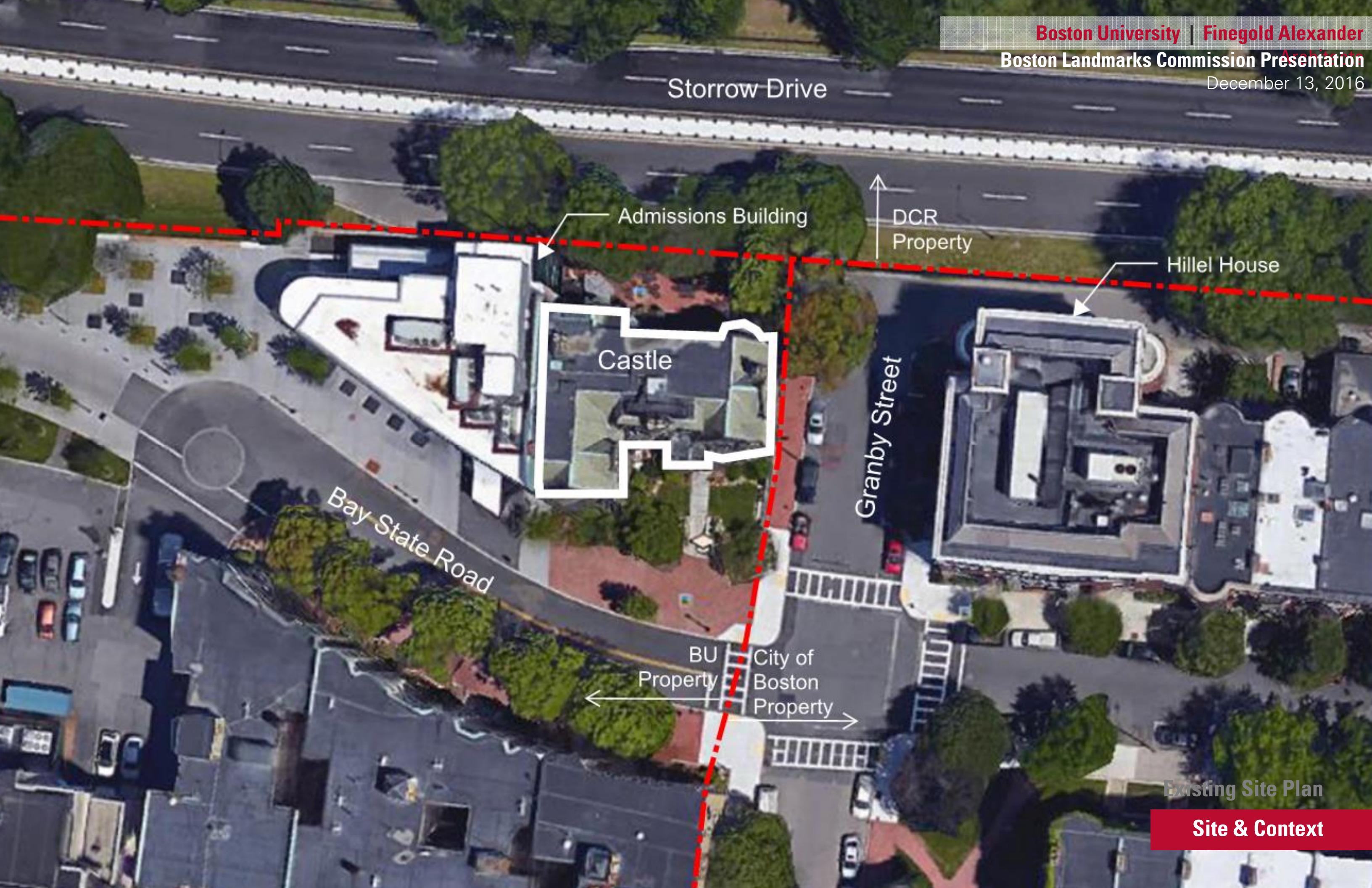




GEORGE D HART WAY
THIS ENTRANCE TO BOSTON UNIVERSITY
FROM THE CASTLE TO THE CENTER OF LAW
IS DEDICATED TO
UNIVERSITY TRUSTEE GEORGE D HART
AND HIS WIFE
THE LADY MARY HART
GEORGE D HART JR., DOUGLAS E HART
BRUCE W HART
1971

Alumni Center at the Castle



Storror Drive

Admissions Building

DCR
Property

Hillel House

Castle

Granby Street

Bay State Road

BU
Property

City of
Boston
Property

Existing Site Plan

Site & Context





Storrow Drive Context



Exterior restoration of the Castle

- Existing Masonry Repairs, including selective repointing and appropriate cleaning of the sandstone
- Installation of a new slate roof to match the existing slate
- Window restoration
- Restoration is intended to carry the building forward for the next 100 years

Creating Accessibility

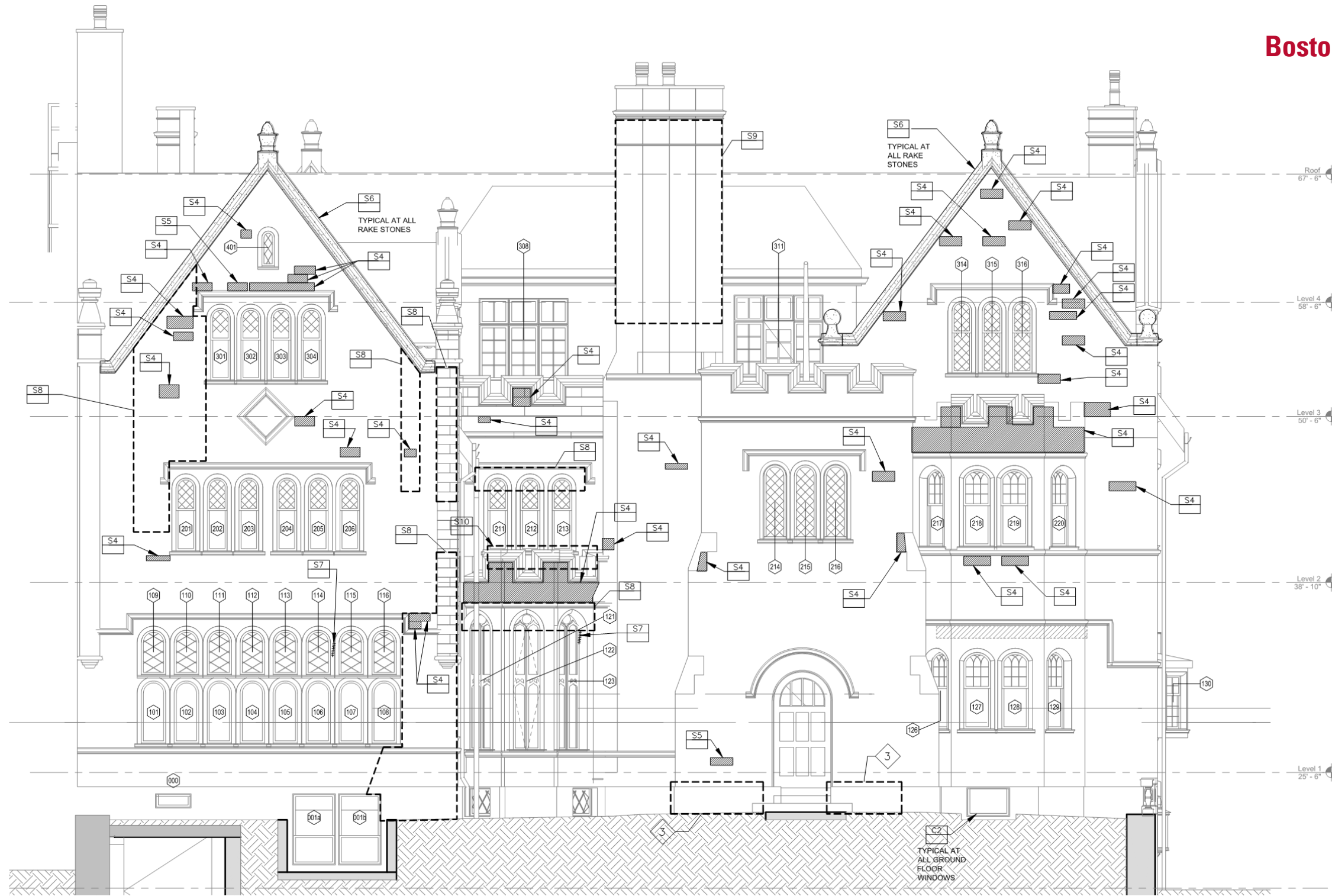
- Accessible entrance to Pub at Granby Street
- Small rear addition creates an entirely accessible BU Pub and patio area
- Completing the planned connections between the Leventhal Center and the Castle

Rear Addition

- Creation of the addition due to insertion of commercial kitchen at ground floor level
- Kitchen allows for proper food service at the Castle – currently many truck trips and front door deliveries needed for events between the Castle and 100 Bay State Road

Exterior restoration of the Castle





Proposed Elevation Facing Bay State Road Showing Masonry Work

1 South Elevation
1/4" = 1'-0"

MASONRY RESTORATION GENERAL NOTES

- GRAPHIC INDICATIONS OF WORK SPECIFIED ON DRAWINGS ARE INTENDED TO GIVE LOCATION OF REPAIR AND APPROXIMATE SIZE OF REPAIR ONLY. ALL WORK SHOULD BE FIELD VERIFIED.
- CLEAN 100% OF MASONRY UNLESS OTHERWISE NOTED USING DESIGNATED CHEMICAL CLEANERS AND LOW PRESSURE WATER RINSE AS DETERMINED BY FIELD TESTING. SPECIAL CLEANING METHODS MAY BE REQUIRED FOR INTRICATE ORNAMENTAL STONE UNITS. METHODS FOR CLEANING WILL VARY ON DIFFERENT SURFACES DEPENDING ON THE LEVEL OF SOILING. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040110.11.
- IN ADDITION TO GENERAL CLEANING REMOVE METALLIC STAINING, BIOLOGICAL GROWTH, CARBON DEPOSITS AND EFFLORESCENCE INCLUDING AREAS NOT SPECIFICALLY NOTED ON THE DRAWINGS. ALL RESTORATION CLEANING SHALL BE PERFORMED PRIOR TO ALL OTHER MASONRY WORK. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040110.11.
- RAKE OUT AND REPOINT 100% OF MORTAR JOINTS. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040110.51.
- REMOVE ALL PINS, ANCHORS, DOWELS, AND OTHER FERROUS ELEMENTS FROM MASONRY. PATCH HOLES IN MASONRY LEFT BY REMOVAL OF FERROUS ELEMENTS UNLESS OTHERWISE INDICATED. HOLES IN STONE UNITS SHALL BE PATCHED WITH A COMPOSITE PATCHING MORTAR MATCHING ORIGINAL STONE IN COLOR AND TEXTURE. NOT ALL LOCATIONS ARE NOTED ON THE DRAWINGS. ASSUME AN ADDITIONAL 25 REMOVALS. REMOVE ANCHORS AND PATCH HOLES LEFT BY SCAFFOLDING OR SHORING ANCHORS WHEN SCAFFOLD IS REMOVED AT THE COMPLETION OF THE PROJECT. SCAFFOLDING HOLES NOT INCLUDED IN ADDITIONAL REMOVALS QUANTITY. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140.
- INSTALL LEAD "T" JOINT COVERS ON ALL HORIZONTAL MORTAR JOINTS.
- PERFORM A FINAL MASONRY WASHDOWN AFTER ALL MASONRY RESTORATION WORK IS COMPLETE.
- REMOVE, SCRAPE AND PAINT ALL IRON WINDOW GRILLES. REINSTALL USING STAINLESS STEEL ANCHORS. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 050174.91.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL NEW WORK.

SANDSTONE

- S1** REPAIR CRACK BY ROUTING AND FILLING WITH COMPOSITE PATCHING MATERIAL. REFER TO SPECIFICATION SECTION 040140.
- S2** REPAIR CRACK BY PINNING WITH STAINLESS STEEL THREADED ROD AND FILLING CRACK WITH COMPOSITE PATCHING MATERIAL. REFER TO SPECIFICATION SECTION 040140.
- S3** REMOVE EXISTING PATCH AND INSTALL NEW PATCH IN STONE WITH COMPOSITE PATCHING MATERIAL. REFER TO SPECIFICATION SECTION 040140.
- S4** REMOVE EXISTING PATCH AND INSTALL SALVAGED STONE DUTCHMAN. REFER TO ARCHITECTURAL DEMO DRAWINGS AND SPECIFICATION SECTION 040140.
- S5** REMOVE DAMAGED OR DETERIORATED STONE AND REPAIR WITH SALVAGED OR NEW STONE DUTCHMAN. REFER TO ARCHITECTURAL DEMO DRAWINGS AND SPECIFICATION SECTION 040140.
- S6** REMOVE DISPLACED STONE UNIT AND RESET WITH STAINLESS STEEL ANCHORS. REFER TO SPECIFICATION SECTION 040140.
- S7** REMOVE EMBEDDED FERROUS ANCHOR AND PATCH HOLE WITH COMPOSITE PATCHING MORTAR. REFER TO SPECIFICATION SECTION 040140.

- S8** REMOVE LOOSE AND FLAKING STONE AT AREAS OF EROSION. REFER TO SPECIFICATION SECTION 040140.
- S9** REMOVE LOOSE AND FLAKING STONE AND RETOOL SURFACE AT AREAS OF EROSION. REFER TO SPECIFICATION SECTION 040140.
- S10** REMOVE AND SALVAGE CAPS OF CRENELS. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS.

