



CITY OF BOSTON THE ENVIRONMENT DEPARTMENT

2010 APPROVAL
LETTER

Boston City Hall, Room 805 • Boston, MA 02201 • 617/635-3850 • FAX: 617/635-3435

17 May 2010

ST. BOTOLPH AREA ARCHITECTURAL CONSERVATION DISTRICT COMMISSION

GTI Properties
Katherine Cipriani
530 Harrison Avenue
Boston, MA 02118

CERTIFICATE OF DESIGN APPROVAL (Administrative Review)

NOTICE OF DECISION

Application 10.1142 SB, 10.1143 SB, 10.1144 SB, 10.1145 SB, 10.1146 SB, 10.1147 SB
158, 162, 164, 166-168, 172, 174 ST. BOTOLPH STREET

Dear Ms. Cipriani:

The staff of the St. Botolph Area Architectural Conservation District Commission has reviewed and approved your application to clean and repoint masonry and replace at the above referenced addresses on St. Botolph Street. This work is approved as submitted in your application, contingent upon compliance with the following guidelines, where applicable:

Mortar Joint Profile and Color: Based upon documentation submitted with the application, the appropriate mortar joint profile for the building is convex; the mortar color will be adjusted to match existing conditions as specified in the application.

Replacement Windows: As specified in the application, the replacement windows shall be sized to properly fit the openings, including those with an arched upper sash; the light configuration and muntin profile will be consistent with the specifications provided with the application.

This determination is based solely upon the information submitted to the staff with the application. If statutory reviews by other authorities conflict with this decision, those actions may affect the status of this certificate. In order to expedite the review process, the commission has delegated certain items of ordinary maintenance and repair which do not alter any exterior features to its staff pending ratification at its next scheduled public hearing. The applicant is required to notify the commission of any changes to this proposal, and failure to do so may affect the status of this certificate. The commission reserves the right to require remedial action to bring work into compliance with commission standards if any work occurring without a certificate of design approval results in significant change in the appearance of the building or if work does not meet the noted specifications of a certificate of design approval. This certificate is valid for two years from the date of issue. Please bring a copy of this certificate with you when filing for permits from ISD. Photos of the completed project should be submitted to this office to confirm compliance with this certificate.

If you have any questions regarding appropriate compliance with this decision, please contact the commission staff at (617) 635-3850. Thank you for your cooperation with the commission.

Sincerely,

John D. Clemson
Assistant Preservation Planner
St. Botolph Area Architectural Conservation District

2010

PERMIT UNUSED



Thomas M. Menino
Mayor

Boston Inspectional Services Department

Building and Structures Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

Gary P. Moccia
Inspector of Buildings

PERMIT

For minor alteration, repair, replacement, renovation & demolition, not to include structural work, egress, or change of occupancy

Primary Contact: **KATHERINE GIPRIANI**

Name of Owner: **LIMA WILLIAM A**

Address: **158 Saint Botolph St
BOSTON, MA 02115**

Neighborhood: **BOSTON**

Application/Permit No: **SF41647**

Work Description:

Repoint and repair brownstone install new windows

Issue Date: **10/08/2010**

Fees: **\$420.00**

Declared Value: **\$40,000.00**

Legal Occupancy: **12 lodgers.
doc#965/197**

Ward: **04**

Date	Building Inspector	Insp Type	Date	Building Inspector	Insp Type

Date	Electrical Inspector	Insp Type	Date	Electrical Inspector	Insp Type

Date	Mech Inspector	Insp Type	Date	Mech Inspector	Insp Type

**Construction work is permitted from Mon - Fri, 7am to 6pm, CBC OrdL 16-26.4
POST THIS PERMIT IN VIEW OF THE PUBLIC WAY OR STREET**



