



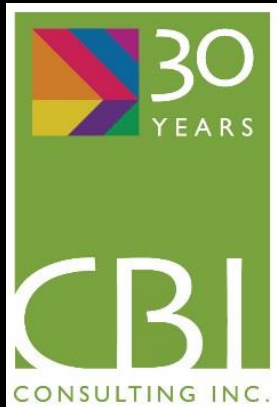
# 253 Summer Street

## Landmark Presentation

Boston, Massachusetts

## CBI Consulting Inc.

Stephen McDermott Field Engineer  
Brad Pierce Assistant Project Manager



# MELCHER STREET



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# FORT POINT CHANNEL



# FORT POINT CHANNEL



FOR REFERENCE ONLY

PREVIOUSLY APPROVED WORK FROM  
BERGMEYER ARCHITECTS

ASSOCIATED OVERLAP BETWEEN  
APPROVED AND PROPOSED WORK

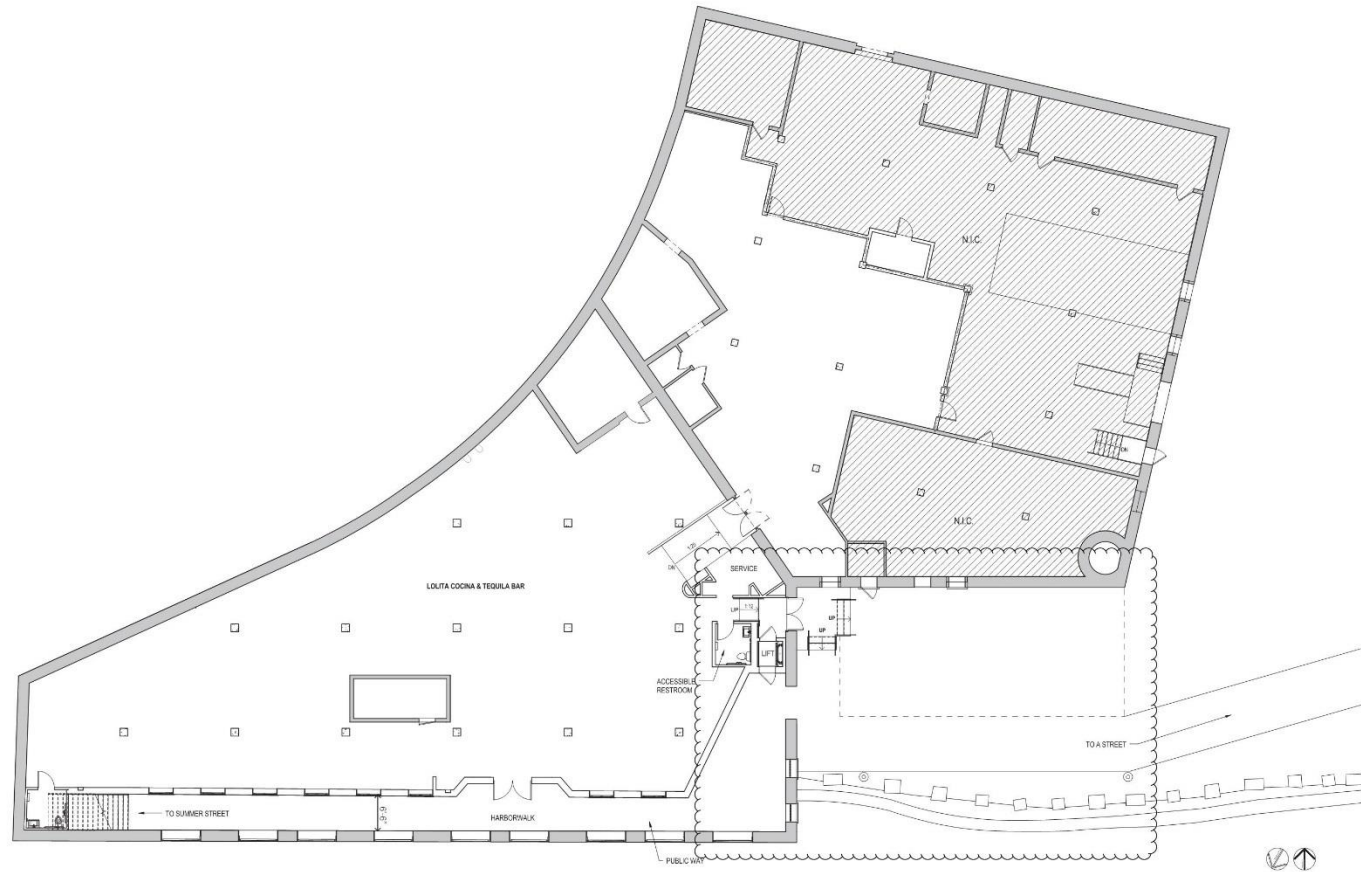




**Polita**

*cocina & tequila bar*





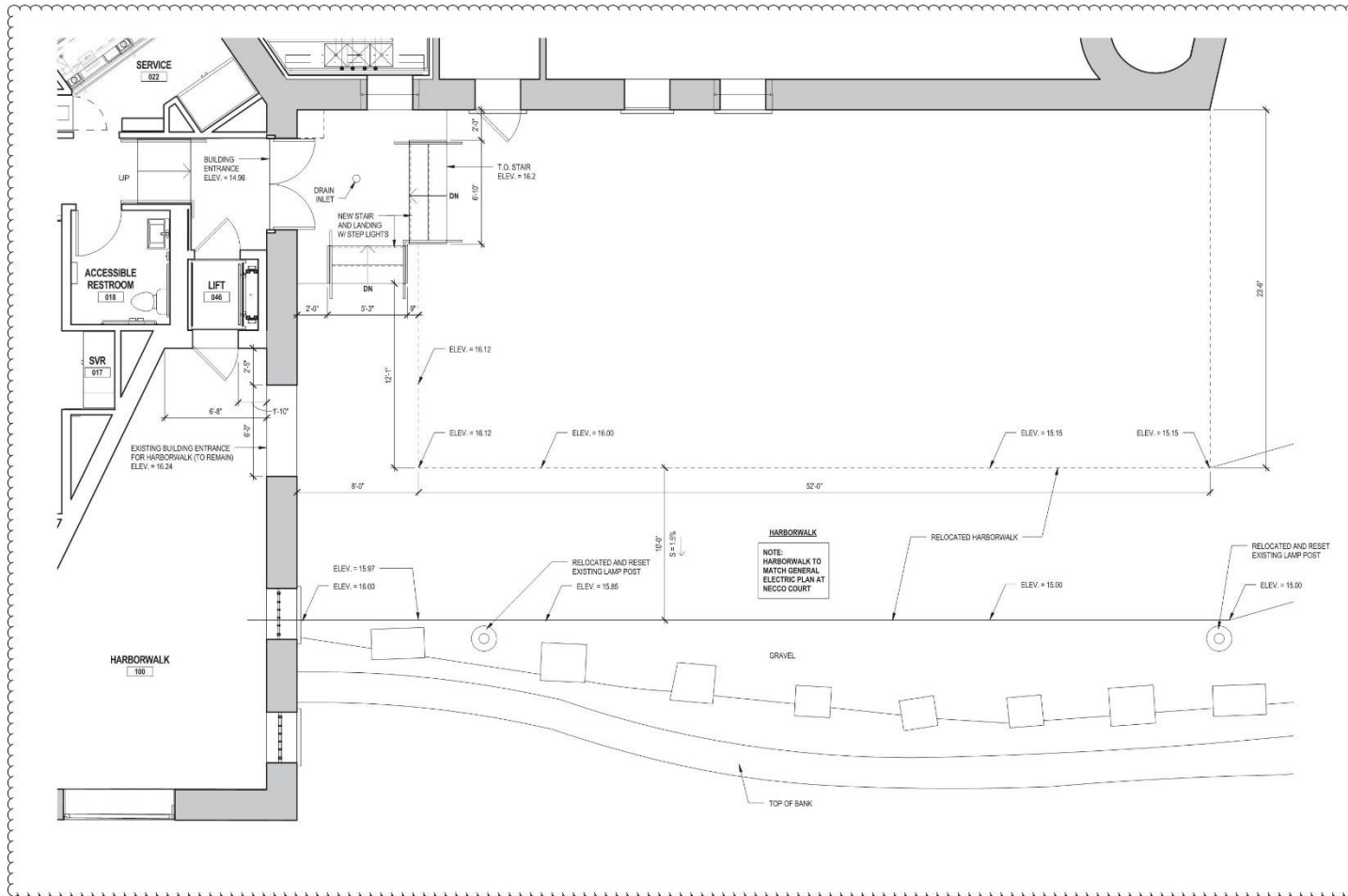
# REVISED FLOOR PLAN

Bergmeyer

05-17-2017



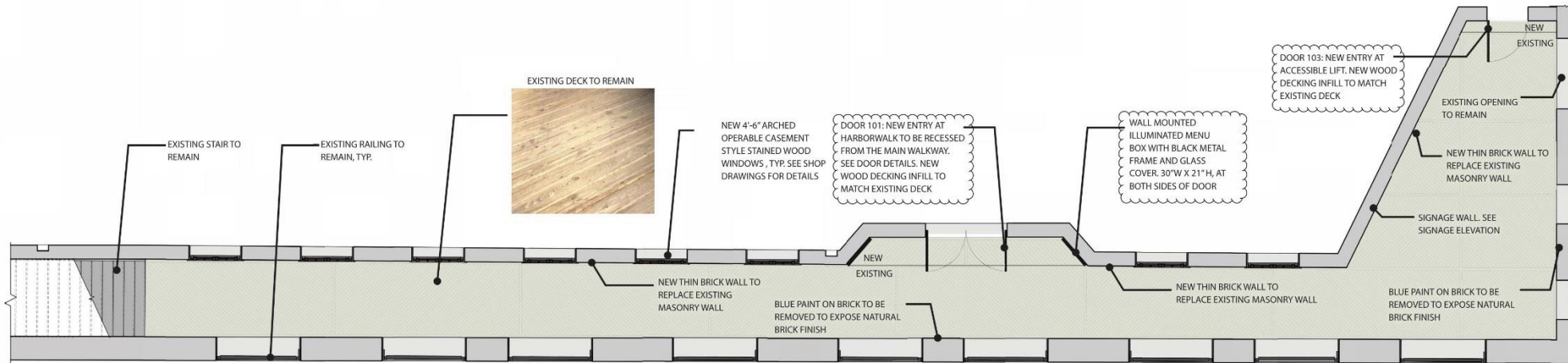




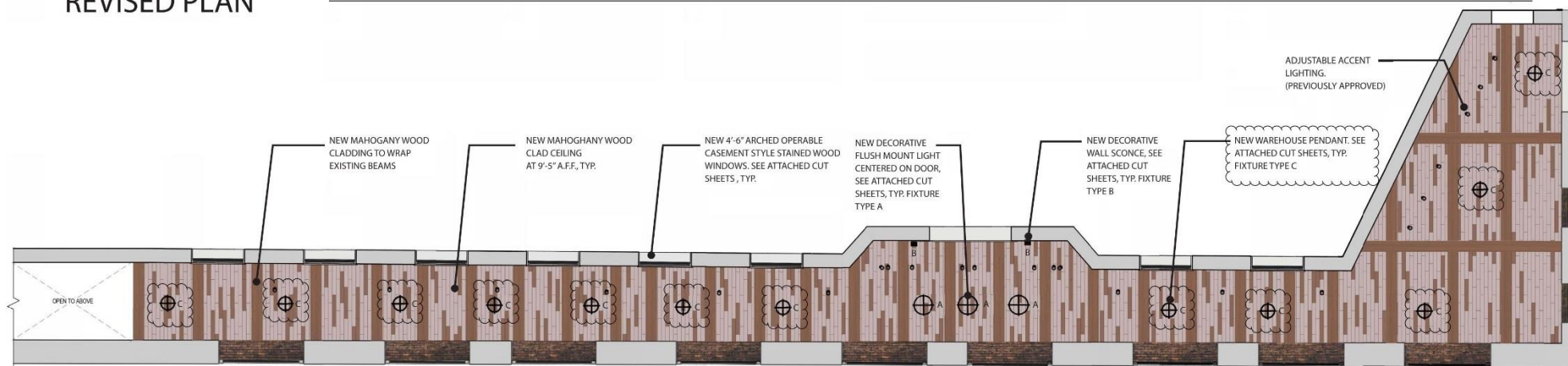
# REVISED PLAN

Bergmeyer  
05-17-2017





REVISED PLAN



REVISED REFLECTED CEILING PLAN

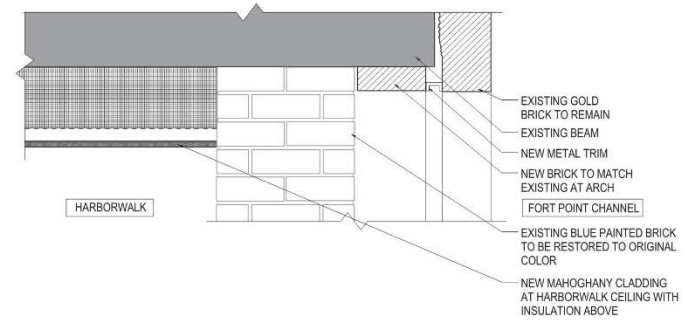
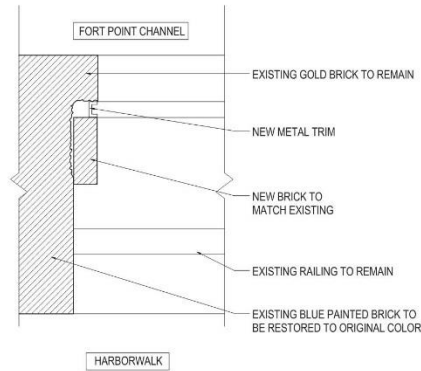
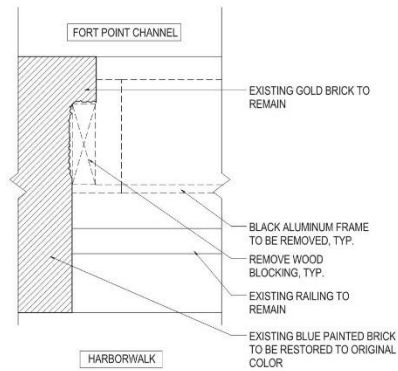