MASONRY CLEANING

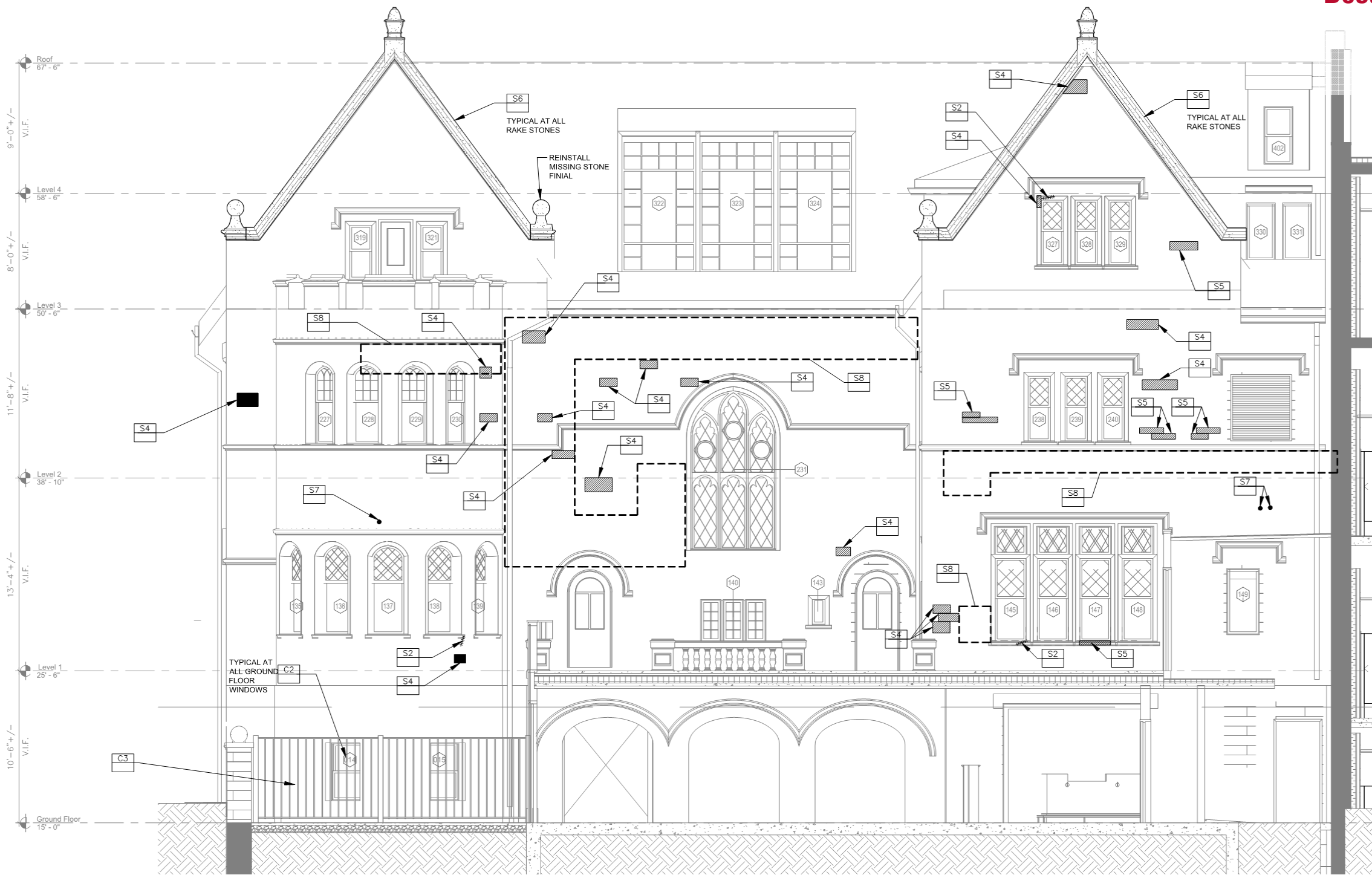
- 1** REMOVE HEAVY CARBON ENCRUSTATION WITH PROLONGED WATER SOAK (MISTING) OR OTHER METHOD AS DETERMINED BY TESTING. REFER TO SPECIFICATION SECTION 040110.11.
- 2** REMOVE PAINT OR ANTI-GRAFFITI COATING. REFER TO SPECIFICATION SECTION 040110.11.
- 3** REMOVE STAINS FROM SIDES OF MAIN ENTRANCE. REFER TO SPECIFICATION SECTION 040110.11.

CAST IRON

- C1** CAST IRON RESTORATION: REFER TO SPECIFICATION SECTION 050174.91.
- C2** REMOVE CAST IRON WINDOW GRILLES. SCRAPE AND PAINT. REINSTALL WITH NEW STAINLESS STEEL ANCHORS. REFER TO SPECIFICATION SECTION 050174.91.
- C3** INSTALL RECLAIMED PATIO FENCING WITH STAINLESS STEEL ANCHORS. REFER TO SPECIFICATION SECTION 050174.91.

LEGEND

	CRACK		CLEANING NOTE
	UNIT REPLACEMENT		TREATMENT NOTE
	AREA OF STONE REQUIRING DUTCHMAN REPAIR		
	UNIT TO BE REMOVED AND RESET		
	AREA OF MASONRY UNIT TO BE PATCHED		
	ABANDONED FERROUS ANCHOR TO BE REMOVED. PATCH HOLE		
	REFER TO NOTE / TAG FOR SPECIFIC TREATMENT		



Proposed Elevation Facing Storrow Drive Showing Masonry Work

1 North Elevation
1/4" = 1'-0"

MASONRY RESTORATION GENERAL NOTES

- GRAPHIC INDICATIONS OF WORK SPECIFIED ON DRAWINGS ARE INTENDED TO GIVE LOCATION OF REPAIR AND APPROXIMATE SIZE OF REPAIR ONLY. ALL WORK SHOULD BE FIELD VERIFIED.
- CLEAN 100% OF MASONRY UNLESS OTHERWISE NOTED USING DESIGNATED CHEMICAL CLEANERS AND LOW PRESSURE WATER RINSE AS DETERMINED BY FIELD TESTING. SPECIAL CLEANING METHODS MAY BE REQUIRED FOR INTRICATE ORNAMENTAL STONE UNITS. METHODS FOR CLEANING WILL VARY ON DIFFERENT SURFACES DEPENDING ON THE LEVEL OF SOILING. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040110.11.
- IN ADDITION TO GENERAL CLEANING REMOVE METALLIC STAINING, BIOLOGICAL GROWTH, CARBON DEPOSITS AND EFFLORESCENCE INCLUDING AREAS NOT SPECIFICALLY NOTED ON THE DRAWINGS. ALL RESTORATION CLEANING SHALL BE PERFORMED PRIOR TO ALL OTHER MASONRY WORK. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040110.11.
- RAKE OUT AND REPOINT 100% OF MORTAR JOINTS. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040110.51.
- REMOVE ALL PINS, ANCHORS, DOWELS, AND OTHER FERROUS ELEMENTS FROM MASONRY. PATCH HOLES IN MASONRY LEFT BY REMOVAL OF FERROUS ELEMENTS UNLESS OTHERWISE INDICATED. HOLES IN STONE UNITS SHALL BE PATCHED WITH A COMPOSITE PATCHING MORTAR MATCHING ORIGINAL STONE IN COLOR AND TEXTURE. NOT ALL LOCATIONS ARE NOTED ON THE DRAWINGS, ASSUME AN ADDITIONAL 25 REMOVALS. REMOVE ANCHORS AND PATCH HOLES LEFT BY SCAFFOLDING OR SHORING ANCHORS WHEN SCAFFOLD IS REMOVED AT THE COMPLETION OF THE PROJECT. SCAFFOLDING HOLES NOT INCLUDED IN ADDITIONAL REMOVALS QUANTITY. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040110.11.
- INSTALL LEAD "T" JOINT COVERS ON ALL HORIZONTAL MORTAR JOINTS.
- PERFORM A FINAL MASONRY WASHDOWN AFTER ALL MASONRY RESTORATION WORK IS COMPLETE.
- REMOVE, SCRAPE AND PAINT ALL IRON WINDOW GRILLES. REINSTALL USING STAINLESS STEEL ANCHORS. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 050174.91.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL NEW WORK.

SANDSTONE

- S1 REPAIR CRACK BY ROUTING AND FILLING WITH COMPOSITE PATCHING MATERIAL. REFER TO SPECIFICATION SECTION 040140.
- S2 REPAIR CRACK BY PINNING WITH STAINLESS STEEL THREADED ROD AND FILLING CRACK WITH COMPOSITE PATCHING MATERIAL. REFER TO SPECIFICATION SECTION 040140.
- S3 REMOVE EXISTING PATCH AND INSTALL NEW PATCH IN STONE WITH COMPOSITE PATCHING MATERIAL. REFER TO SPECIFICATION SECTION 040140.
- S4 REMOVE EXISTING PATCH AND INSTALL SALVAGED STONE DUTCHMAN. REFER TO ARCHITECTURAL DEMO DRAWINGS AND SPECIFICATION SECTION 040140.
- S5 REMOVE DAMAGED OR DETERIORATED STONE AND REPAIR WITH SALVAGED OR NEW STONE DUTCHMAN. REFER TO ARCHITECTURAL DEMO DRAWINGS AND SPECIFICATION SECTION 040140.
- S6 REMOVE DISPLACED STONE UNIT AND RESET WITH STAINLESS STEEL ANCHORS. REFER TO SPECIFICATION SECTION 040140.
- S7 REMOVE EMBEDDED FERROUS ANCHOR AND PATCH HOLE WITH COMPOSITE PATCHING MORTAR. REFER TO SPECIFICATION SECTION 040140.

- S8 REMOVE LOOSE AND FLAKING STONE AT AREAS OF EROSION. REFER TO SPECIFICATION SECTION 040140.
- S9 REMOVE LOOSE AND FLAKING STONE AND RETOOL SURFACE AT AREAS OF EROSION. REFER TO SPECIFICATION SECTION 040140.
- S10 REMOVE AND SALVAGE CAPS OF CRENELS. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS.

MASONRY CLEANING

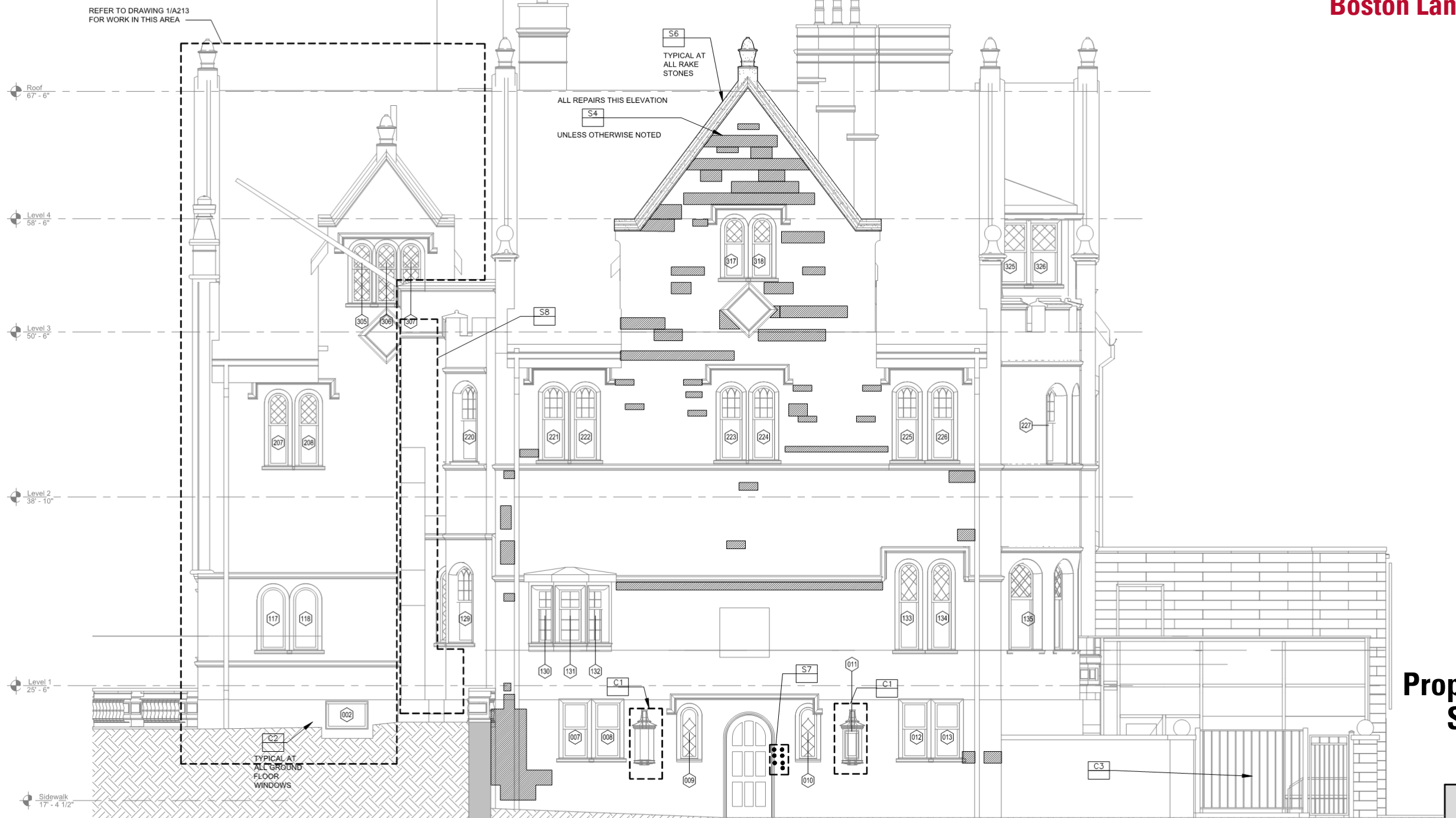
- 1 REMOVE HEAVY CARBON ENCRUSTATION WITH PROLONGED WATER SOAK (MISTING) OR OTHER METHOD AS DETERMINED BY TESTING. REFER TO SPECIFICATION SECTION 040110.11.
- 2 REMOVE PAINT OR ANTI-GRAFFITI COATING. REFER TO SPECIFICATION SECTION 040110.11.
- 3 REMOVE STAINS FROM SIDES OF MAIN ENTRANCE. REFER TO SPECIFICATION SECTION 040110.11.