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168

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891-771

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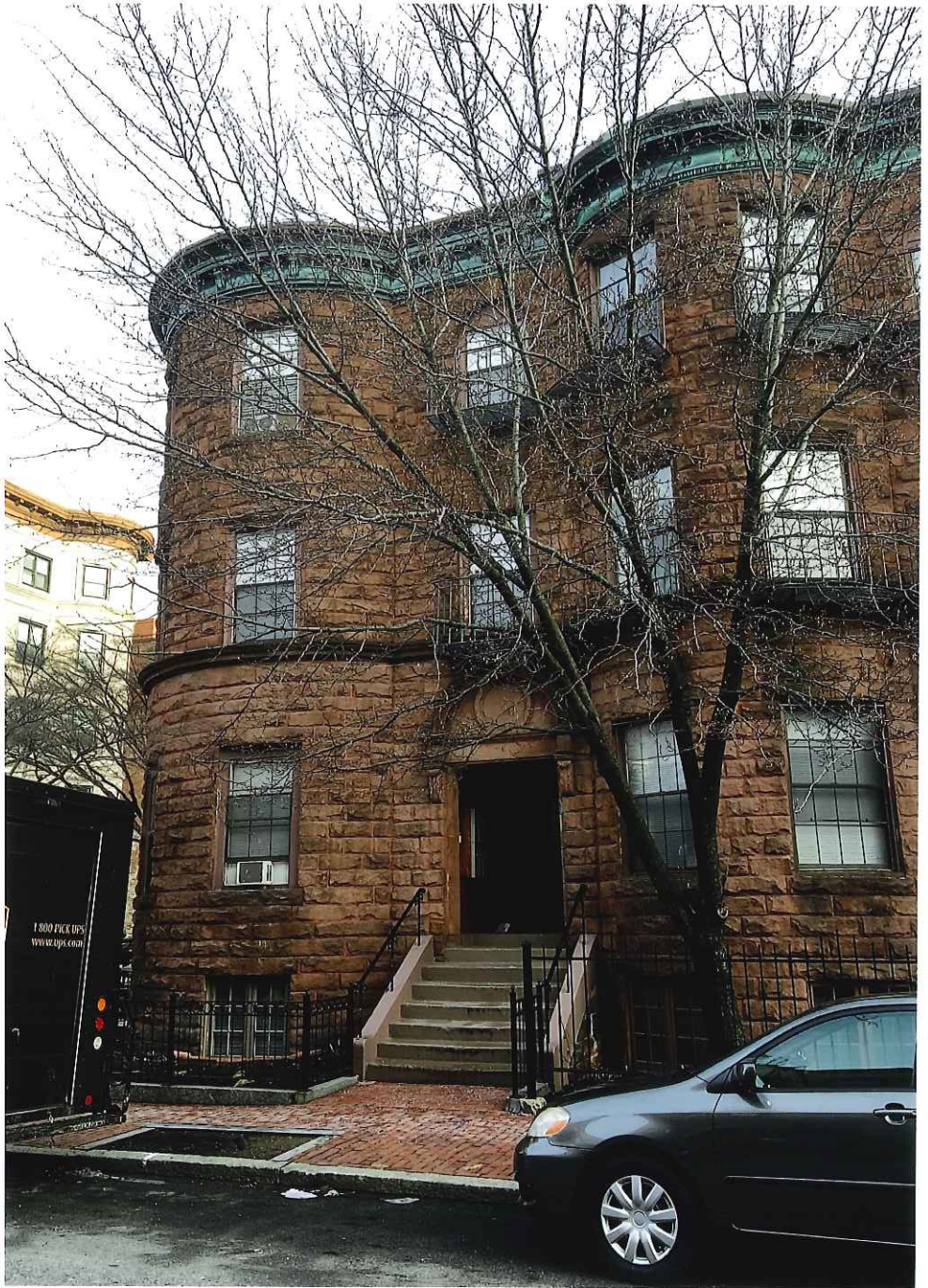
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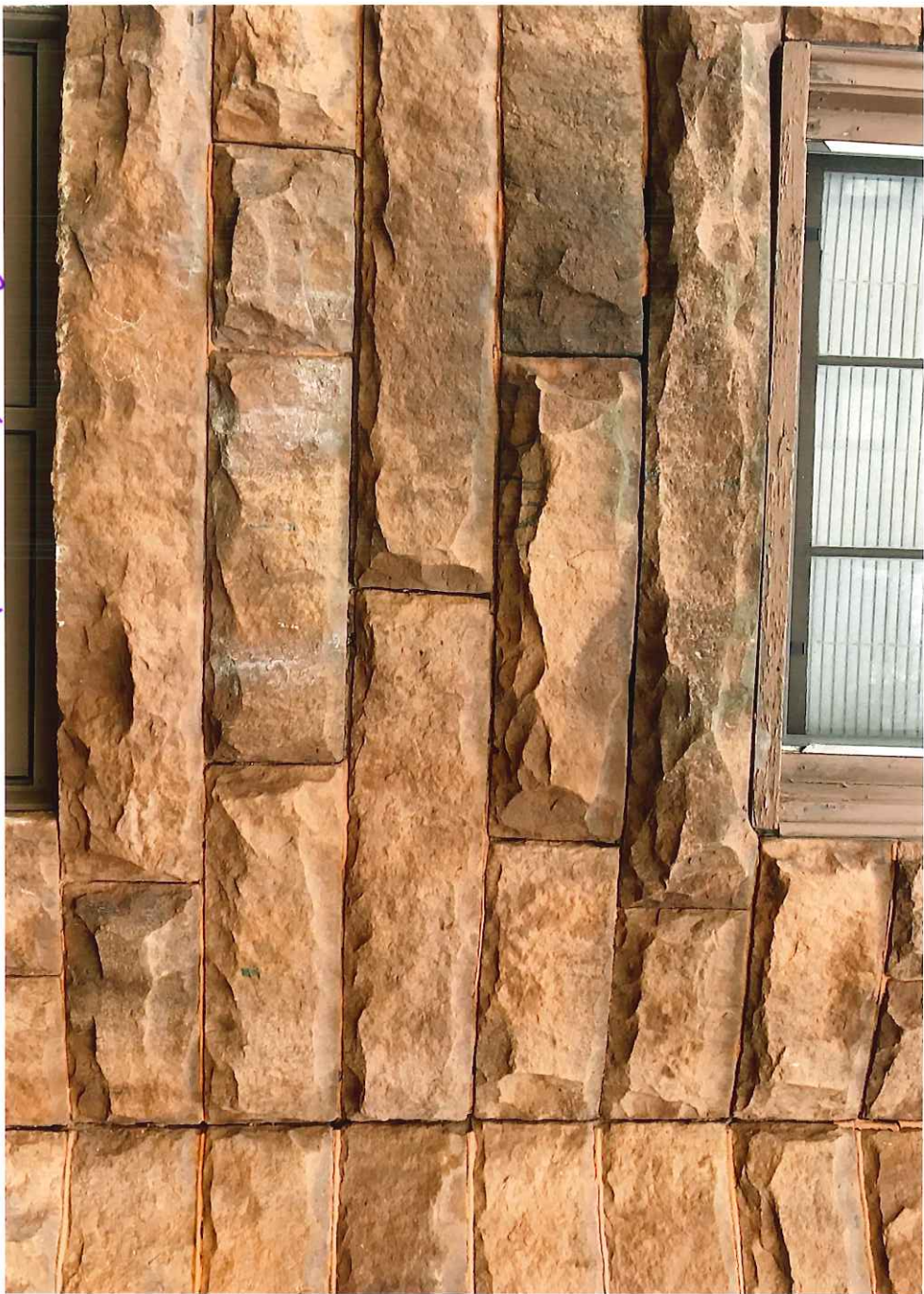


158 ST BOTOLPH EXISTING CONDITIONS

158 ST BOTOLPH ST REAR



158 ST BOTOLPH EXISTING CONDITIONS





158 ST BOTOLPH EXISTING CONDITIONS



172-174 ST BOTOLPH COMPLETED PROJECT

ARCH WINDOWS

174 ST BOTOLPH
COMPLETED
ANCHOR BUILDING
ON BLOCK
TWIN BUILDING
TO 158



174 ST BOTOLPH COMPLETED.



174 ST BOTOLPH REAR VIEW

BASEMENT
CASEMENT ↓

DOUBLE HOUSE →



174 STBOLDPH COMPLETED