# REVISED HARBORWALK PLANS

Bergmeyer

05-17-2017

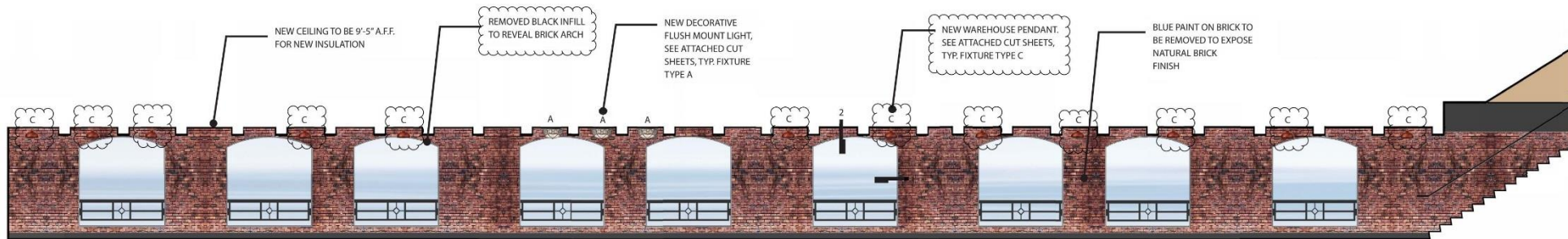




## JAMB/HEAD DEMO

## (1) JAMB

## (2) HEAD



## REVISED ELEVATION

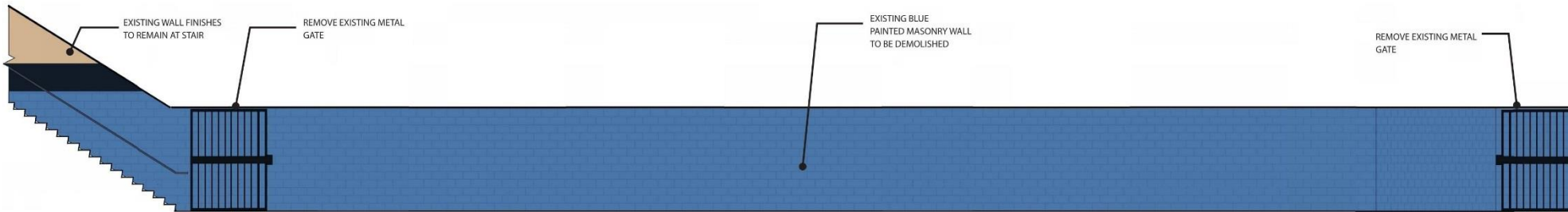


# FACING FORT POINT CHANNEL

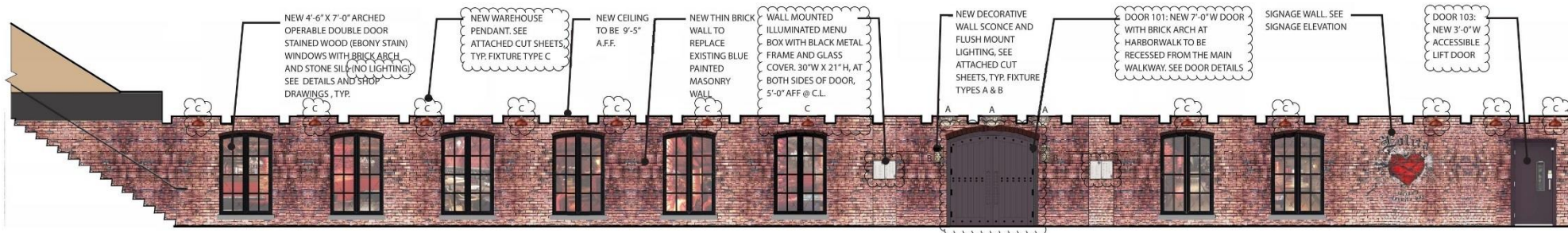
Bergmeyer

05-17-2017





EXISTING ELEVATION



REVISED ELEVATION

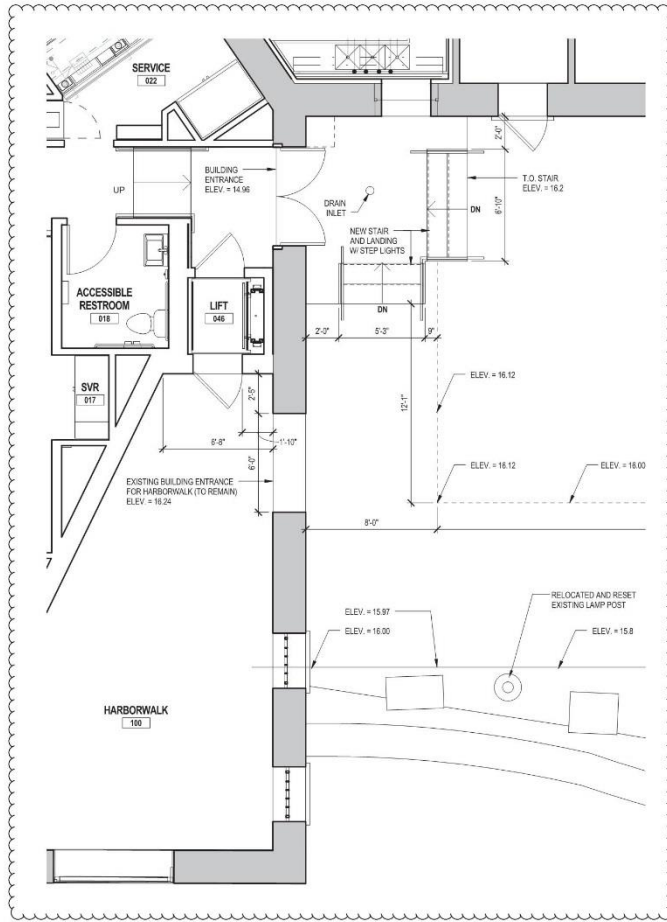


# FACING LOLITA COCINA

Bergmeyer

05-17-2017





REVISED PLAN



REVISED ELEVATION

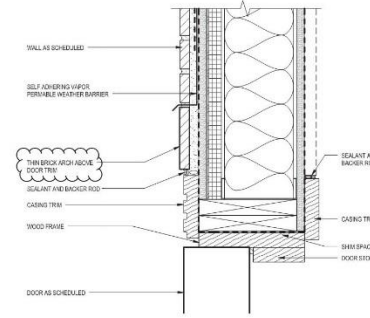
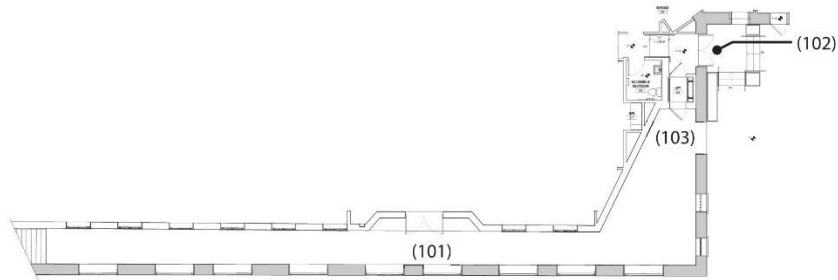


# FACING HARBORWALK ENTRY

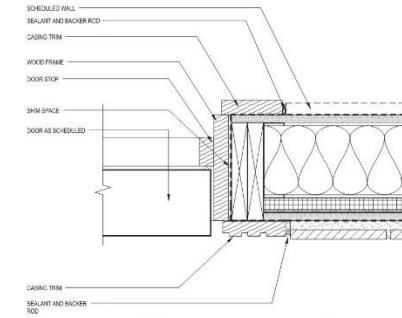
Bergmeyer

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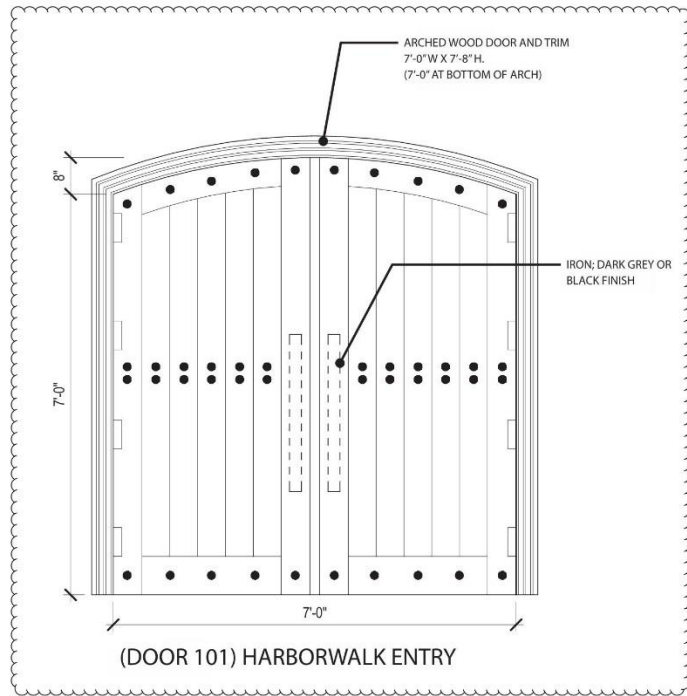