CAST IRON

- C1 CAST IRON RESTORATION: REFER TO SPECIFICATION SECTION 050174.91.
- 1. REMOVE CAST IRON ELEMENT AND TRANSPORT TO SHOP.
- 2. SANDBLAST TO REMOVE ALL FINISHES TO BARE METAL.
- 3. REPLICATE MISSING ELEMENTS.
- 4. APPLY (3) COATS OF PAINT FINISH.
- 5. COORDINATE REWIRING OF LIGHT FIXTURES WITH ELECTRICIAN.
- 6. REINSTALL.
- C2 REMOVE CAST IRON WINDOW GRILLES. SCRAPE AND PAINT. REINSTALL WITH NEW STAINLESS STEEL ANCHORS. REFER TO SPECIFICATION SECTION 050174.91.
- C3 INSTALL RECLAIMED PATIO FENCING WITH STAINLESS STEEL ANCHORS. REFER TO SPECIFICATION SECTION 050174.91.

LEGEND

- CRACK
- UNIT REPLACEMENT
- AREA OF STONE REQUIRING DUTCHMAN REPAIR
- UNIT TO BE REMOVED AND RESET
- AREA OF MASONRY UNIT TO BE PATCHED
- ABANDONED FERROUS ANCHOR TO BE REMOVED. PATCH HOLE
- REFER TO NOTE / TAG FOR SPECIFIC TREATMENT
- CLEANING NOTE
- TREATMENT NOTE



Proposed Elevation Facing Granby Street Showing Masonry Work

1 East Elevation
1/4" = 1'-0"

MASONRY RESTORATION GENERAL NOTES

- GRAPHIC INDICATIONS OF WORK SPECIFIED ON DRAWINGS ARE INTENDED TO GIVE LOCATION OF REPAIR AND APPROXIMATE SIZE OF REPAIR ONLY. ALL WORK SHOULD BE FIELD VERIFIED.
- CLEAN 100% OF MASONRY UNLESS OTHERWISE NOTED USING DESIGNATED CHEMICAL CLEANERS AND LOW PRESSURE WATER RINSE AS DETERMINED BY FIELD TESTING. SPECIAL CLEANING METHODS MAY BE REQUIRED FOR INTRICATE ORNAMENTAL STONE UNITS. METHODS FOR CLEANING WILL VARY ON DIFFERENT SURFACES DEPENDING ON THE LEVEL OF SOLING. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 04010.11.
- IN ADDITION TO GENERAL CLEANING REMOVE METALLIC STAINING, BIOLOGICAL GROWTH, CARBON DEPOSITS AND EFFLORESCENCE INCLUDING AREAS NOT SPECIFICALLY NOTED ON THE DRAWINGS. ALL RESTORATION CLEANING SHALL BE PERFORMED PRIOR TO ALL OTHER MASONRY WORK. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 04010.11.
- RAKE OUT AND REPOINT 100% OF MORTAR JOINTS. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040110.51.
- REMOVE ALL PINS, ANCHORS, DOWELS, AND OTHER FERROUS ELEMENTS FROM MASONRY. PATCH HOLES IN MASONRY LEFT BY REMOVAL OF FERROUS ELEMENTS UNLESS OTHERWISE INDICATED. HOLES IN STONE UNITS SHALL BE PATCHED WITH A COMPOSITE PATCHING MORTAR MATCHING ORIGINAL STONE IN COLOR AND TEXTURE. NOT ALL LOCATIONS ARE NOTED ON THE DRAWINGS, ASSUME AN ADDITIONAL 25 REMOVALS. REMOVE ANCHORS AND PATCH HOLES LEFT BY SCAFFOLDING OR SHORING ANCHORS WHEN SCAFFOLD IS REMOVED AT THE COMPLETION OF THE PROJECT. SCAFFOLDING HOLES NOT INCLUDED IN ADDITIONAL REMOVALS QUANTITY. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140.
- INSTALL LEAD "T" JOINT COVERS ON ALL HORIZONTAL MORTAR JOINTS.
- PERFORM A FINAL MASONRY WASHDOWN AFTER ALL MASONRY RESTORATION WORK IS COMPLETE.
- REMOVE, SCRAPE AND PAINT ALL IRON WINDOW GRILLES. REINSTALL USING STAINLESS STEEL ANCHORS. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 050174.91.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL NEW WORK.

SANDSTONE

- S1** REPAIR CRACK BY ROUTING AND FILLING WITH COMPOSITE PATCHING MATERIAL. REFER TO SPECIFICATION SECTION 040140.
- S2** REPAIR CRACK BY PINNING WITH STAINLESS STEEL THREADED ROD AND FILLING CRACK WITH COMPOSITE PATCHING MATERIAL. REFER TO SPECIFICATION SECTION 040140.
- S3** REMOVE EXISTING PATCH AND INSTALL NEW PATCH IN STONE WITH COMPOSITE PATCHING MATERIAL. REFER TO SPECIFICATION SECTION 040140.
- S4** REMOVE EXISTING PATCH AND INSTALL SALVAGED STONE DUTCHMAN. REFER TO ARCHITECTURAL DEMO DRAWINGS AND SPECIFICATION SECTION 040140.
- S5** REMOVE DAMAGED OR DETERIORATED STONE AND REPAIR WITH SALVAGED OR NEW STONE DUTCHMAN. REFER TO ARCHITECTURAL DEMO DRAWINGS AND SPECIFICATION SECTION 040140.
- S6** REMOVE DISPLACED STONE UNIT AND RESET WITH STAINLESS STEEL ANCHORS. REFER TO SPECIFICATION SECTION 040140.
- S7** REMOVE EMBEDDED FERROUS ANCHOR AND PATCH HOLE WITH COMPOSITE PATCHING MORTAR. REFER TO SPECIFICATION SECTION 040140.

- S8** REMOVE LOOSE AND FLAKING STONE AT AREAS OF EROSION. REFER TO SPECIFICATION SECTION 040140.
- S9** REMOVE LOOSE AND FLAKING STONE AND RETOOL SURFACE AT AREAS OF EROSION. REFER TO SPECIFICATION SECTION 040140.
- S10** REMOVE AND SALVAGE CAPS OF CRENELS. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS.

MASONRY CLEANING

- 1** REMOVE HEAVY CARBON ENCRUSTATION WITH PROLONGED WATER SOAK (MISTING) OR OTHER METHOD AS DETERMINED BY TESTINGS. REFER TO SPECIFICATION SECTION 040110.11.
- 2** REMOVE PAINT OR ANTI-GRAFFITI COATING. REFER TO SPECIFICATION SECTION 040110.11.
- 3** REMOVE STAINS FROM SIDES OF MAIN ENTRANCE. REFER TO SPECIFICATION SECTION 040110.11.

CAST IRON

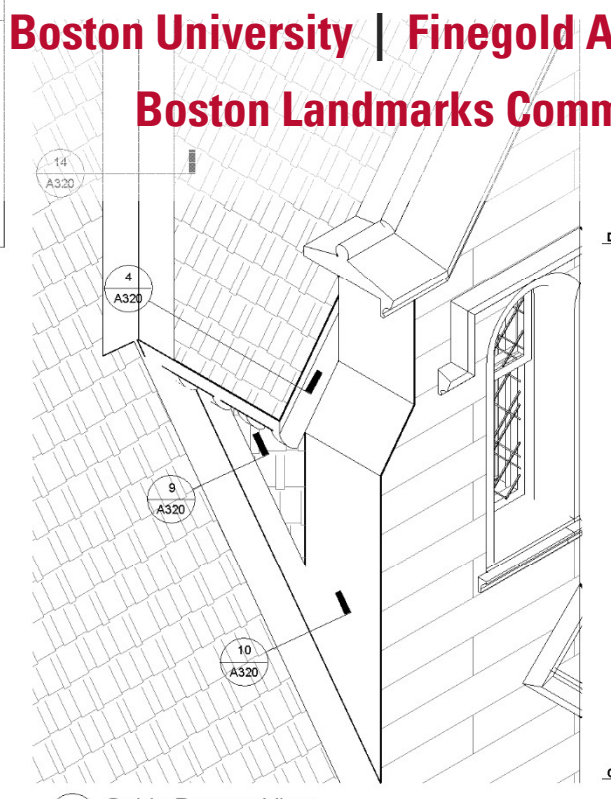
- C1** CAST IRON RESTORATION: REFER TO SPECIFICATION SECTION 050174.91.
- C2** REMOVE CAST IRON WINDOW GRILLES. SCRAPE AND PAINT. REINSTALL WITH NEW STAINLESS STEEL ANCHORS. REFER TO SPECIFICATION SECTION 050174.91.
- C3** INSTALL RECLAIMED PATIO FENCING WITH STAINLESS STEEL ANCHORS. REFER TO SPECIFICATION SECTION 050174.91.

LEGEND

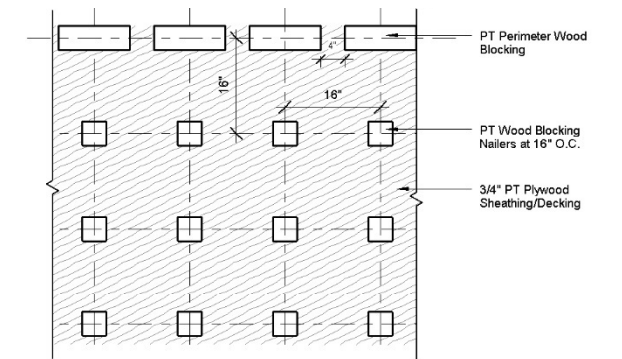
- CRACK
- UNIT REPLACEMENT
- AREA OF STONE REQUIRING DUTCHMAN REPAIR
- UNIT TO BE REMOVED AND RESET
- AREA OF MASONRY UNIT TO BE PATCHED
- ABANDONED FERROUS ANCHOR TO BE REMOVED. PATCH HOLE
- REFER TO NOTE / TAG FOR SPECIFIC TREATMENT
- CLEANING NOTE
- TREATMENT NOTE

General Notes- Exterior Details

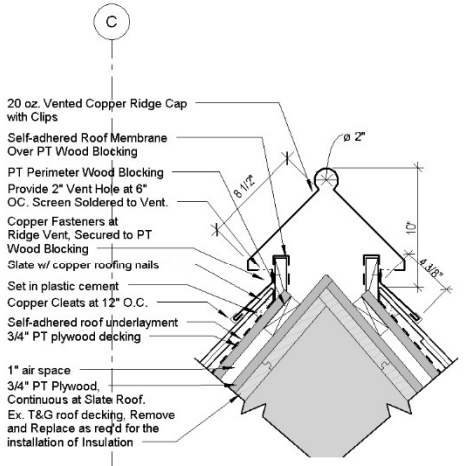
1. Dimensions noted as "clear" are taken from finished face of construction. All dimensions are taken from finished face of construction and from column center lines unless noted otherwise.
2. All indications and notifications on the drawings applying to one area, component or condition shall apply to all other similar areas, components and conditions unless clearly noted otherwise.
3. Drawings are not to be scaled. Dimensions shall take precedence over scale shown on drawings. The contractor shall request clarification from the architect of any dimensional requirements necessary for the proper execution of any affected work prior to the commencement of such work.
4. At vented roofing, provide openings in roof perimeter wood blocking to maintain air flow through 1" air space. 4" gap 16" O.C. Refer to Nailer Diagram.
5. All wood blocking and sheathing to be FRT.



