demolition or new bricks to match existing.

### 2.02 MORTAR MATERIALS

- A. Mortar for Face Brick and Accessories: Provide mortar for face brick and accessories to match original mortar in texture, color, strength, and hardness (density and porosity).
  - 1. Determining existing mortar mix constituents and ratios by analysis. Review laboratory evaluations with Architect before proceeding with the work.
  - 2. Match color of existing mortar by use of aggregates matching original aggregate color where possible. Use inorganic coloring pigments if satisfactory color match cannot be attained with natural materials.
  - 3. Mortar mix to be in accordance with New York City Landmarks Preservation Commission Row House Manual – page 44 – 1 part Portland cement, 2 parts lime, 8 parts sand – mix, then add pigments and water- (Type O).

### 2.03 MASONRY CLEANING ( BRICKWORK)

- A. A sample patch of cleaning must be reviewed and approved by architect before work is begun.
- B. Cleaning Agent: Blended organic and inorganic acids combined with special wetting systems and inhibitors; as manufactured by ProSoCo, Inc., Type 1 Restoration cleaner – or approved equal for the removal of atmospheric carbon and dirt, paint oxidation, and embedded clay and mud stains from brick and other masonry surfaces.

### 2.04 RESTORATION MATERIALS

- A. Epoxy Mortar: Conproco “mimic” trowel applied color matched, or approved equal.
- B. Primer: Conproco “mimic” bonding agent or approved equal.
- C. Stone Restoration Mix: Mix as per mortar manufacture’s recommendations.

## PART 3 EXECUTION

### 3.01 CLEANING EXISTING MASONRY:

A. Preparation of Surfaces: Cleaners specified herein are highly concentrated products, and to the extent established by job site tests, shall be diluted with clean water before application.

1. Cleaners specified herein are harmful to glass, aluminum, painted, surfaces, foliage, and human skin and eyes.
2. Protect all surrounding areas as recommended by the literature of the manufacturer and as requested by the architect.
3. Windows shall be protected from contact with materials by masking with polyethylene, or by using Sure Klean Acid Stop, as manufactured by ProSoCo, Inc. South Plainfield, NJ or approved equal.
4. All polished stone, metal or non-masonry surfaces shall be protected from contact with the material by masking with polyethylene or approved protective material.
5. Adjacent shrubs, lawn, plants and sidewalks should be covered with polyethylene and protected from direct contact with the material.
6. Necessary routing of joints and replacement of damaged masonry units shall have been completed, with exception of final pointing, prior to beginning cleaning operation.
7. Adequate water supply shall be made available to assure thorough pre-soaking and thorough rinsing of the wall before undertaking general cleaning. All surfaces shall be thoroughly pre-soaked with clean water to prevent the absorption of the cleaning solution within the pores of the masonry.

- B. Cleaning Process: Brick, unpolished granite, sandstone, terra cotta and/or exposed aggregate shall be spray or brush coated with Type I restoration cleaner, and left on the surface two or three minutes. A second application shall follow if deemed necessary by preliminary tests. Coated area shall then be rinsed from bottom up with clear water using high pressure rinsing equipment. Equipment shall be adjusted so that rinse water, either warm or cold, is applied at a pressure not to exceed 500 P.S.I. Attempts shall be made during the testing stage to determine if effective cleaning can be achieved with rinse water applied at pressures not to exceed 500 P.S.I. Flow of water shall be 10 gallons per minute. Gun used to apply water shall be equipped with not less than a 15" spray tip. All tips shall be fan type.

### 3.02 REPAIRING EXISTING MASONRY

- A. Routing of Joints: Remove defective mortar joints to solid material or a depth of 1.0" whichever is greater, using hand tools. Take care to avoid damaging existing masonry or enlarging width of joints.
1. A sample of pointing must be reviewed and approved by architect before work is begun.
  2. Mechanical tools will be permitted only on specific written approval of architect and demonstrated ability by operators to use without damage to masonry.
  3. Remove and repair damage to existing masonry by cutting, spalling and chipping as caused by routing operations.
  4. Thoroughly remove loose material from joints using a hose stream under normal pressure or by low pressure compressed air.
- B. Mortar Mixing: Add only enough water to dry mix ingredients to produce a damp, workable mix. Keep mortar in dampened condition for 1 to 2 hours, and then add sufficient to bring it to proper consistency.
- C. Replacing Brick: Lay brick and accessories to match existing bond, unless otherwise indicated.
1. Match existing course height (one brick and one joint) for both face brick and back-up brick.
  2. Provide bonding between face brick and back-up brick as indicated.
  3. Provide joints to match existing, unless otherwise indicated. Delay final tooling of joints until mortar is thumb print hard. Take care to not spread mortar over the edges of face brick onto exposed surfaces.
  4. Wet brick before laying. Do not use brick which are saturated with water, or which have been unduly exposed to moisture or rain at site, or which have been in contact with ground.
  5. Lay brick with completely filled bed and head joints; butter ends with sufficient mortar to fill head joints and shove into place. Do not slush head joints. Do not furrow bed joint; strike mortar flat with trowel.



6. Lay up brickwork with full or half brick, as required. Do not fill in concealed work with spalls, small bats, or excess mortar.
7. Lay up brickwork level and plumb, or as otherwise required to match existing.

D. Re-pointing:

1. After careful routing and cleaning joints, wet joints thoroughly and then apply fresh, pre-hydrated mortar. Allow water to soak into joints, but joints should not be visibly wet with standing water during tuckpointing.
2. Fill mortar joints in layers not over 1/4" thick, with each layer applied with pressure as soon as previous layer has partially dried. Do not tool each layer smooth: Leave surface rough to help bond of subsequent layers. Compress the final packing as much as possible to completely fill joint. Compact joints solidly before final tooling.
3. Tool joints to match existing work which has not been repointed, or oldest joints found, unless otherwise indicated. Take care to not spread mortar over edges of brick onto exposed surfaces. Do not featheredge mortar. Cure mortar by maintaining in a damp condition for 5 days.

### 3.03 FINAL CLEANING

- A. All mortar to fully harden for approximately 30 days after completion of work, then thoroughly clean exposed masonry surfaces of excess mortar and foreign matter using stiff nylon or bristle brushes and clean water under normal pressure.
1. Use of metal scrapers or brushes will not be permitted.
  2. Use of acid or alkali cleaning agents will not be permitted.

### 3.04 STONE RESTORATION-PATCH METHOD

- A. Carefully remove loose and friable stone, dust, dirt, oil and other contaminants.
- B. Saw cut edges with a diamond blade at a 90 degree angle to eliminate feather edges. Repair zone must be 1/2" deep min.
- C. Saturate surface of stone to be repaired.
- D. Prime the prepared substrate in accordance with manufacturers instructions, while wet.
- E. Mix mortar patch in accordance with mortar manufacturers instructions.
- F. Apply materials in lifts, 1/2" minimum, 2: maximum, forcing materials against edges.
- G. Cross hatch scratch each lift to prepare surface for next lift.
- H. Overbuild 1/4", and shave to final form with trowel edge.
- I. Entire method to be performed in accordance with manufacturers detailed instructions.

- END OF SECTION -