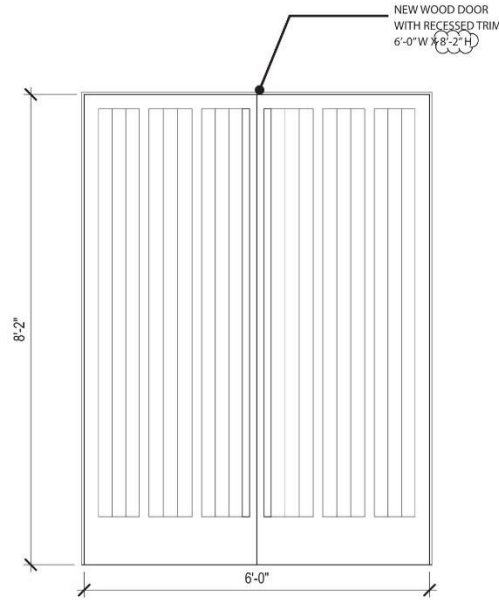
WOOD DOOR HEAD



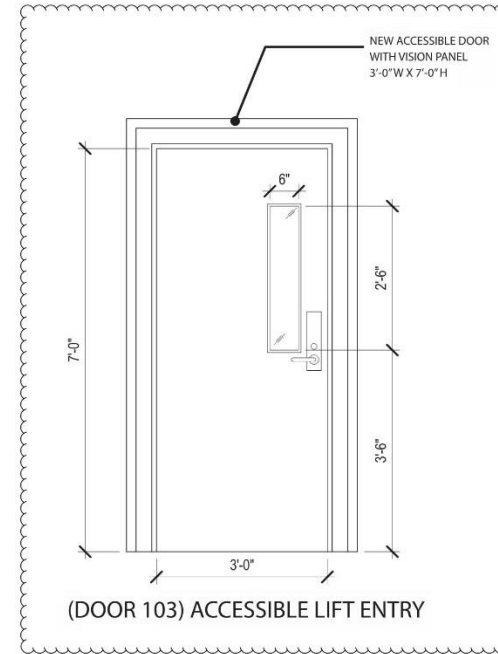
WOOD DOOR JAMB



(DOOR 101) HARBORWALK ENTRY



(DOOR 102) NECCO COURT ENTRY  
(PREVIOUSLY APPROVED)



(DOOR 103) ACCESSIBLE LIFT ENTRY



# EXTERIOR ENTRY DOOR DETAILS

Bergmeyer

05-17-2017



# TYPICAL DEFICIENCIES



# TYPICAL DEFICIENCY



Cracked  
Brick



# TYPICAL DEFICIENCY



Failed  
Sealant

# TYPICAL DEFICIENCY



Failed  
Sealant

# TYPICAL DEFICIENCY



Failed  
Sealant

# TYPICAL DEFICIENCY



Failed  
Sealant

# TYPICAL DEFICIENCY



Failed  
Sealant

# TYPICAL DEFICIENCY



Failed  
Sealant

# TYPICAL DEFICIENCY



Failed  
Sealant

# TYPICAL DEFICIENCY



Cracked  
Sill Stone



# TYPICAL DEFICIENCY



Sealant over  
Cracked Brick

# TYPICAL DEFICIENCY

Typical Sealant over Cracked Brick

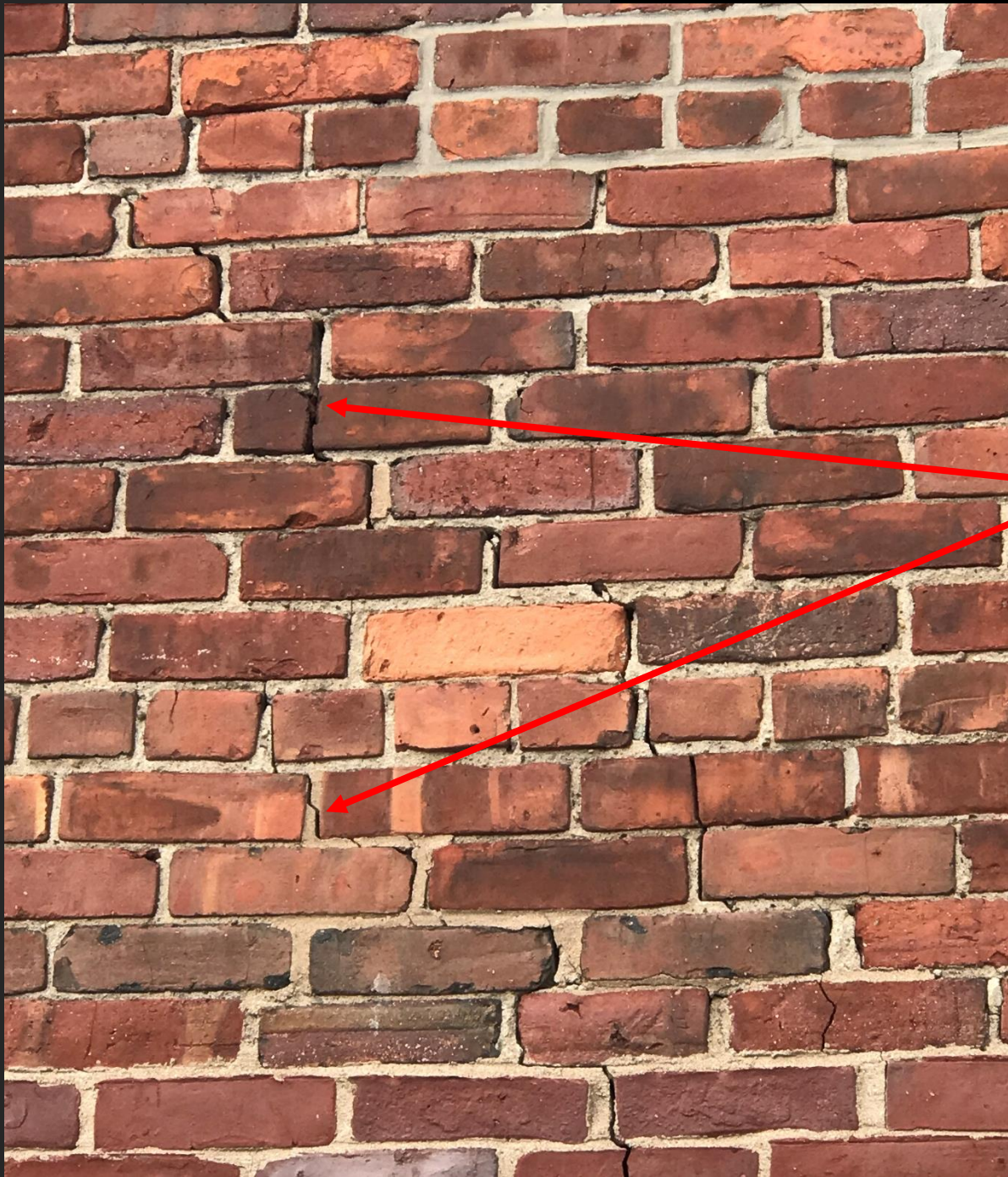


# TYPICAL DEFICIENCY

Existing Jamb  
Condition at  
Harbor Walk



# TYPICAL DEFICIENCY



Typical Step  
crack

# TYPICAL DEFICIENCY



Temporary  
Shoring Due to  
Structural  
Concerns

# TYPICAL DEFICIENCY



Failed  
Sealant

# TYPICAL DEFICIENCY



Failed  
Sealant

# REPAIR DRAWINGS





# SYNERGY INVESTMENTS

## FACADE REPAIRS



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FACADE REPAIRS

SYNERGY INVESTMENTS

COVER SHEET

### LOCATOR MAP



NOTE:  
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.