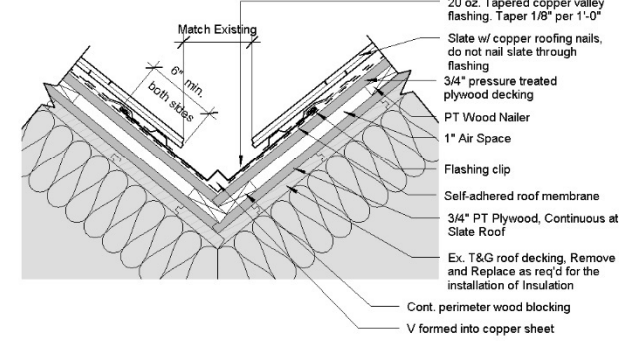
11 Gable Dormer View
3/4" = 1'-0"



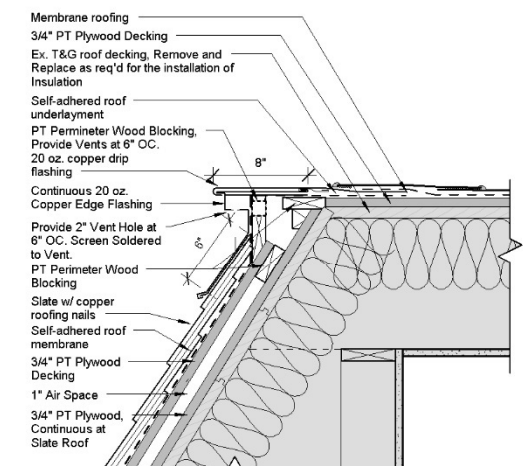
16 Nailer Diagram- Air Space
3/4" = 1'-0"



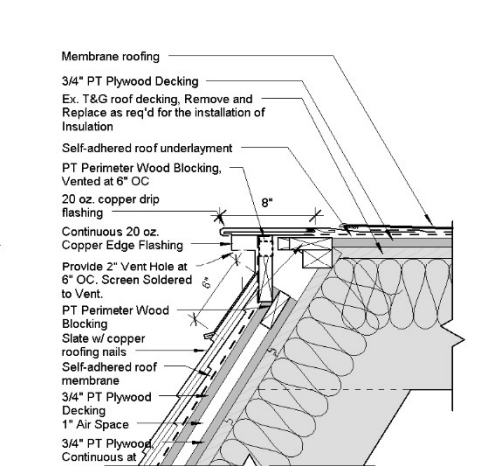
15 Slate Roof Ridge
1 1/2" = 1'-0"



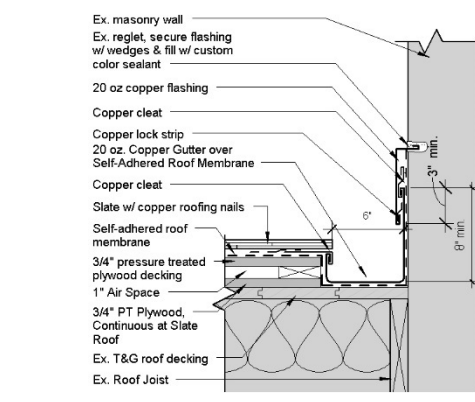
14 Slate Roof Valley
1 1/2" = 1'-0"



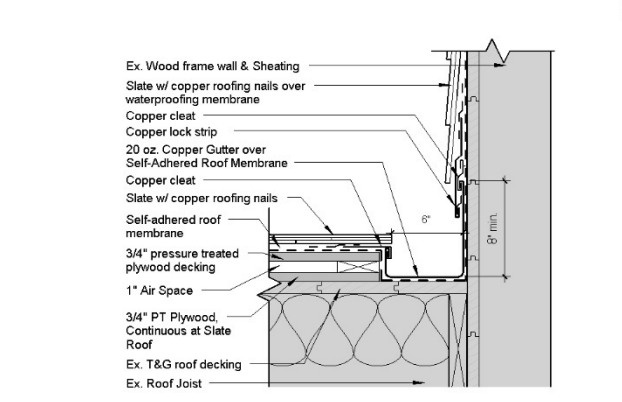
13 Roof Cap to Dormer
1 1/2" = 1'-0"



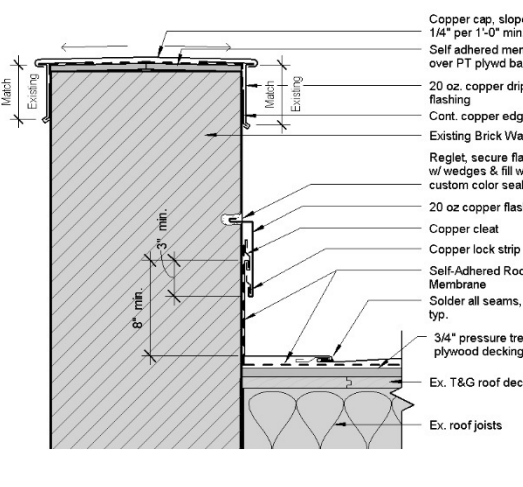
12 Roof Cap to Slate, typ
1 1/2" = 1'-0"



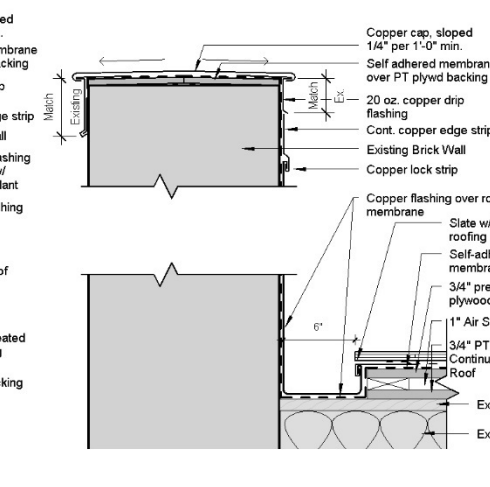
10 Slate Roof at Ex. Masonry Wall
1 1/2" = 1'-0"



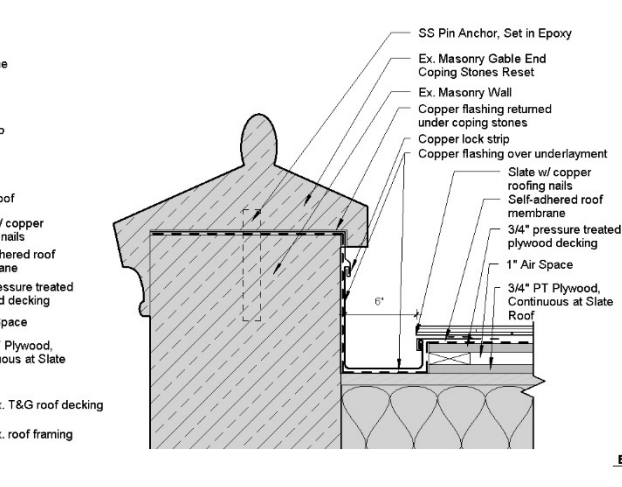
9 Slate Wall to Slate Roof
1 1/2" = 1'-0"



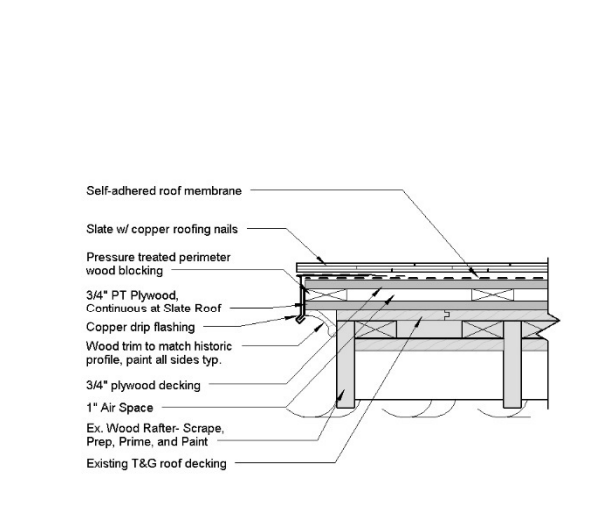
8 Membrane Roof at Ex. Party Wall
1 1/2" = 1'-0"



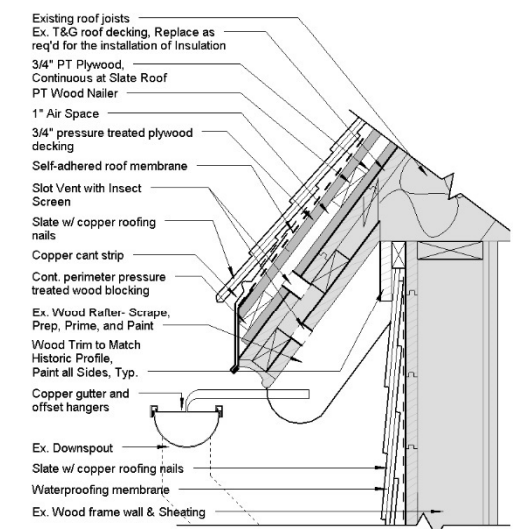
7 Slate Roof at Ex. Party Wall
1 1/2" = 1'-0"



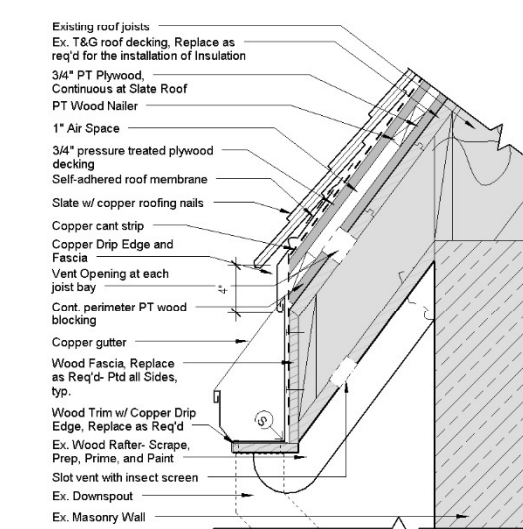
6 Flashing at Existing Parapet Wall
1 1/2" = 1'-0"



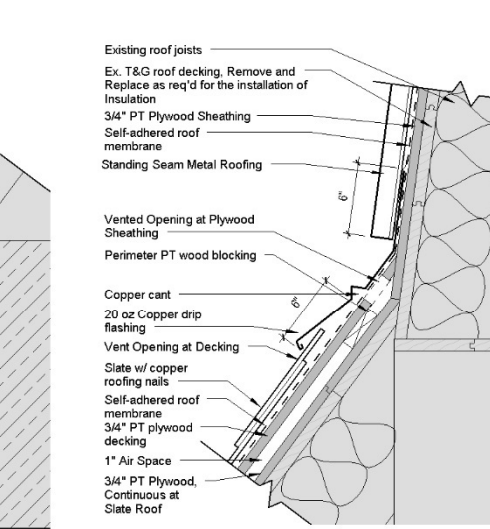
5 Slate Roof Rake
1 1/2" = 1'-0"



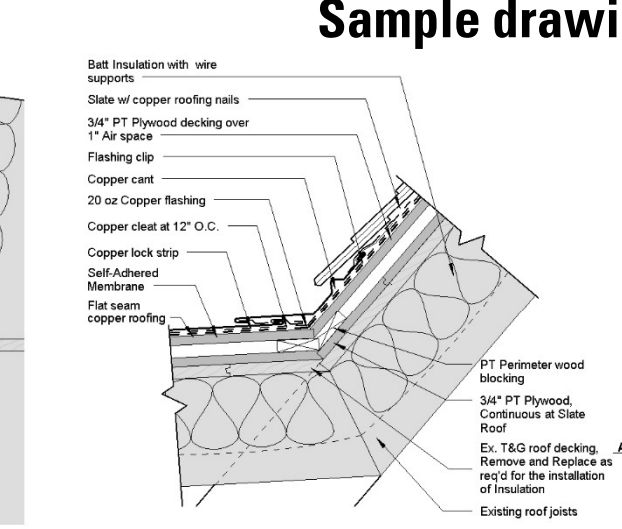
4 Roof Eave at South Dormer
1 1/2" = 1'-0"



3 Slate Roof Eave, typical
1 1/2" = 1'-0"



2 Standing Seam to Slate Roof
1 1/2" = 1'-0"



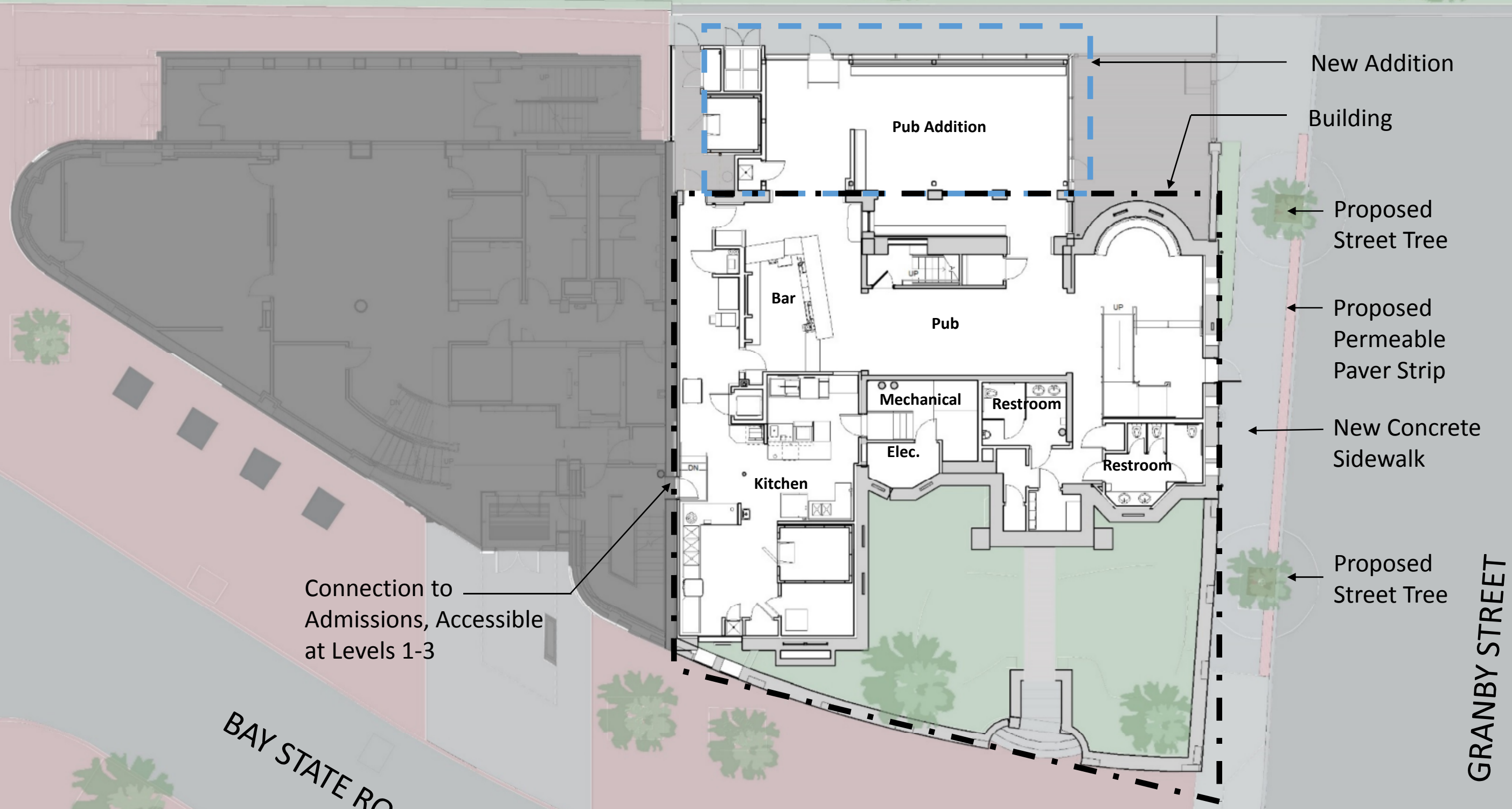
1 Slate to Flat Seam Copper Roof Slope
1 1/2" = 1'-0"