### DRAWING SHEETS:

- GENERAL**  
G0-01 COVER SHEET
- STRUCTURAL**
- S1-01 WEST ELEVATION
  - S1-02 SOUTH ELEVATION
  - S1-02a DOOR DETAILS
  - S1-03 SOUTH ELEVATION (CONTINUED)
  - S1-04 EAST ELEVATION
  - S1-05 NORTH ELEVATION
  - S1-06 NORTH ELEVATION (CONTINUED)
  - S1-07 NORTH ELEVATION (CONTINUED)
- S2-01 HARBORWALK SECTION AND ARCH DETAILS
- S3-01 TYPICAL ARCH DETAILS
  - S3-02 TYPICAL ARCH DETAILS
  - S3-03 EXISTING CONDITIONS PHOTO REFERENCE
  - S3-04 TYPICAL FACADE REPAIR DETAILS

### GENERAL NOTES:

- 00 THE OWNER, SYNERGY INVESTMENTS, AND CBI CONSULTING INC. SHALL BE ADDED AS ADDITIONAL INSURED TO THE CONTRACTOR'S COMMERCIAL GENERAL LIABILITY, AUTOMOBILE LIABILITY AND UMBRELLA POLICIES FOR THIS PROJECT. ALL OF THE CONTRACTOR'S INSURERS SHALL PROVIDE A WAIVER OF SUBROGATION IN FAVOR OF THE OWNER, SYNERGY INVESTMENTS, AND CBI CONSULTING INC.
- 01 CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION AND COORDINATING ALL DIMENSIONS. IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED AND SHALL RESOLVE THE CONFLICT. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.
- 02 IN ANY CASE OF CONFLICT BETWEEN OR WITHIN THE DRAWINGS AND THE PROJECT SPECIFICATIONS OR WITHIN THE DRAWINGS OR SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AT THE SOLE DISCRETION OF THE ENGINEER.
- 03 THE CONTRACTOR SHALL MAKE NO DEVIATION FROM DESIGN DRAWINGS WITHOUT PRIOR REVIEW BY THE ENGINEER.
- 04 WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED. ANY CONDITION FOUND NOT DETAILED SHALL BE CONSTRUCTED IN A MANNER SIMILAR TO THAT OF THE TYPICAL DETAILS.
- 05 ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND LOCAL LAWS AND REGULATIONS.
- 06 THE STRUCTURAL DESIGN OF THE BUILDING IS BASED ON THE FULL INTERACTION OF ALL ITS COMPONENT PARTS. NO PROVISIONS HAVE BEEN MADE FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MAKE PROPER AND ADEQUATE PROVISIONS FOR STABILITY OF, AND ALL STRESSES TO, THE STRUCTURE DUE TO ANY CAUSE DURING CONSTRUCTION.
- 07 CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS OR INFORMATION REQUIRED TO PERFORM THE WORK. WORK COMPLETED BY THE CONTRACTOR WITHOUT DIMENSIONS OR INFORMATION SHALL BE DONE AT HIS OWN RISK AND SHALL BE REMOVED AND REINSTALLED TO THE SPECIFICATIONS OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- 08 MEANS AND METHODS OF CONSTRUCTION AS WELL AS COMPLIANCE WITH OSHA AND OTHER SAFETY LAWS AND REGULATIONS IS EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR, HIS SUBCONTRACTORS, SUPPLIERS, CONSULTANTS AND SERVANTS.
- 09 FOR ALL ITEMS THAT ARE TO BE REUSED AND/OR REINSTALLED AS PART OF THE WORK:
  - ALL ITEMS THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. IF ANY DAMAGE OCCURS THE CONTRACTOR SHALL REPAIR THE ITEM SO IT IS IN A LIKE NEW CONDITION OR REPLACE IT WITH A NEW ITEM THAT FUNCTIONS THE SAME OR BETTER THAN THE ORIGINAL ITEM.
  - ALL ITEMS THAT ARE TO BE TEMPORARILY REMOVED & REINSTALLED ARE TO BE CAREFULLY REMOVED AND MOVED TO A PROTECTED AREA ON SITE OR TO AN OFF SITE FACILITY. THE ITEM IS TO BE CLEANED AND PREPARED FOR REINSTALLATION. ALL FITTINGS AND CONNECTION POINTS ARE TO BE INSPECTED AND REPAIRED. PROVIDE NEW FASTENERS AND CAREFULLY TRANSPORT THE ITEM BACK TO ITS ORIGINAL LOCATION AND CAREFULLY REINSTALL. IF ANY DAMAGE OCCURS THE CONTRACTOR SHALL REPAIR THE ITEM SO IT IS IN A LIKE NEW CONDITION OR REPLACE IT WITH A NEW ITEM THAT FUNCTIONS THE SAME OR BETTER THAN THE ORIGINAL ITEM.

### LIST OF ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
APPROX.	APPROXIMATE
BIT.	BITUMINOUS
BUR.	BUILT UP ROOFING
CB.	CATCH BASIN
CMU.	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CONT.	CONTINUOUS
D.S.	DOWNSPOUT
EQ.	EQUAL
F.W.	EACH WAY
FD.	FLOOR DRAIN
HC.	HANDICAP
HT.	HEIGHT
IN.	INVERT IN
I. OUT.	INVERT OUT
I.D.	INTERIOR DIAMETER
L.C.C.	LEAD COATED COPPER
MAX.	MAXIMUM
MIN.	MINIMUM
M.O.	MASONRY OPENING
N/A.	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
NT.S.	NOT TO SCALE
O.C.	ON CENTER
OD.	OVERHEAD DOOR
O.H.	OPPOSITE HAND
PAV.	PAVERS
P.T.	PRESSURE TREATED
S.I.P.	SIMILAR TO
S.S.	STAINLESS STEEL
T.	TREAD
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.F.B.	VERIFY IN FIELD
W.V.	WYTH VINYL COVE BASE
Z.C.C.	ZINC COATED COPPER
Ø	DIAMETER
+/-	PLUS OR MINUS

### SYMBOL LEGEND

	SEE DETAIL 88 ON SHEET AX-XX
	BREAK LINE
	DIMENSION LINE
	EXTENT
	DOOR TAG
	WINDOW TAG

### CONTACT INFORMATION:

Engineer



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### Owner's Representative

Synergy Investments  
c/o Kevin Kiley  
Director of Construction  
10 Post Office Square, 14th Floor  
Boston, MA 02109

Drawing Title:

Revisions:

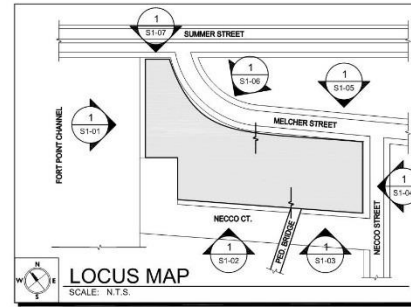
Submission:

### LANDMARKS

Date: 08/30/2017  
Project Number: 16231-B  
Project Manager: SAPM  
Drawn By: BVP  
Scale: NTS

G0-01





1 WEST ELEVATION  
SCALE: 1/8"=1'



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FACADE REPAIRS

SYNERGY INVESTMENTS

Drawing Title:  
WEST ELEVATION

Revisions:

Submission:  
LANDMARKS

Date: 08/30/2017  
Project Number: 16231-B  
Project Manager: SAPM  
Drawn By: SHVP  
Scale: AS NOTED

SI-01









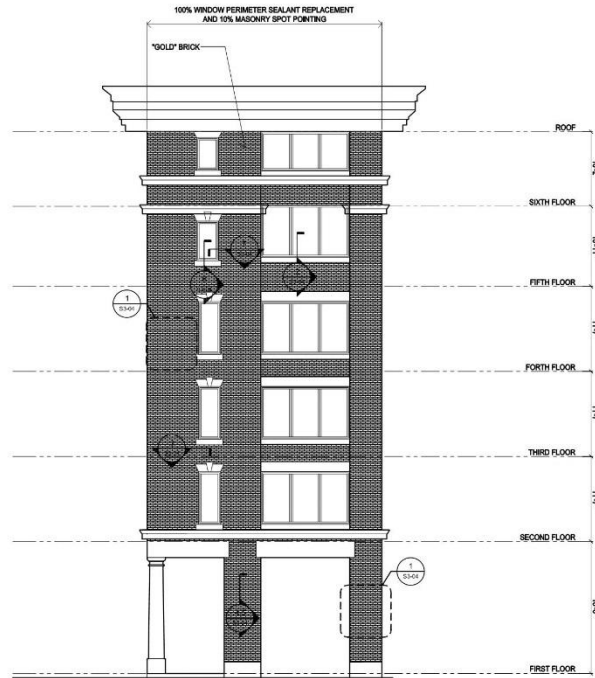




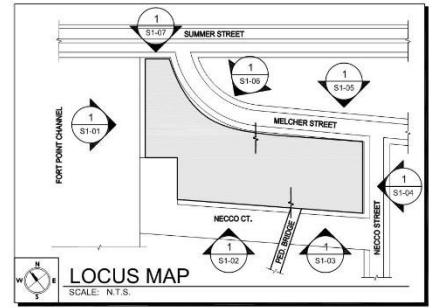




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1 NORTH ELEVATION (CONTINUED)  
SCALE: 1/8"=1'



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FACADE REPAIRS

SYNERGY INVESTMENTS

Drawing Title:  
**NORTH ELEVATION (CONTINUED)**

Revisions:

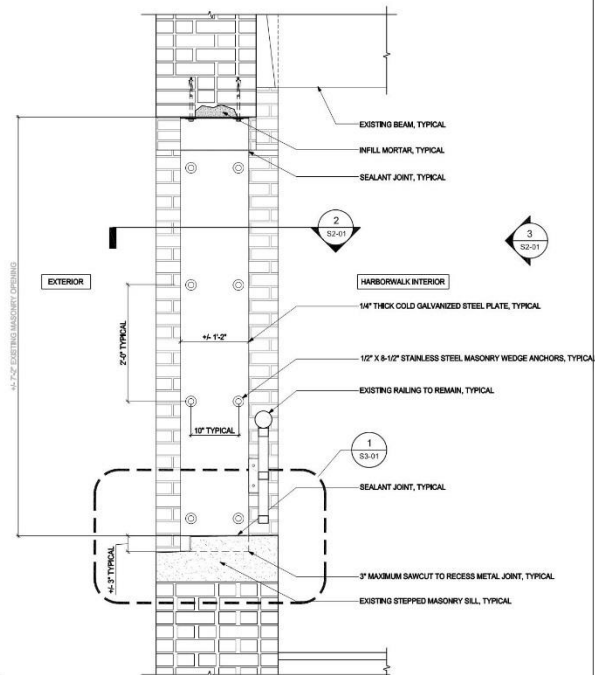
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**LANDMARKS**

Date: 08/30/2017  
Project Number: 16231-B  
Project Manager: SAPM  
Drawn By: BRP/CE  
Scale: AS NOTED

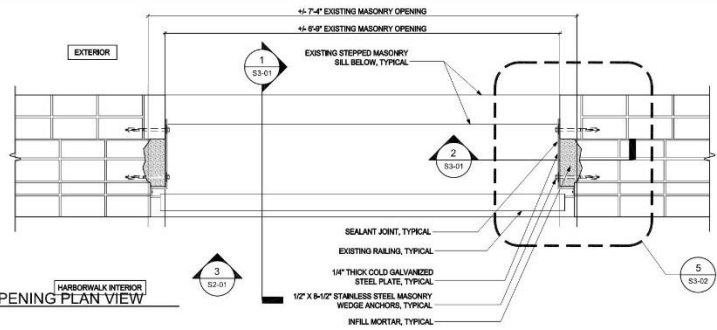
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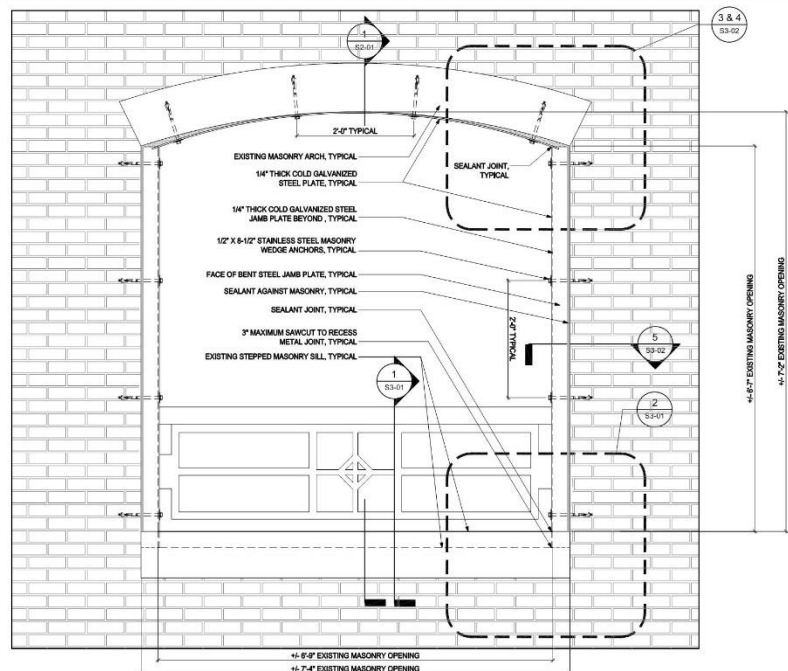
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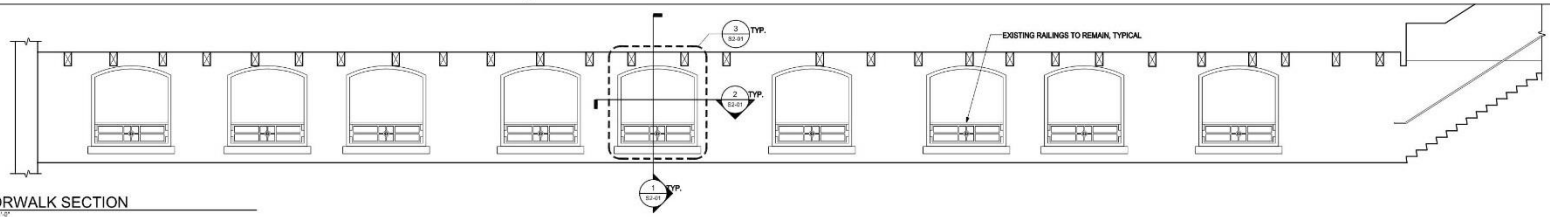
**1** TYPICAL SECTION AT ARCH OPENING  
SCALE: 1/8"=1'-0"



**2** TYPICAL ARCH OPENING PLAN VIEW  
SCALE: 1/8"=1'-0"



**3** TYPICAL ARCH OPENING ELEVATION VIEW  
SCALE: 1/8"=1'-0"



**4** HARBORWALK SECTION  
SCALE: 3/16"=1'-0"

P:\2017\112118 - LANDMARKS\AUTOCAD\DWG\HARBORWALK\SECTION\112118 S2-01.dwg Aug 30, 2017 1:53 pm BRP/ICE

**30 YEARS**

**CBI CONSULTING INC.**

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FACADE REPAIRS

SYNERGY INVESTMENTS

Drawing Title:

**HARBORWALK SECTION AND ARCH DETAILS**

Revisions:

Submission:

**LANDMARKS**

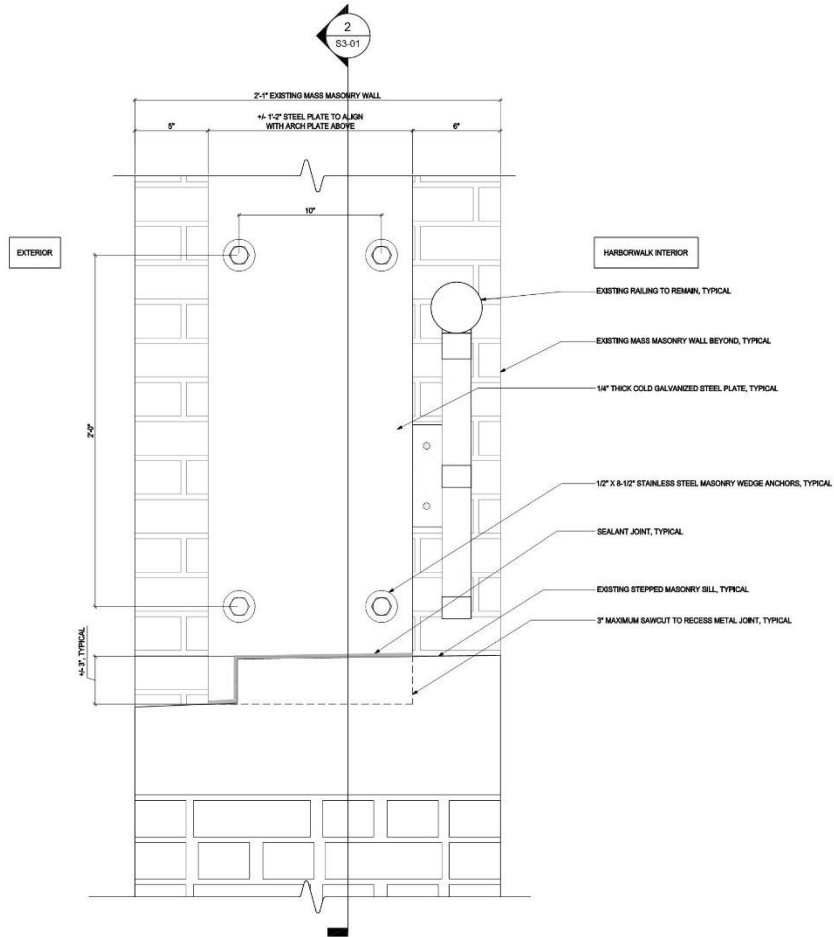
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Project Number: 112118  
Project Manager: SAM  
Drawn By: BWP  
Scale: AS NOTED

**S2-01**

**30 YEARS**

**CBI CONSULTING INC.**

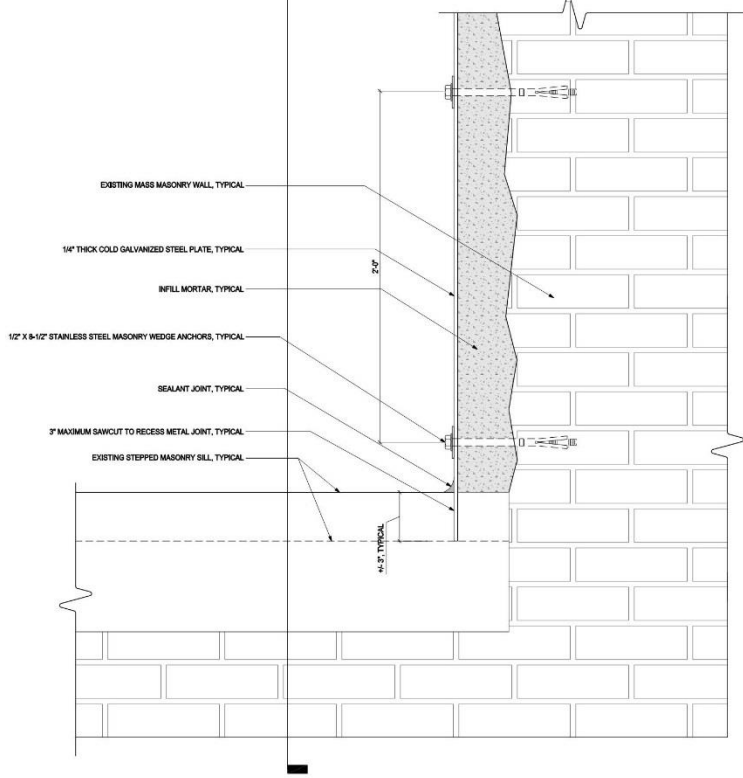
NOTE: PLATE STEEL FINISH COATING TO BE "BLACK" COLOR, SUBMIT SAMPLES FOR APPROVAL



1 TYPICAL SILL SECTION DETAIL  
 SCALE: 3/4"=1'-0"

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1  
 S3-01



2 TYPICAL JAMB SECTION DETAIL AT SILL  
 SCALE: 3/4"=1'-0"



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SYNERGY INVESTMENTS

Drawing Title:

TYPICAL ARCH DETAILS

Revisions:

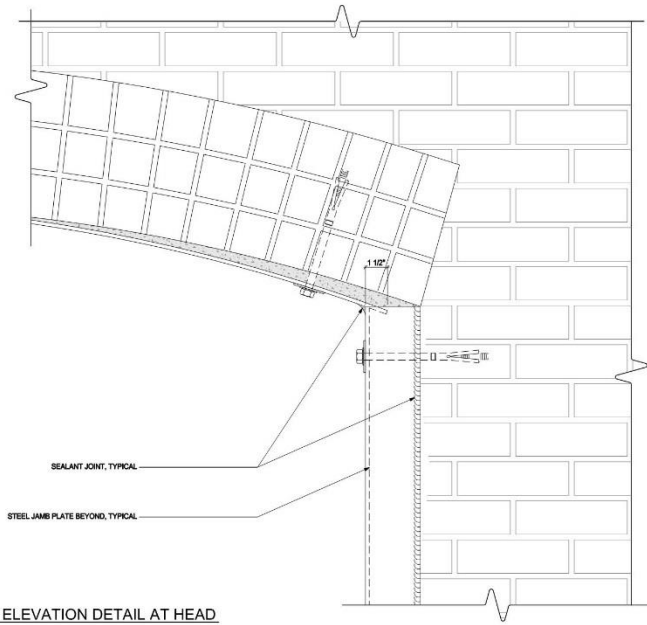
Submission:

LANDMARKS

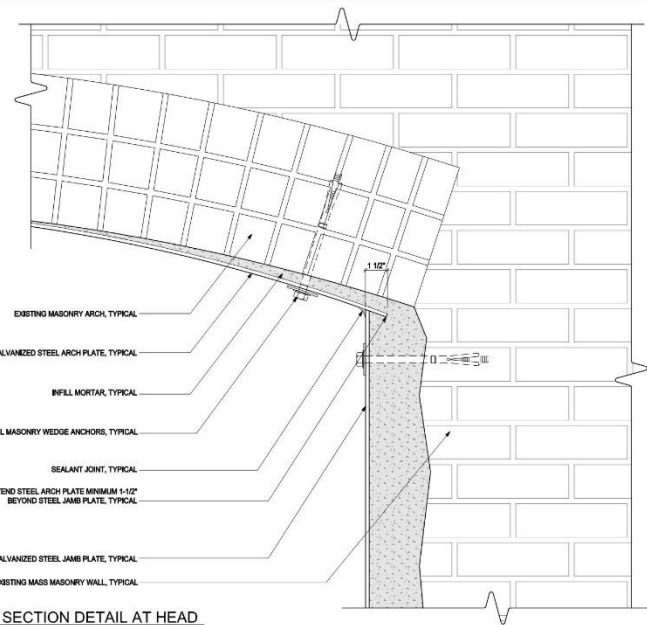
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 Project Number: 18231-0  
 Project Manager: SAM  
 Drawn By: BWP  
 Scale: AS NOTED

S3-01





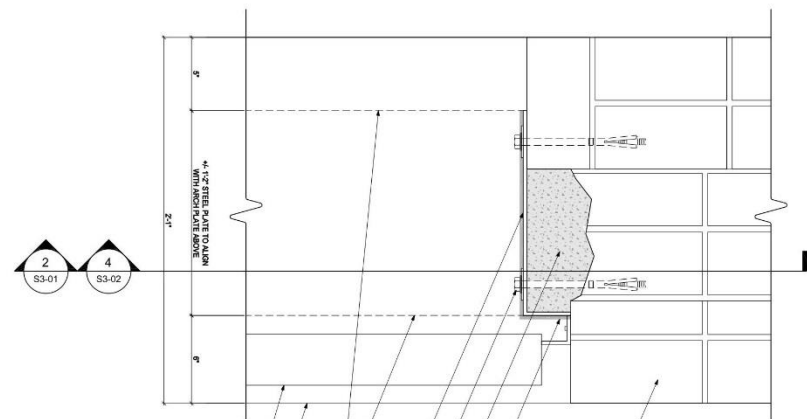
3 TYPICAL CORNER ELEVATION DETAIL AT HEAD  
SCALE: 3/4"=1'-0"