Sample drawing of slate roofing scope

Creating Accessibility



STORROW DRIVE



New Addition

Building

Proposed Street Tree

Proposed Permeable Paver Strip

New Concrete Sidewalk

Proposed Street Tree

GRANBY STREET

Connection to Admissions, Accessible at Levels 1-3

Pub Addition

Bar

Pub

Mechanical

Restroom

Elec.

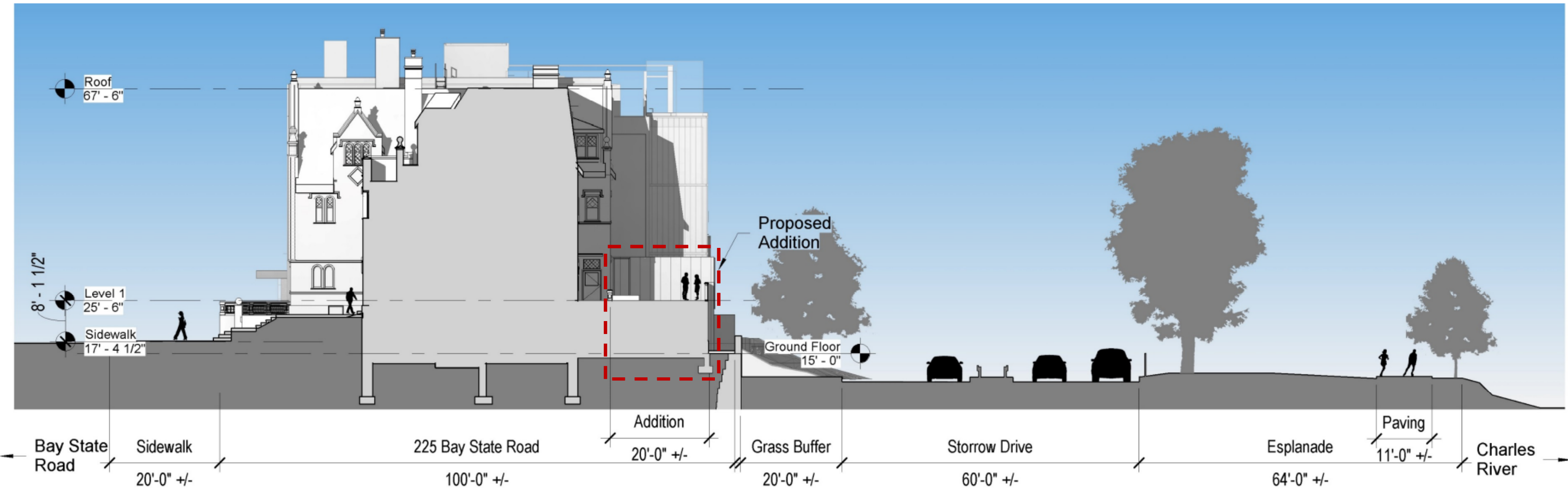
Restroom

Kitchen

BAY STATE ROAD

Proposed Site Plan

225 Bay State Road



Proposed Site Section

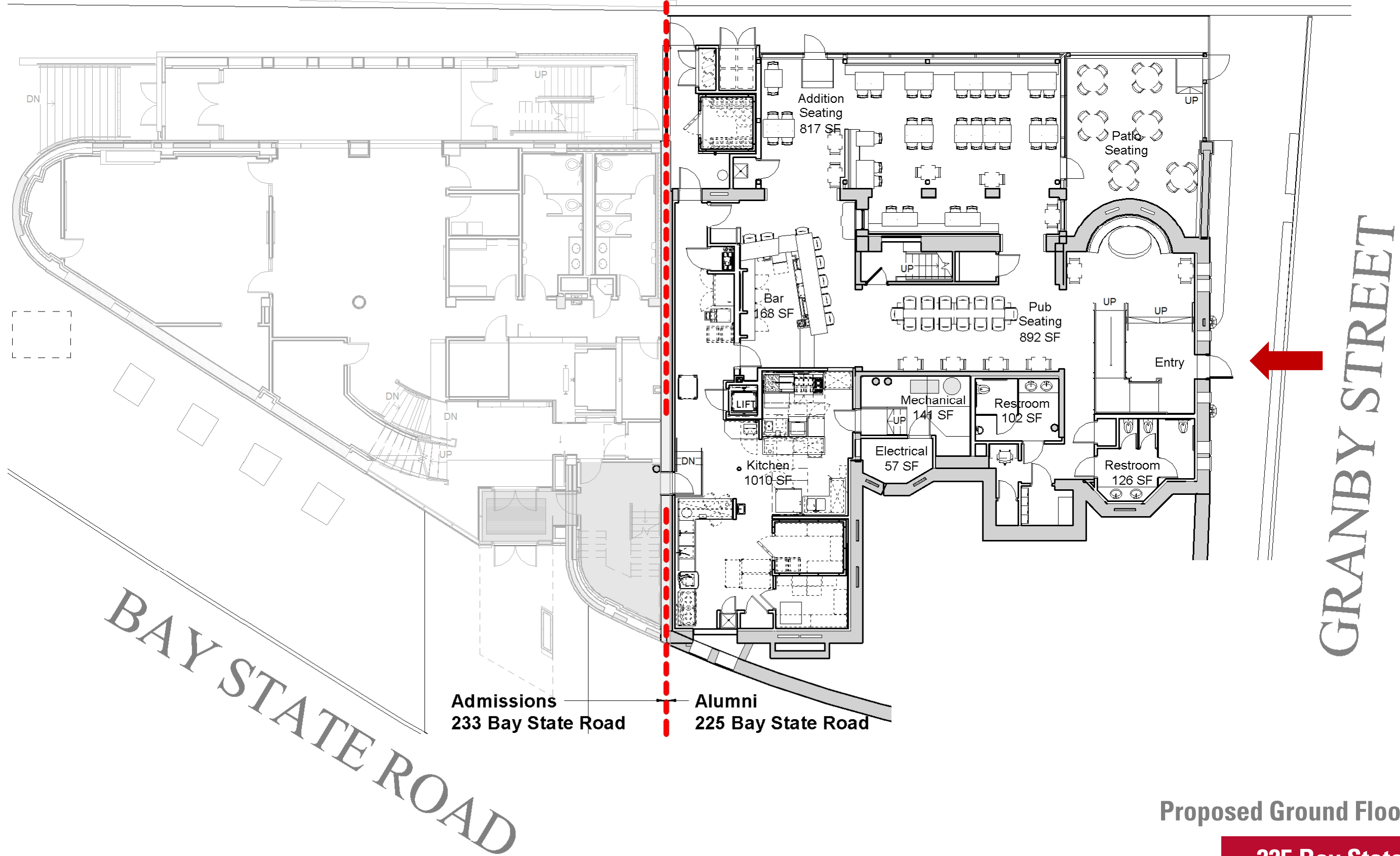
225 Bay State Road

STORROW DRIVE

Boston University | Finegold Alexander Architects

Boston Landmarks Commission Presentation

December 13, 2016



Proposed Ground Floor Plan

225 Bay State Road

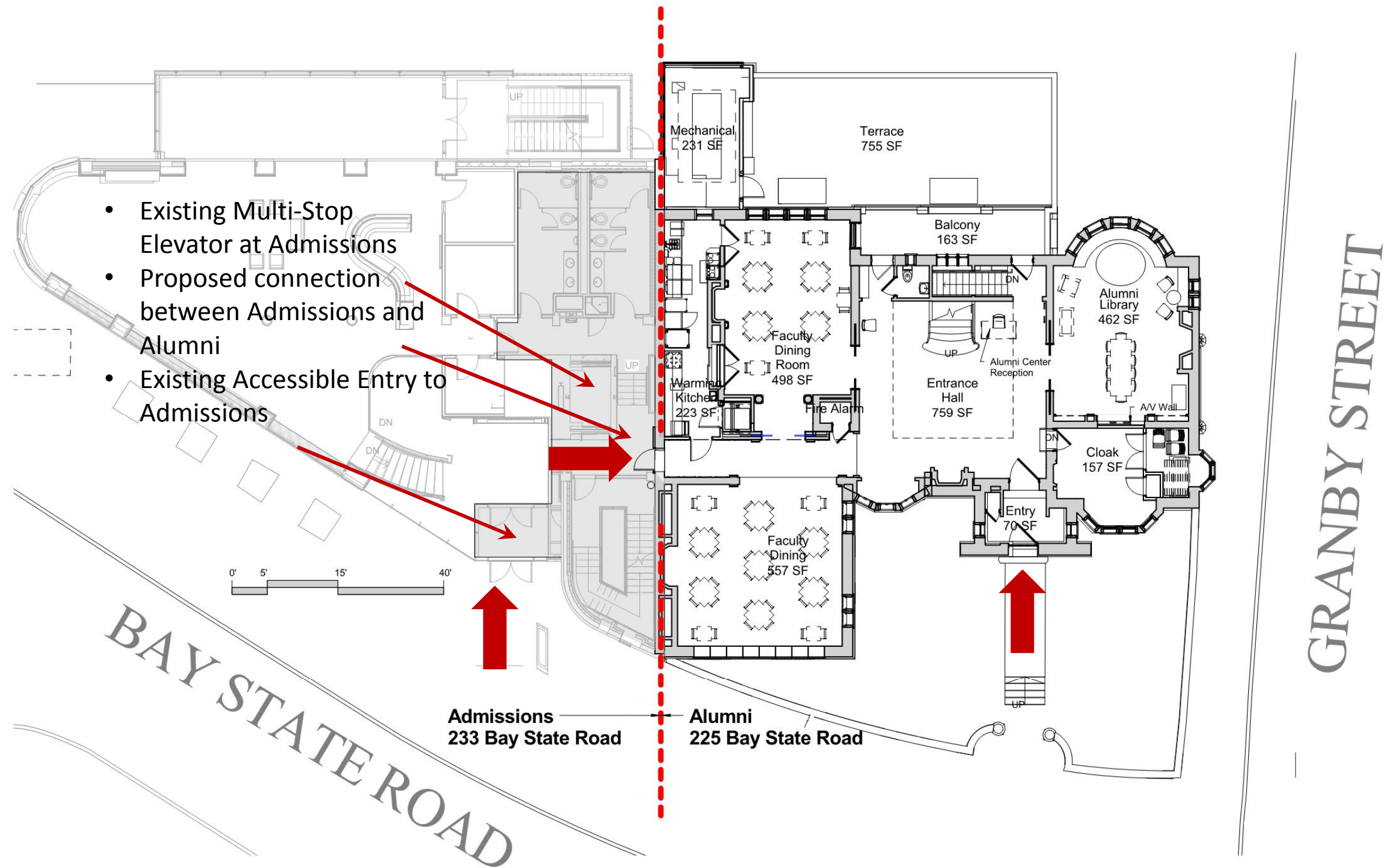


Add Automatic Door Opener with Actuators on Exterior, Interior

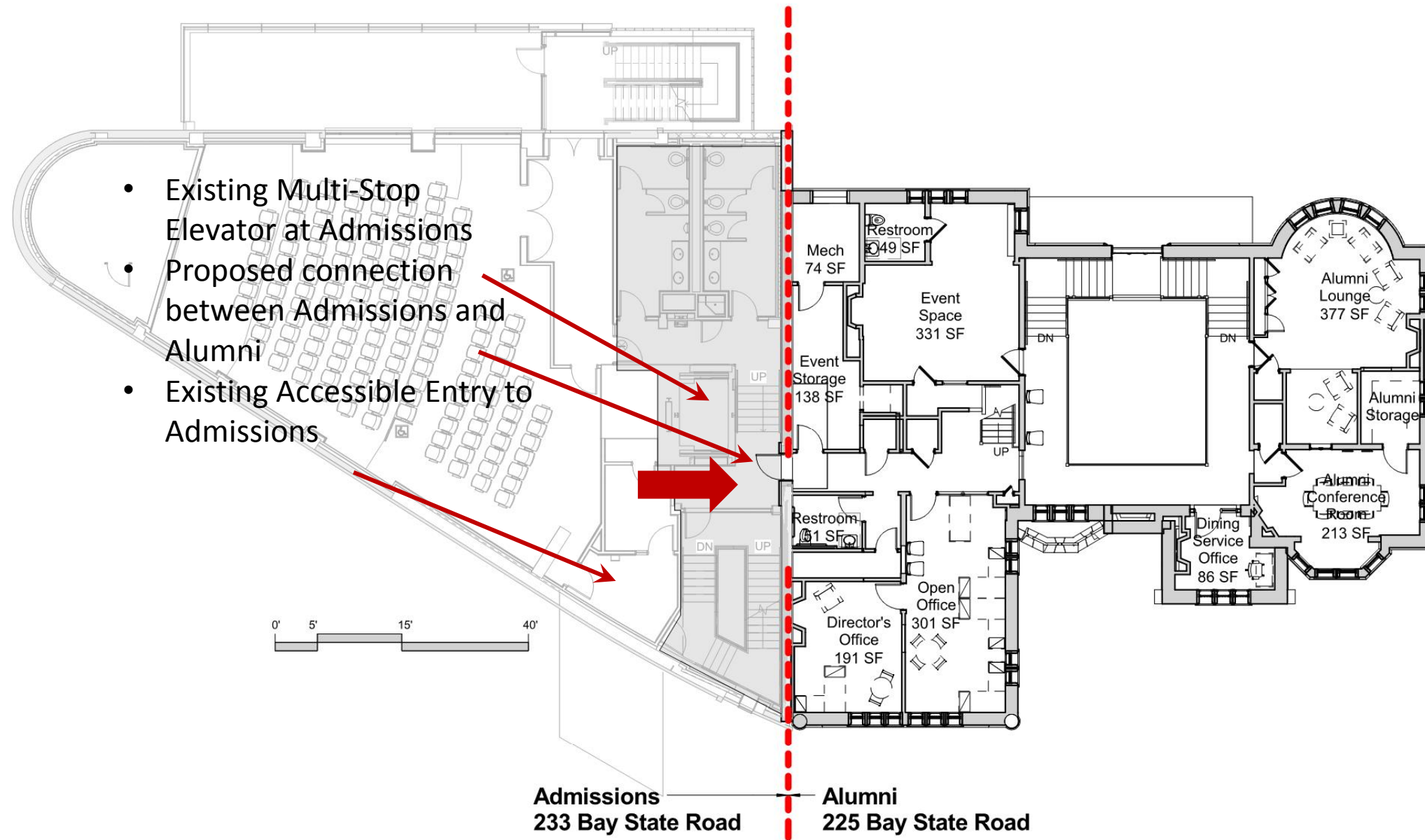
Remove Granite Step, Extend Door Height to Sidewalk with dutchman

Remove Brick Sidewalk and Replace with Concrete

STORROW DRIVE

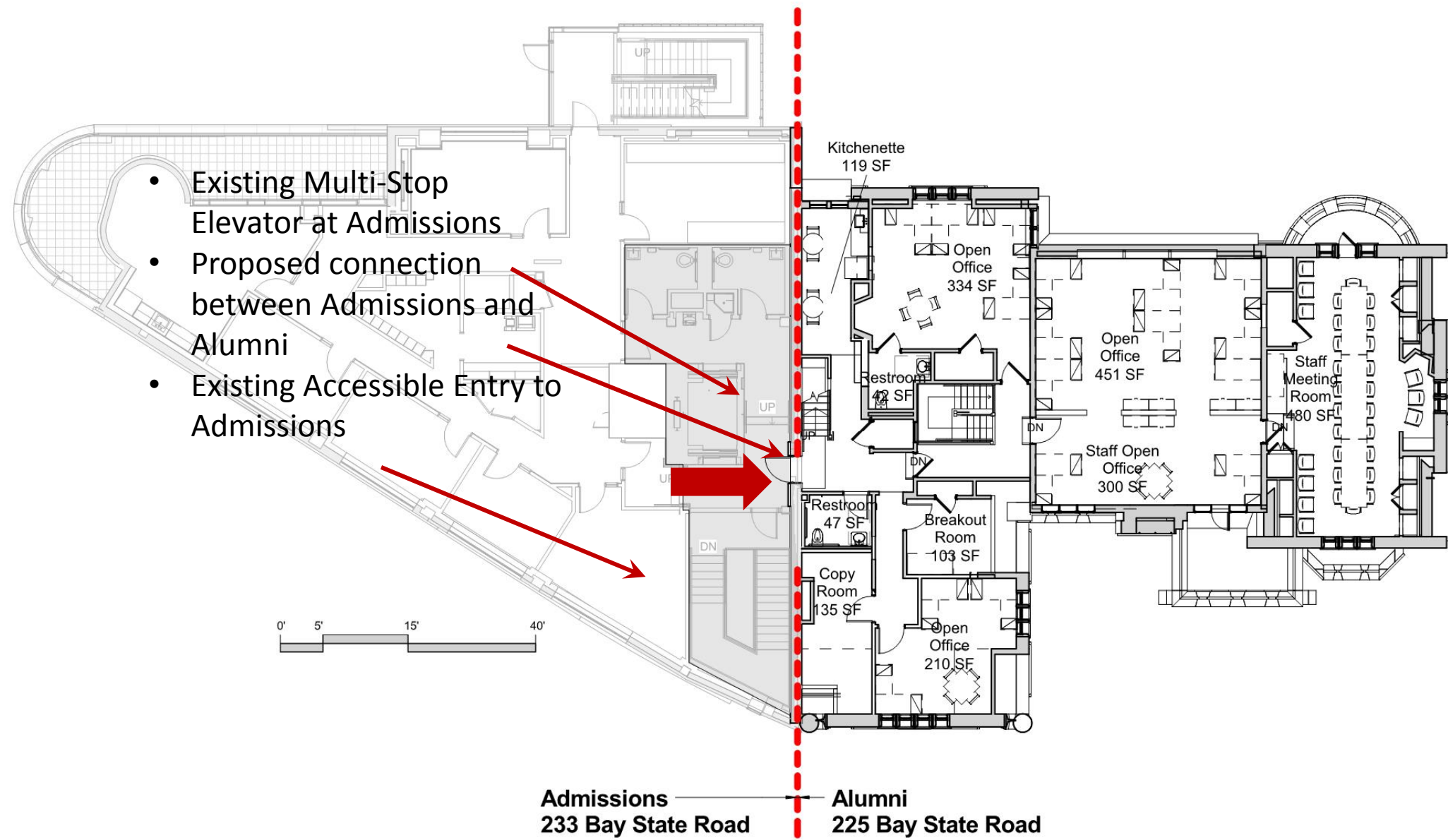


Proposed First Floor Plan



Proposed Second Floor Plan

225 Bay State Road

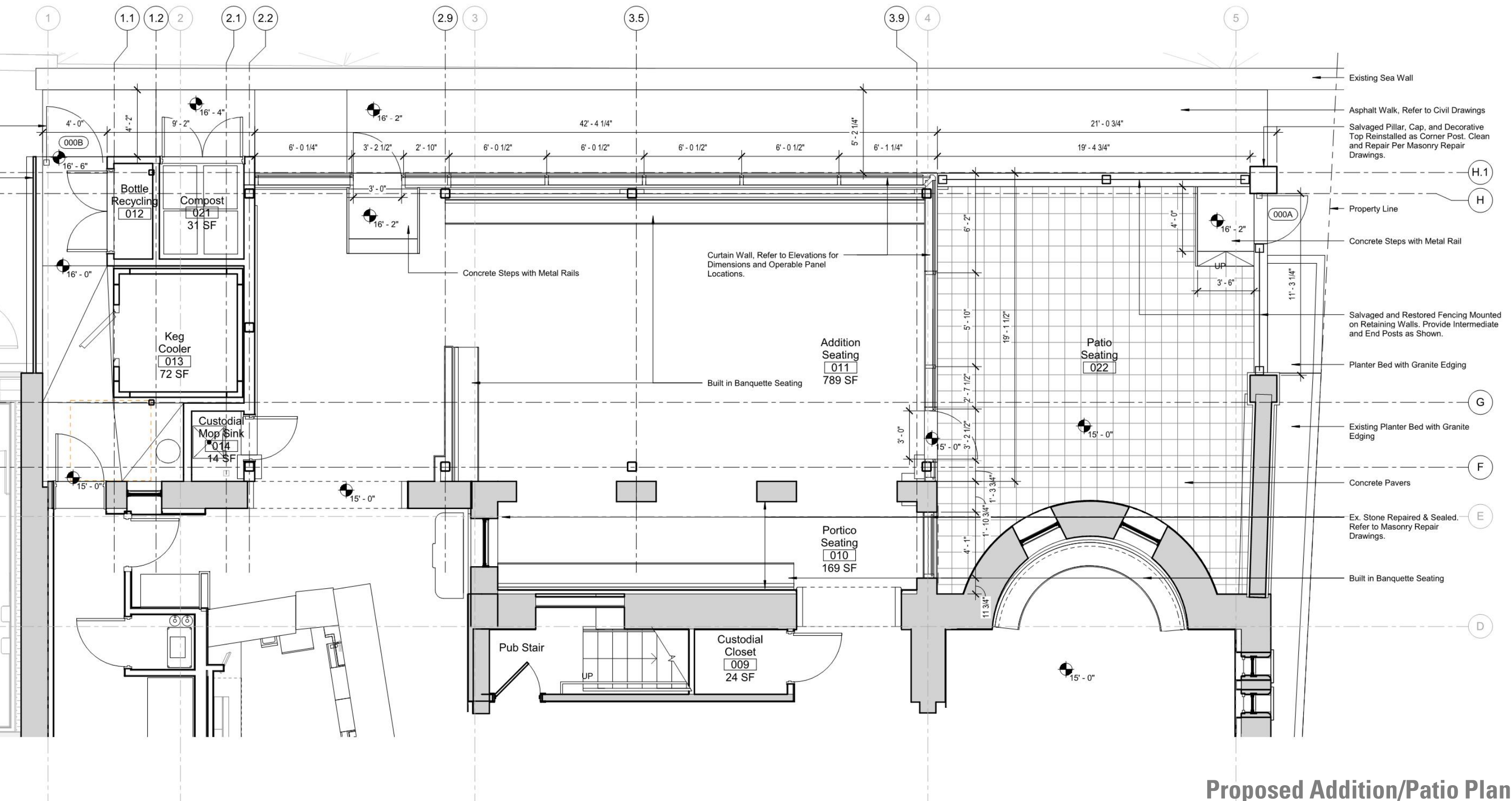


Proposed Third Floor Plan

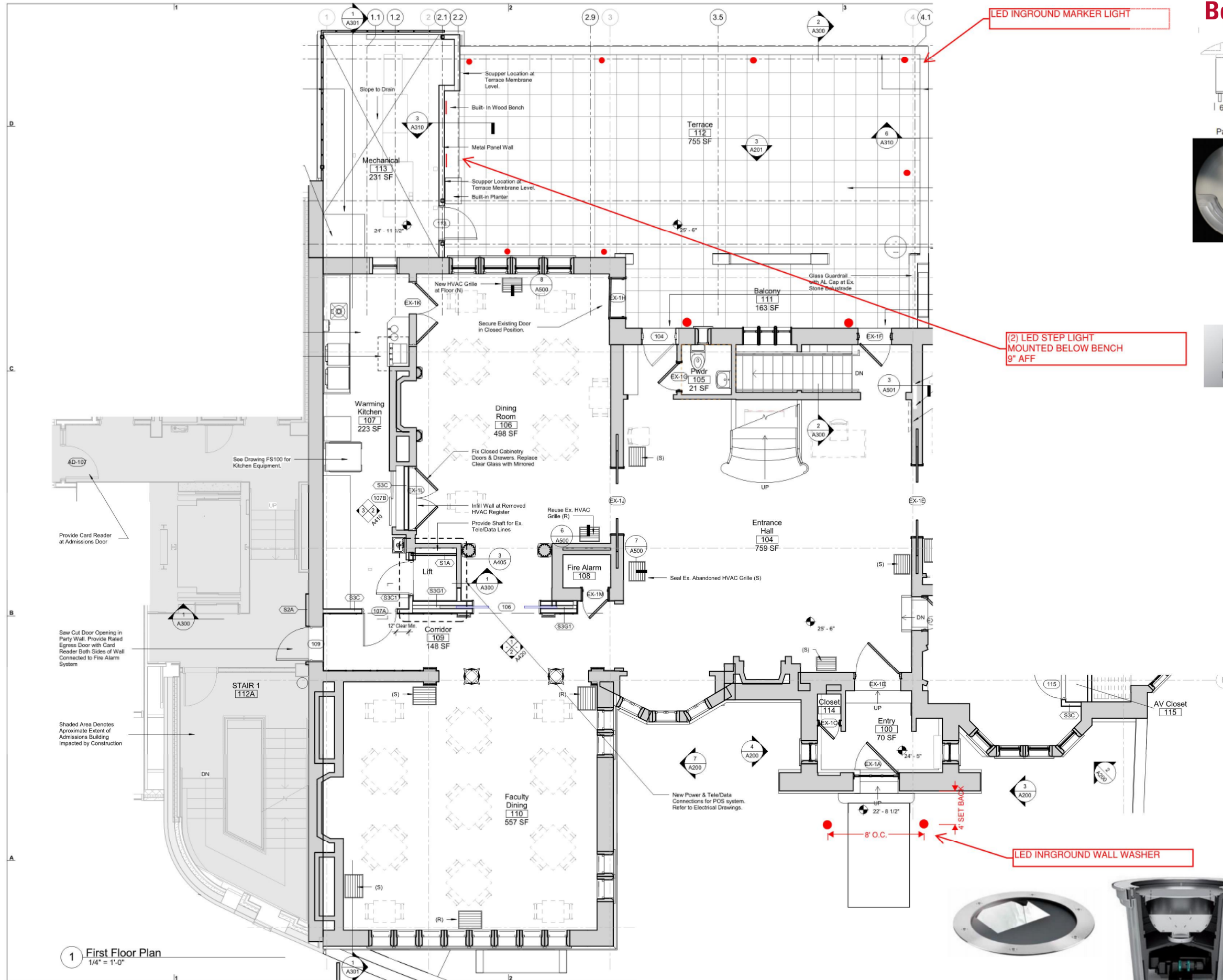
225 Bay State Road

Rear Addition

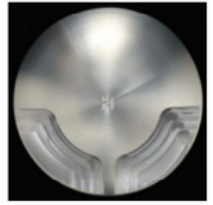
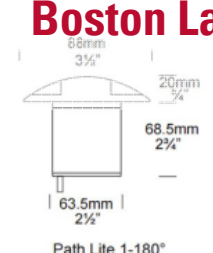