4 TYPICAL CORNER SECTION DETAIL AT HEAD  
SCALE: 3/4"=1'-0"

NOTE: PLATE STEEL FINISH COATING TO BE "BLACK" COLOR, SUBMIT SAMPLES FOR APPROVAL

EXTERIOR



2 S3-01

4 S3-02

HARBORWALK INTERIOR

3 S3-02

5 TYPICAL JAMB DETAIL  
SCALE: 3/4"=1'-0"

P:\2018\182118 - Landmarks\182118 Landmarks\182118 S3-02.dwg - Aug 30, 2017 - 5:23 pm - BHP/ICE



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SYNERGY INVESTMENTS

Drawing Title:

TYPICAL ARCH DETAILS

Revisions:

Submission:

LANDMARKS

Date: 08/30/2017  
Project Number: 18231-0  
Project Manager: SAM  
Drawn By: BWP  
Scale: AS NOTED

S3-02





1 TYPICAL ARCH HEAD  
SCALE: NTS



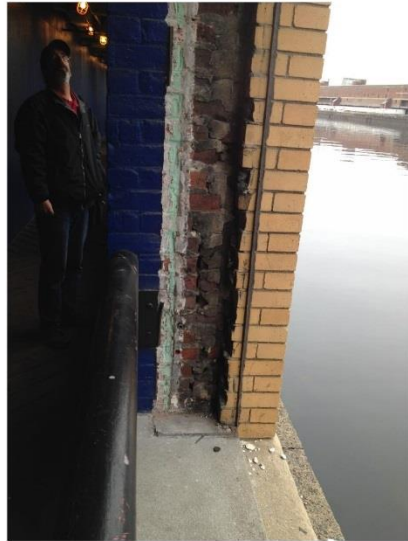
2 TYPICAL ARCH HEAD  
SCALE: NTS



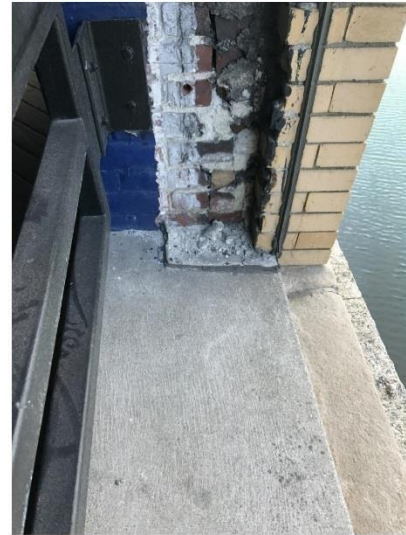
3 TYPICAL ARCH HEAD  
SCALE: NTS



4 TYPICAL ARCH JAMB  
SCALE: NTS



5 TYPICAL ARCH JAMB AND SILL  
SCALE: NTS



6 TYPICAL ARCH SILL  
SCALE: NTS

PHOTO 1 (21) BY LANDMARKS/UT/DOCS/PHOTOS/STANDARDS/11/21/18 5:40 | PHOTO 4 (REMOVED) BY AUG 12, 2017 12:23 PM @RICE



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FACADE REPAIRS

SYNERGY  
 INVESTMENTS

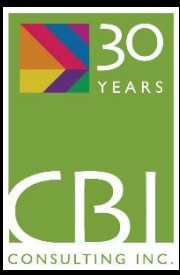
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 CONDITIONS  
 PHOTO REFERENCE

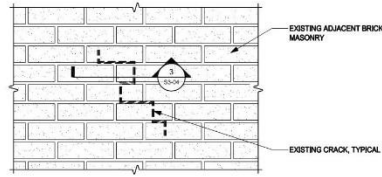
Revisions:

Submission:  
 LANDMARKS

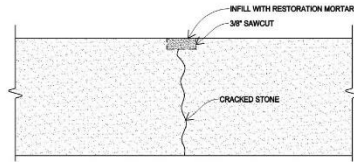
Date: 08/30/2017  
 Project Number: 18231-0  
 Project Manager: SAM  
 Drawn By: BWP  
 Scale: AS NOTED

S3-03

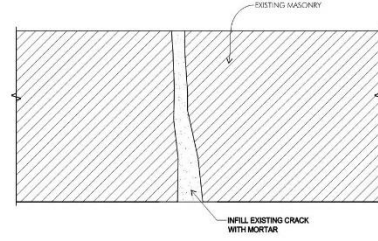




1 TYPICAL BRICK REPAIR DETAIL  
SCALE: 1/2" = 1'-0"

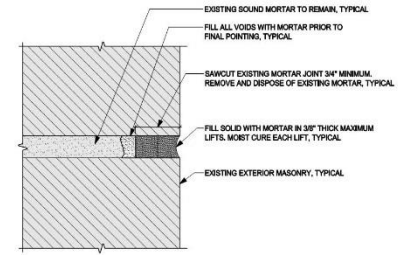


2 REPAIR OF CRACKED STONE SILL OR BANDS (TOP SURFACE SHOWN) IF NEEDED AS DIRECTED BY ENGINEER IN THE FIELD  
SCALE: N.T.S.



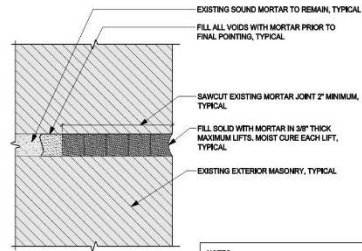
3 TYPICAL CRACK REPAIR DETAIL AT BRICK  
SCALE: N.T.S.

NOTE: SOLID LIGHT GRAY HATCH (▨) REPRESENTS EXISTING CONSTRUCTION.



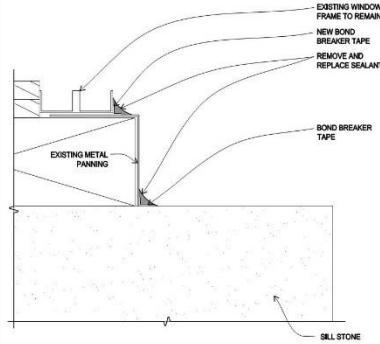
4 TYPICAL BRICK POINTING DETAIL  
SCALE: 1/2" = 1'-0"

NOTE: SOLID LIGHT GRAY HATCH (▨) REPRESENTS EXISTING CONSTRUCTION.

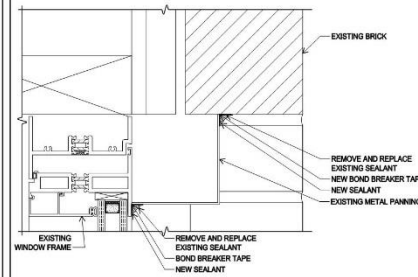


NOTES:  
1. DEEP POINTING TO BE DONE IN LIMITED CONTROLLED AREAS ALONG EXISTING BRICK WALL AS TO NOT DISRUPT THE STRUCTURAL INTEGRITY OF THE ABOVE BRICK.

5 TYPICAL DEEP POINTING DETAIL  
SCALE: 1/2" = 1'-0"



6 SEALANT REPLACEMENT AT WINDOW SILL  
SCALE: 3/4" = 1'-0"



7 JAMB SEALANT DETAIL SHOWN HEAD CONDITION SIMILAR  
SCALE: 3/4" = 1'-0"



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FACADE REPAIRS

SYNERGY INVESTMENTS

Drawing Title:

TYPICAL FACADE REPAIR DETAILS

Revisions:

Submission:

LANDMARKS

Date: 08/30/2017  
Project Number: 16231-B  
Project Manager: SAPM  
Drawn By: SHVP  
Scale: AS NOTED

S3-04





THANK YOU!

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