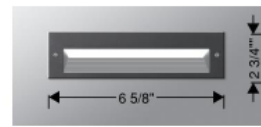
Proposed Addition/Patio Plan



LED INGROUND MARKER LIGHT



(2) LED STEP LIGHT MOUNTED BELOW BENCH 9" AFF



LED INGROUND WALL WASHER



1 First Floor Plan
1/4" = 1'-0"

SUBMISSION	
Date	Issued For:
04/15/2016	Schematic Pricing Set
08/19/2016	50% Design Development Set
09/16/2016	100% Design Development Set
11/04/2016	50% Construction Document Set

SCALE:	As indicated
DATE ISSUED:	12/09/16
PROJECT NO.:	42516.02
DRAWN BY:	Author
CHECKED BY:	Checker

SHEET TITLE

First Floor Plan

Proposed Exterior Lighting

225 Bay State Road



Existing North Elevation

225 Bay State Road



Boston University | Finegold Alexander Architects

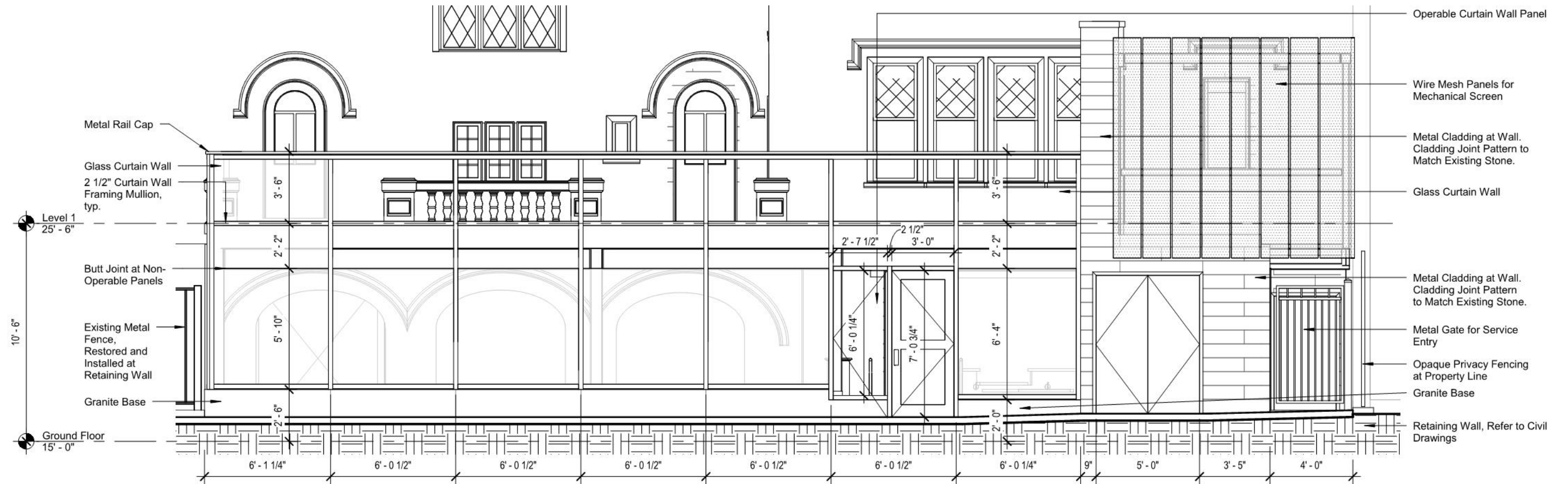
Boston Landmarks Commission Presentation

December 13, 2016



Existing Materials and Colors

225 Bay State Road



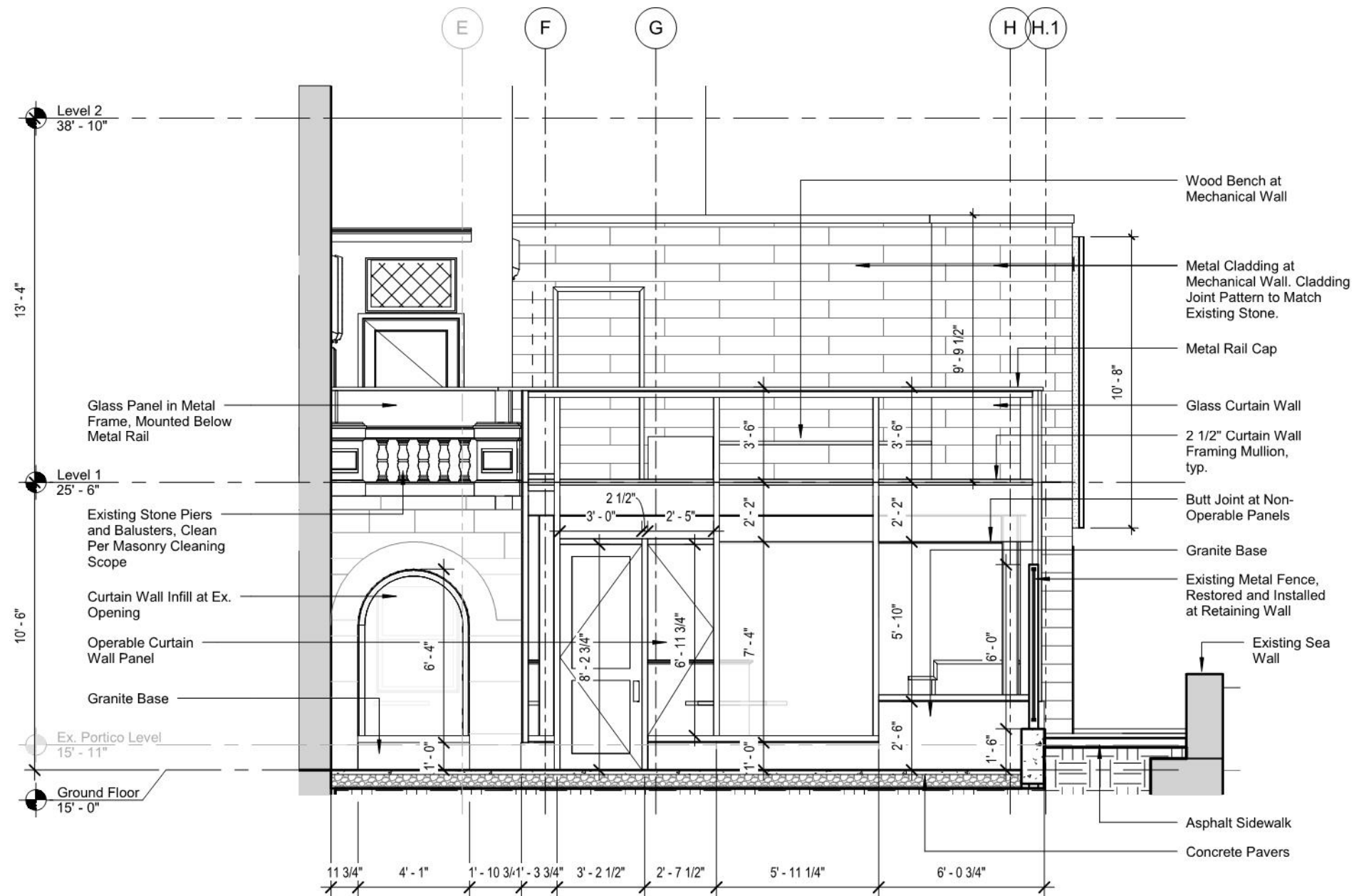
Proposed Third Floor Plan

225 Bay State Road



Proposed North Elevation

225 Bay State Road



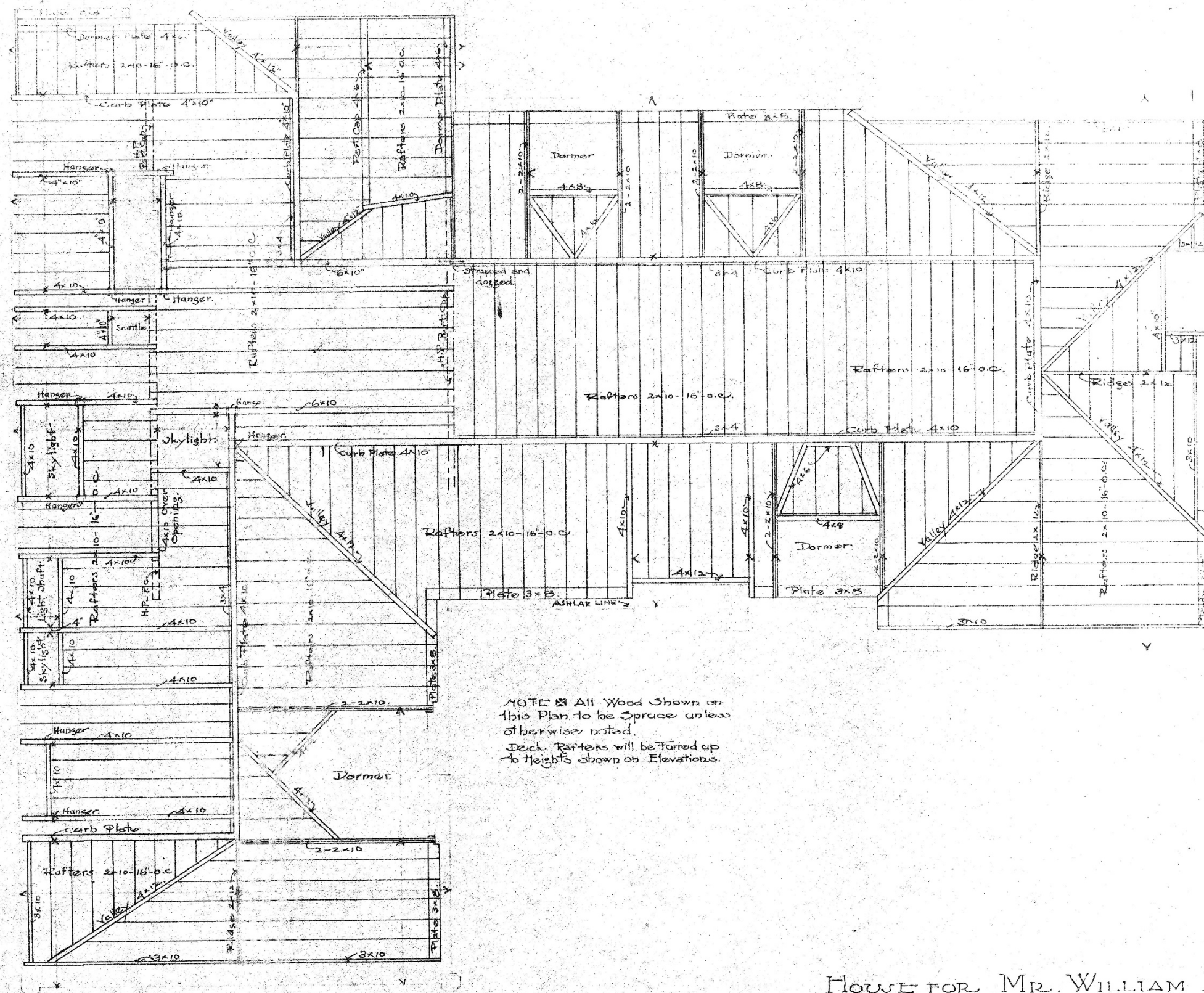
Proposed East Elevation

225 Bay State Road



Proposed East Elevation

225 Bay State Road



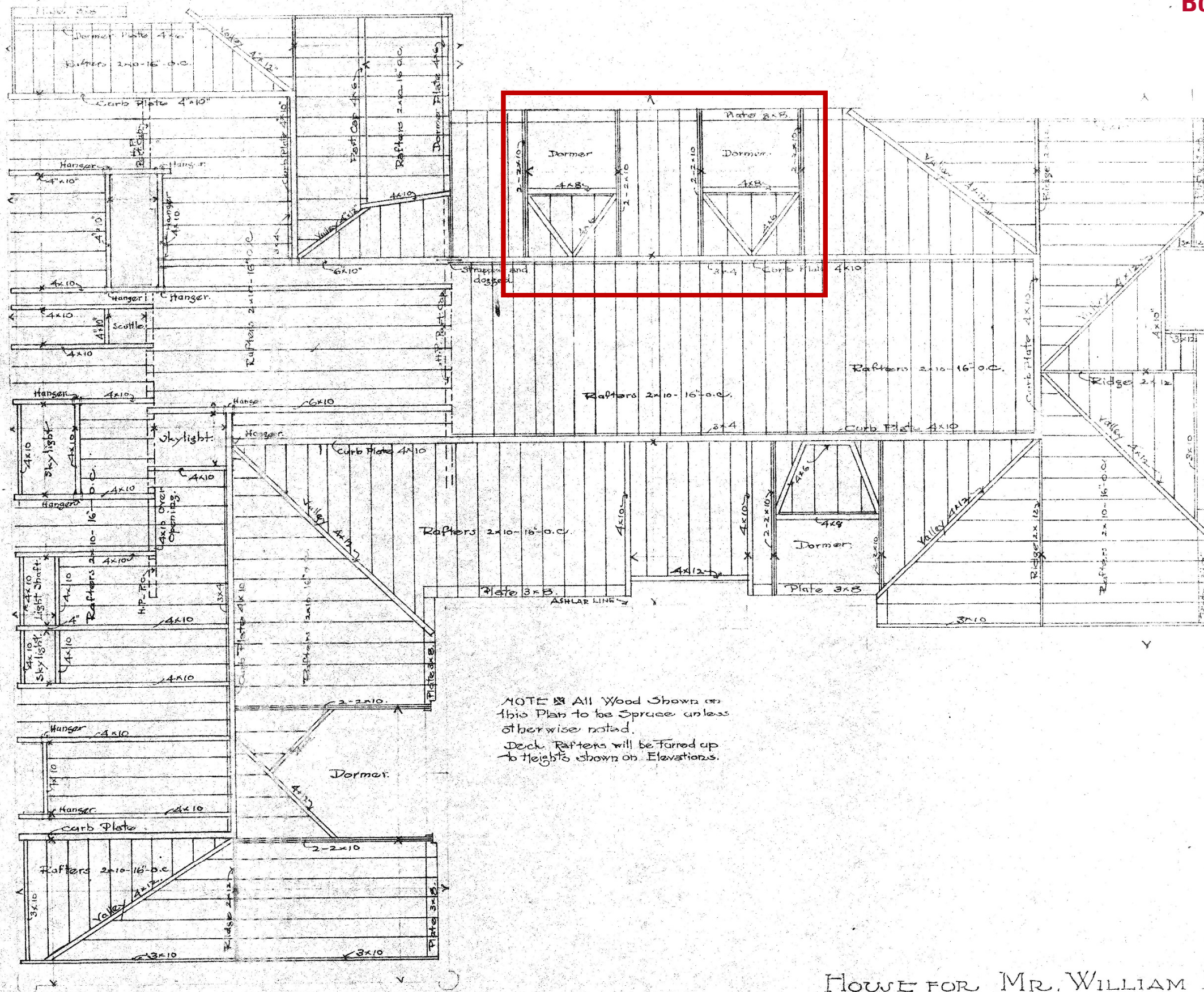
NOTE: All Wood Shown on this Plan to be Spruce unless otherwise noted.
Deck Rafters will be Turred up to heights shown on Elevations.

ROOF FRAME -
SCALE 1/4" = 1'-0"

HOUSE FOR MR. WILLIAM LINDSEY
ON BAY STATE ROAD BOSTON MASS.
CHAPMAN AND FRAZER ARCHITECTS.
8 EXCHANGE PLACE BOSTON MASS.
DRAWING No. 14 JUNE 1905. DRAWN & FIG. BY G.A.O.
CORRECTED JULY 6 1905.
JULY 24. 1905.

Original Roof Framing Plan

225 Bay State Road



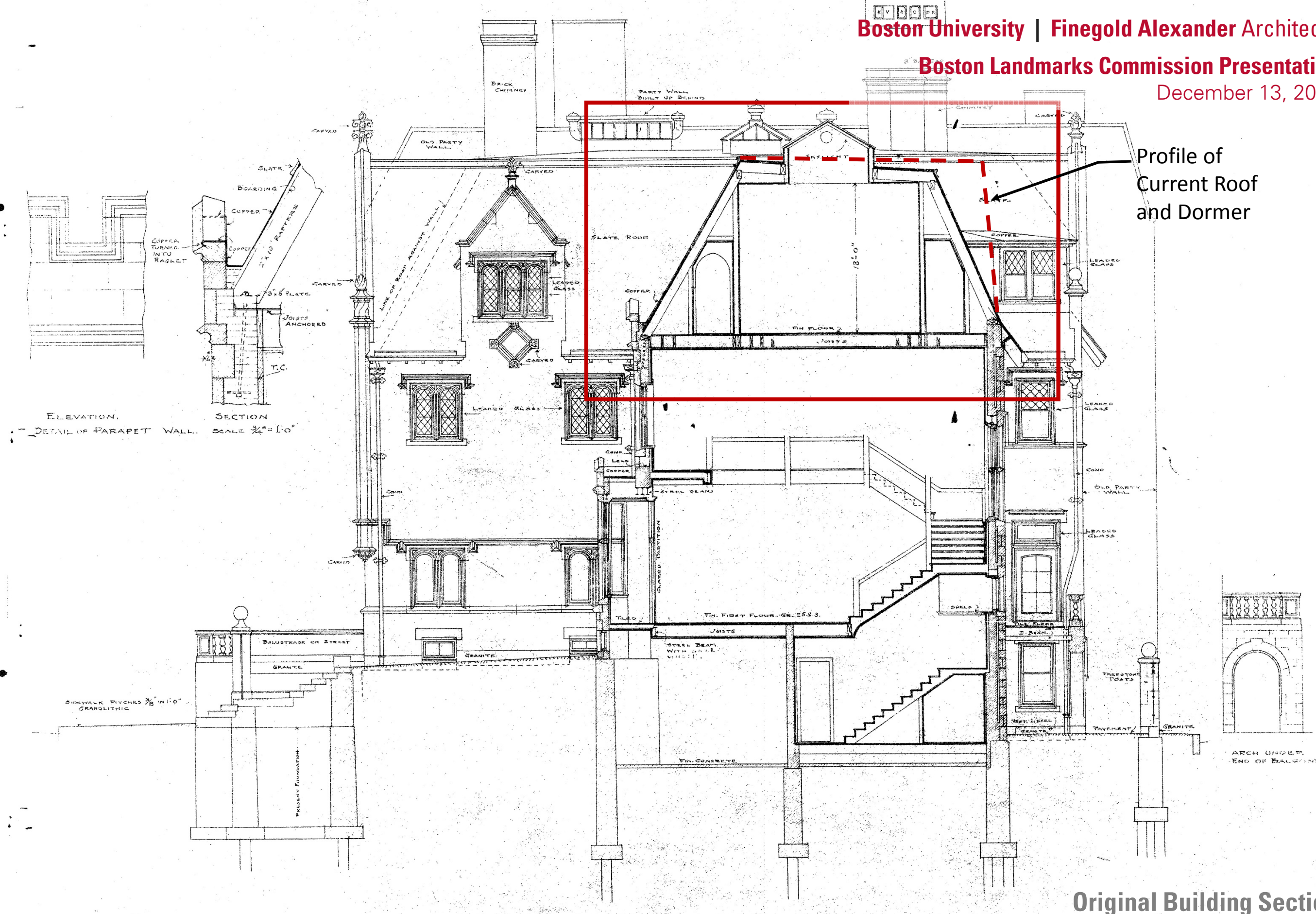
NOTE: All Wood Shown on this Plan to be Spruce unless otherwise noted.
Deck Rafters will be furred up to heights shown on Elevations.

- ROOF FRAME -
SCALE $\frac{1}{4}'' = 1'-0''$

HOUSE FOR MR. WILLIAM LINDSEY
ON BAY STATE ROAD BOSTON MASS.
CHAPMAN AND FRAZER ARCHITECTS.
8 EXCHANGE PLACE BOSTON MASS
DRAWING No. 14. JUNE 1905. DRAWN & FIG. BY G.A.O.
CORRECTED JULY 6 1905
" JULY 24. 1905

Original Roof Framing Plan

225 Bay State Road



Profile of Current Roof and Dormer

Original Building Section

225 Bay State Road



Roof Condition

225 Bay State Road



Roof Condition

225 Bay State Road



Existing View from Storow Drive

225 Bay State Road



Proposed View from Storow Drive

225 Bay State Road



Site Context and Existing Conditions Photographs Key Plan

Boston University Alumni Center



Existing Conditions Photograph View 1

Boston University Alumni Center



Existing Conditions Photographs View 2

Boston University Alumni Center



Existing Conditions Photographs View 3

Boston University Alumni Center



Site Context and Proposed Conditions Key Plan

Boston University Alumni Center



Proposed Conditions View 1

Boston University Alumni Center



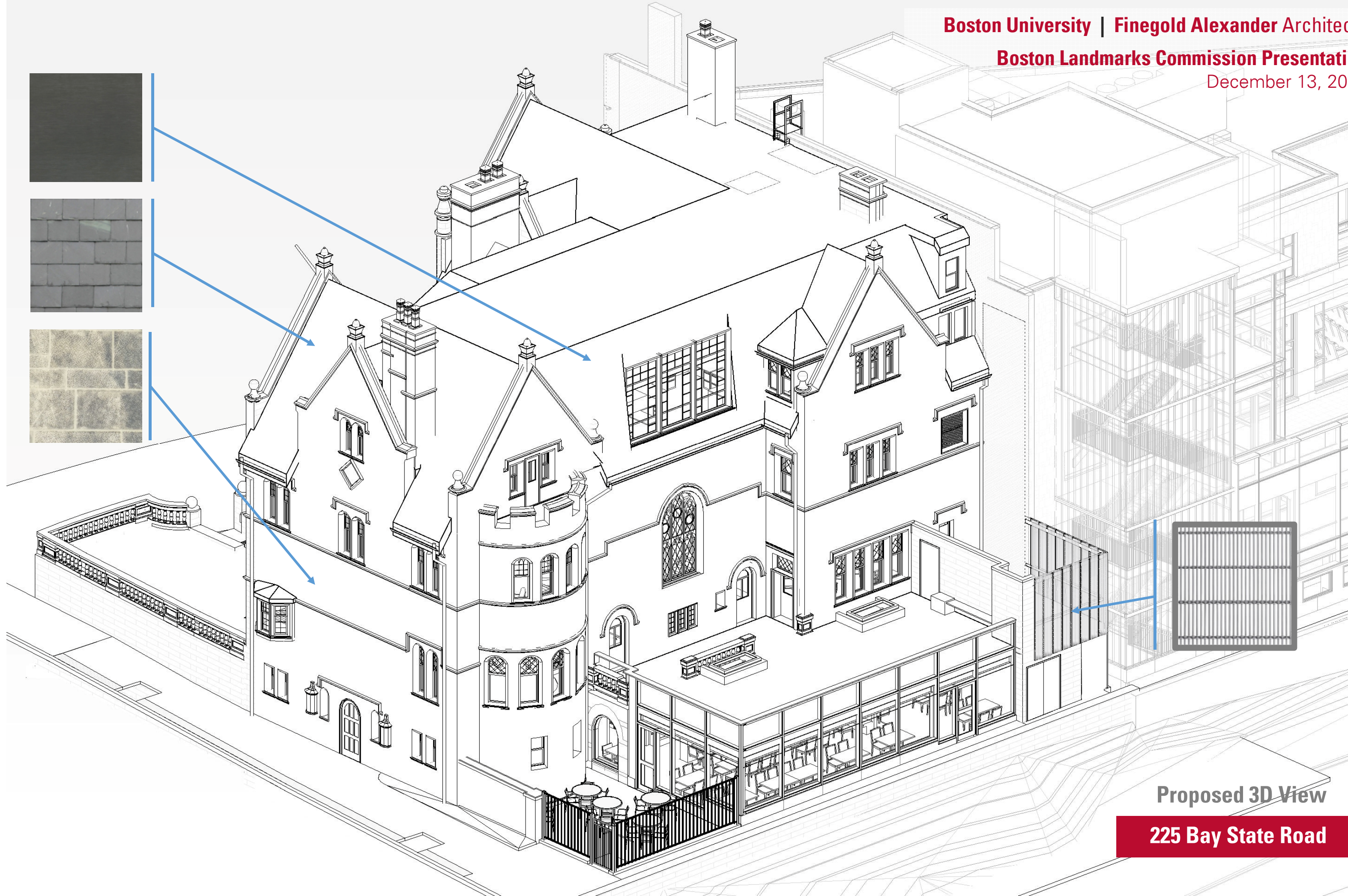
Proposed Conditions View 2

Boston University Alumni Center



Proposed Conditions View 3

Boston University Alumni Center



Proposed 3D View

225 Bay State Road

Boston University | Finegold Alexander Architects

Boston Landmarks Commission Presentation

December 13, 2016



Alumni Center at the Castle